

- GENERAL NOTES**
- EXTERNAL WALLS 230 BRICK CEMENT, PLASTERED
  - INTERNAL WALLS 115 BRICK CEMENT PLASTERED
  - ALL BENDS AND JUNCTIONS TO BE 100° CAST IRON
  - LONG TAIL BENDS TO BE USED AS SHOWN
  - 760 CAST IRON MANHOLE COVERS
  - WORK NOT TO BE COMMENCED WITHOUT THE APPROVAL OF THE BUILDING INSPECTOR.
  - ALL COMPARTMENTS TO BE FILLED WITH WATER BEFORE TRAP IS PLACED IN SERVICE.
  - HEAVY DUTY COVER IS REQUIRED IF SUBJECT TO WEIGHT

SCHEDULE OF AREAS	
<b>SITE AREA</b>	<b>9 531 m<sup>2</sup></b>
COVERAGE :	N/A
F. A. R :	N/A
<b>EXISTING AREA</b>	
EXISTING BASEMENT	270 m <sup>2</sup>
EXISTING FIRST FLOOR	376 m <sup>2</sup>
EXISTING SECOND FLOOR	346 m <sup>2</sup>
	992 m <sup>2</sup>
<b>PROPOSED</b>	
WAREHOUSE	5986 m <sup>2</sup>
ABLUTIONS	35 m <sup>2</sup>
METER ROOM	16 m <sup>2</sup>
BIN AREA	16 m <sup>2</sup>
<b>TOTAL AREA</b>	<b>6053 m<sup>2</sup></b>

**GENERAL NOTES TO ALL CONTRACTORS**

**GENERAL NOTES:**

each contractor shall be responsible for ensuring the structural stability of all components of his work and ascertain that the main structure is capable of supporting all loads applied thereto

all work to be executed in strict accordance with bye laws and regulations of the local authorities

All SANS 10400 applicable codes of practice to be used

All electrical and plumbing work is to be undertaken by registered artisans

All work to comply with National Building Regulations & Building standards SANS 10400. Local council requirements & all relevant specifications & codes.

Figured dimensions to be taken in preference to scaling. Overall dimensions (external) to take precedence. architects to be notified of any variations

All dimensions, levels and heights to be checked on site, and any discrepancies to be reported to the architects before any work is put into hand

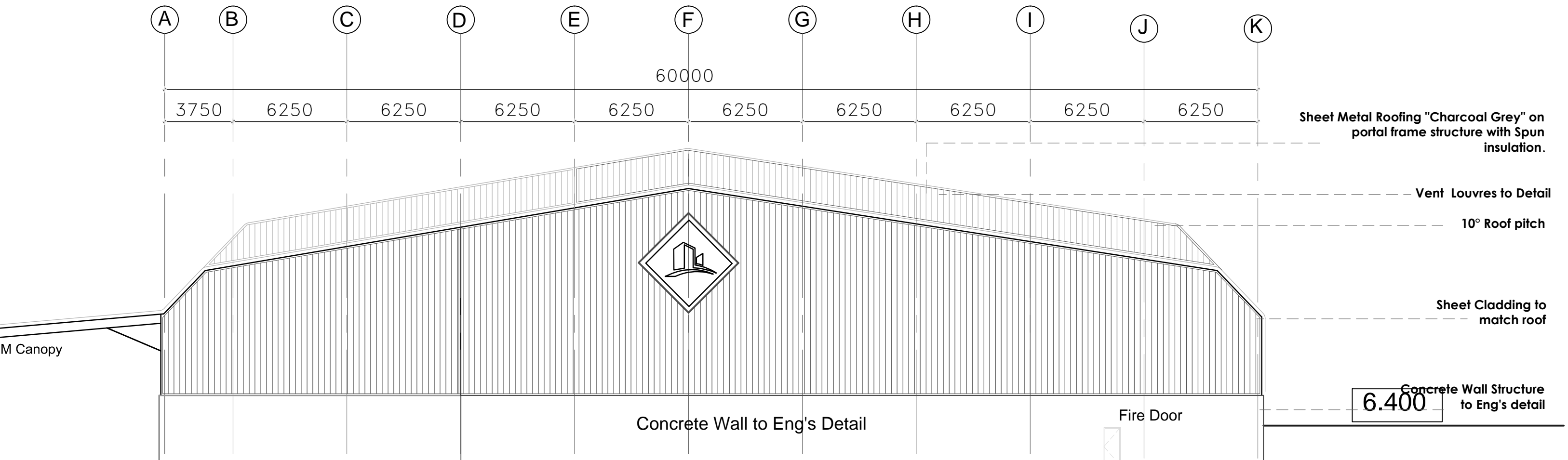
All concrete foundations to structural engineers drawings/details.

