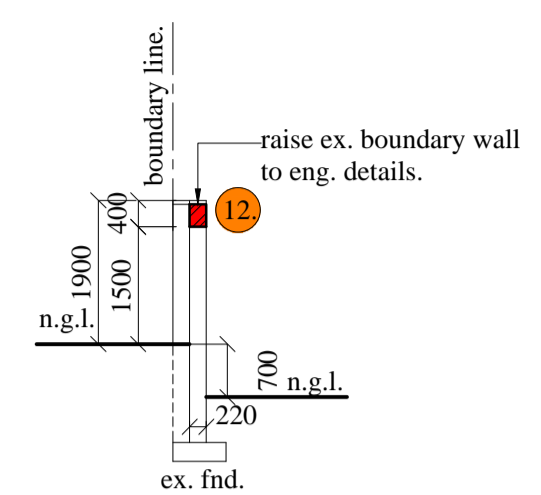