Finished floor levels to be a minimum of 100mm above natural ground level unless otherwise shown. Firewalls to underside of roof covering. Firedoor to warehouse where interlocking with Admin block. NO timber to penetrate.

All doors to the exterior that open outwards are to have a 10mm step up along the longitudinal centre line of the door leaf. A brass or aluminium strip is to be instated to the threshold.

All reinforced concrete to be to structural engineers certificate & detail to be submitted

**Note:**  
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Contractors and subcontractors are to check all site dimensions and levels before commencing work.  
Figured dimensions are to be taken in preference to scaled dimensions. The architect is to be notified of any variations or discrepancies.  
Each contractor shall be responsible for ensuring the structural stability of all components of his work and ascertain that the main structure is capable of supporting all loads applied thereto.  
All work to be executed in strict accordance with bye laws and regulations of the local authorities.  
All SANS applicable codes of practice to be used.  
All electrical and plumbing work is to be undertaken by registered artisans.



**SANS 10400 Part O: HEALTH**

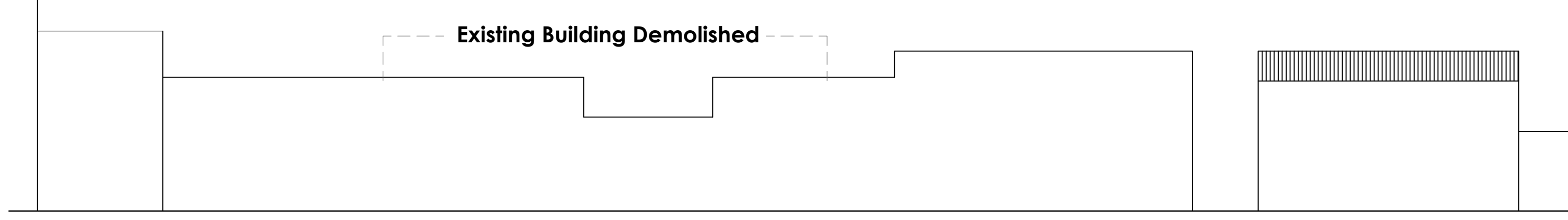
All Artificial lighting to comply with SANS 10400 PART O

7.5 L/s per person ( Air supply required per person with required min air changes per hour )

Warehouse to be used for Dry foods storage no food preparations to be carried out on site or within warehouse

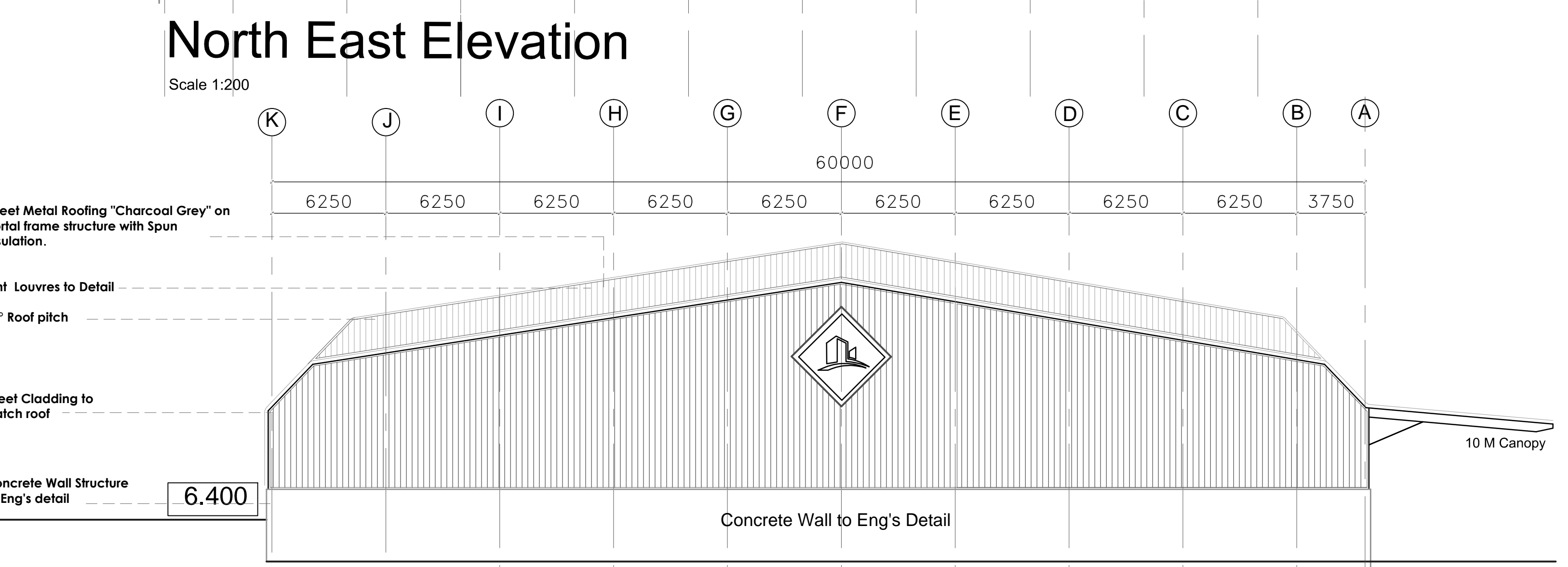
Double glazing to be used in office area

Acoustic ceiling tiles to be used in office area



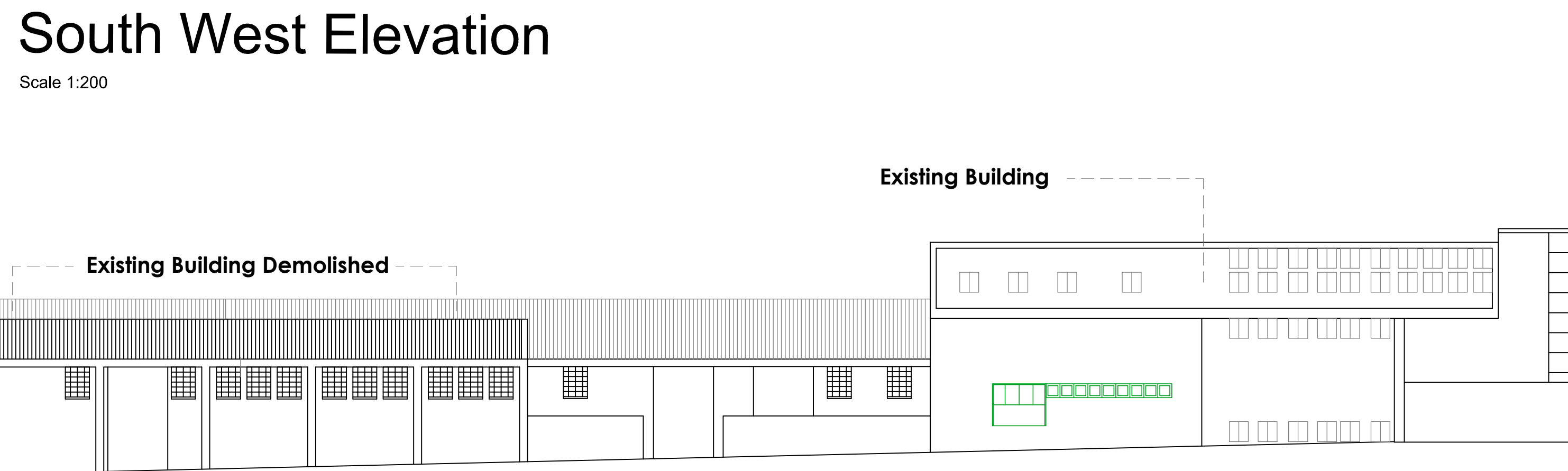
**South West Elevation**

Scale 1:200



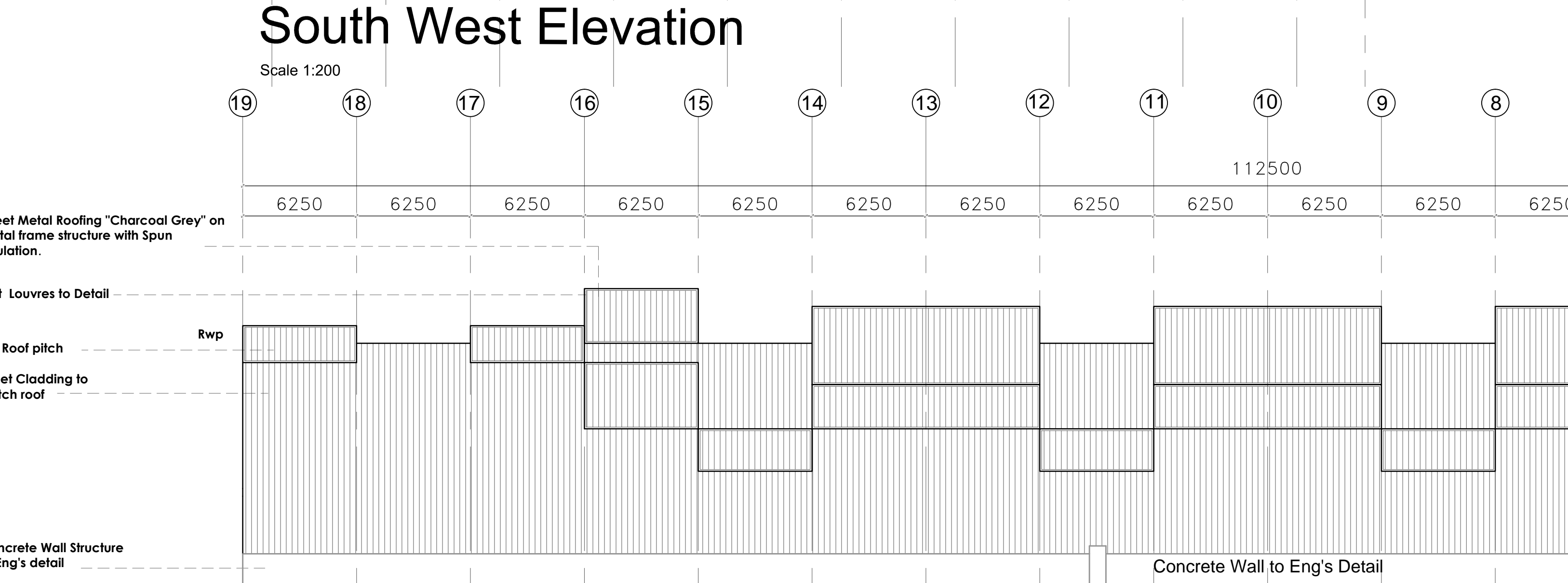
**South West Elevation**

Scale 1:200



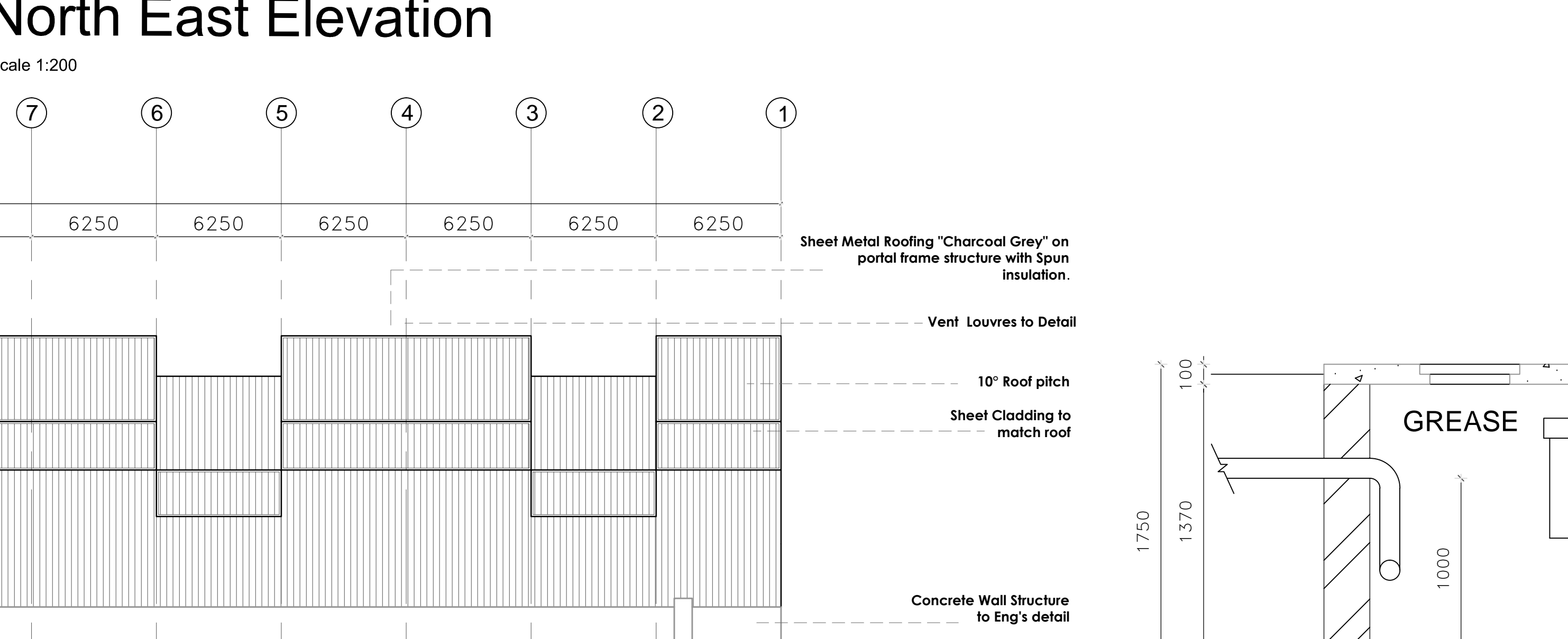
**North East Elevation**

Scale 1:200



**North West Elevation**

Scale 1:200



**South East Elevation**

Scale 1:200

**DRAINAGE NOTES:**

All plumbing work to be carried out by licensed drainlayers and plumbers

Drains under buildings to be straight runs, adequately protected from load, and with i.e.'s at either end. Concealed waste pipes to be sleeved.

i.e.'s at all bends and junctions to be easily accessible. i.e.'s to have marked covers at ground level. Rodding eyes to be provided where necessary

All soil pipes to be 150mm diameter p.v.c. drains (unless otherwise specified) and to have a minimum fall of 1:50. Top of any drain to be at least 500mm below G.L.

All waste fittings to have deep 'P' resealed traps and to be fully accessible for repairs and cleaning

All soil & waste fittings to be accessible along their entire length for maintenance & repairs.

Anti-siphon/anti-vac bottle traps & vent valves to all pipes exceeding 1200 drops at traps & invert levels, & if required-for one pipe systems.

Inspection eyes within 1200 of upper extremities of branch drains.

Inspection eyes at Max. 24 000 intervals in straight runs of sewer.

Rodding eyes at ingress and egress points of drain under buildings.

ALL DRAINAGE PIPES PASSING UNDER BUILDING TO COMPLY WITH p17, 4A & B and p30 A, B & C of NATIONAL BUILDING REGULATIONS.

Removable covers where required in all vertical pipe chases.

**WATERPROOFING AND DAMP PROOFING:**

375 micron brickgrippolythene D.P.C.

D.P.C.'s under all walls and screen walls to be 100mm above finished ground level

D.P.C.'s under all cills, behind weather boards and under ridge tiles. Vertical D.P.C.'s to all changes in floor level. Surface beds to be on approved waterproofing forming a continuous sealed membrane with the D.P.C.'s under walls. Flashings to all changes of roof levels. Impervious copings to all parapets.

Contractor to ensure adequate stormwater drainage from buildings and site. ALL to engineers detail.

**ROOF SLABS:**

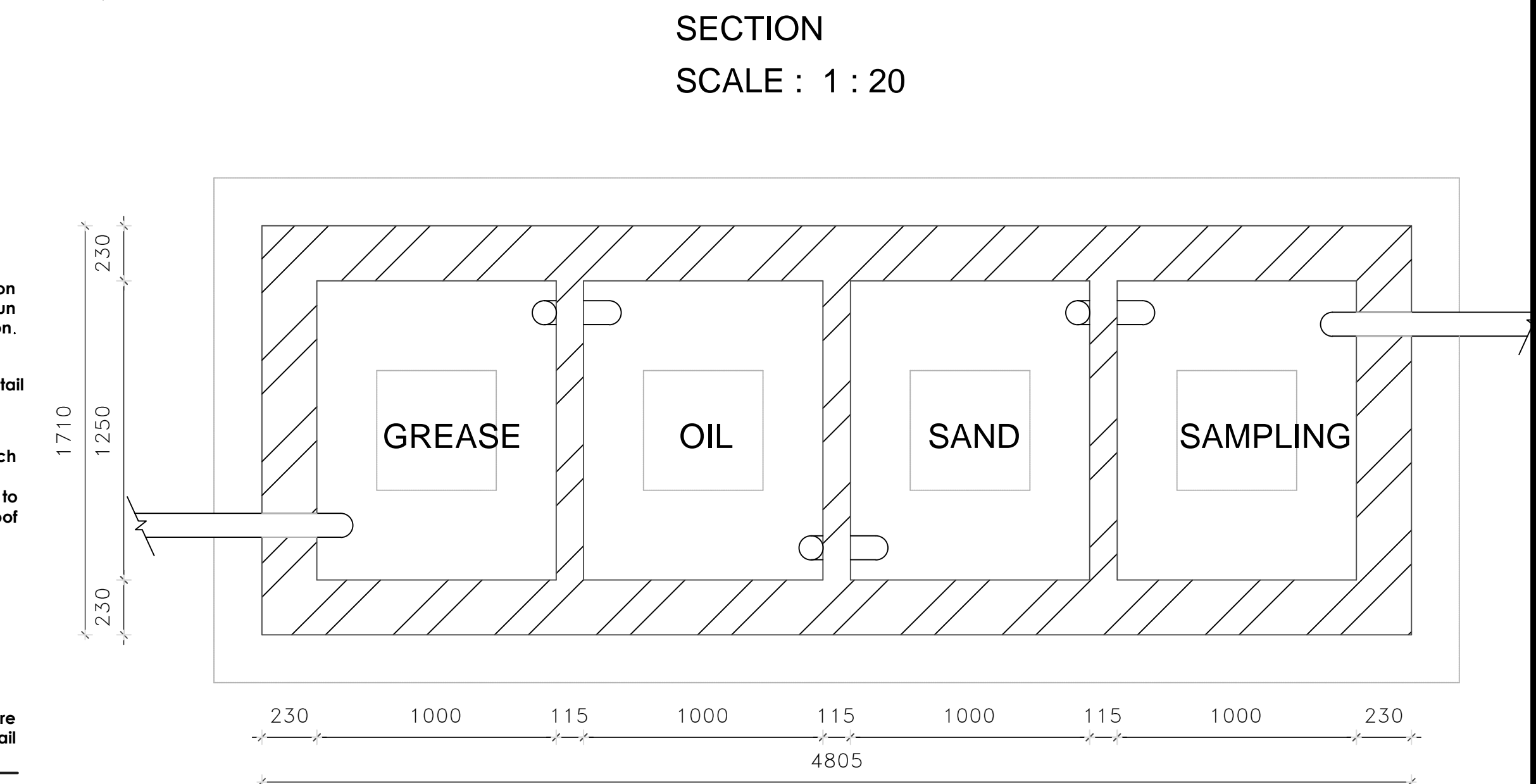
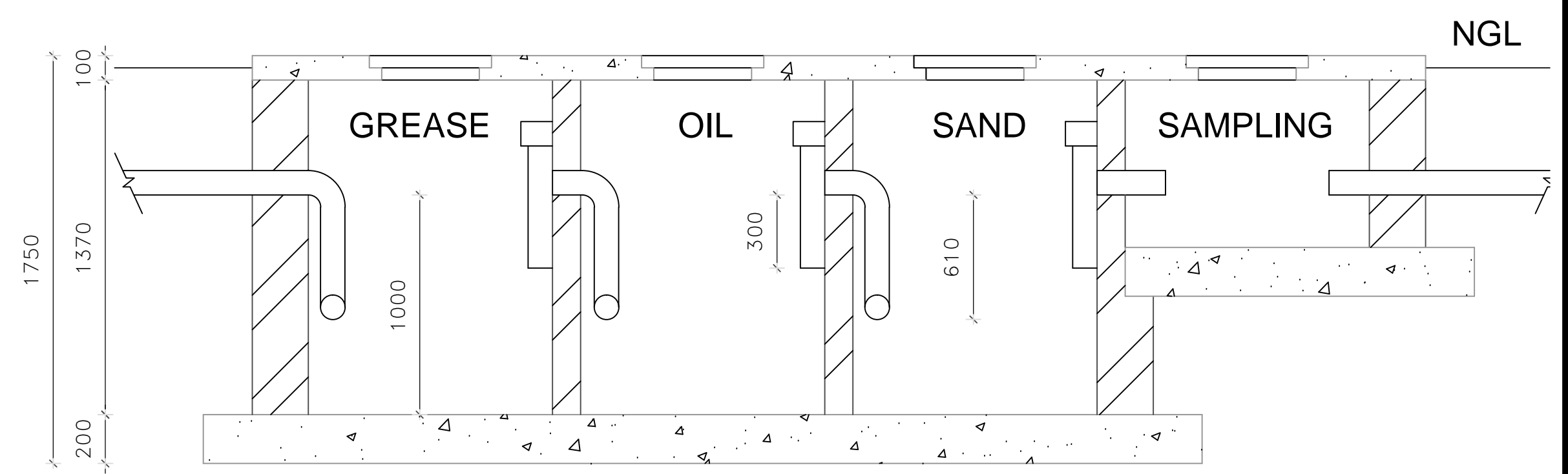
**WATERPROOFING TO ROOF SLABS:** All waterproofing to roof slabs to be 'Derbigum SP4' sheeting, all to be laid (including flashing and counter-flashing) strictly in accordance with manufacturer's instructions, with UB7 bituminous paint to all exposed surfaces and guaranteed unconditionally for 10 years.

**STAIRS:**

Stair treads to be 285mm minimum, stair risers to be 170mm maximum. Balustrade heights to be 1000mm minimum. Baluster openings to be 100mm maximum

**NOTE:**

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No.	DATE	By	DESCRIPTION	REVISION

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CLIENT  
**Mr Pran Shree Marcia Properties**

PROJECT  
**PROPOSED OPEN PLAN WAREHOUSE**

ADDRESS  
**208 Gale Street Erf 7080 & 7079 Durban**

**ELEVATIONS & SECTION**

DRAWN BY	CHECKED	APPROVED
SCALE 1:200	DATE 12/12/2019	JOB NO
DRAWING NO		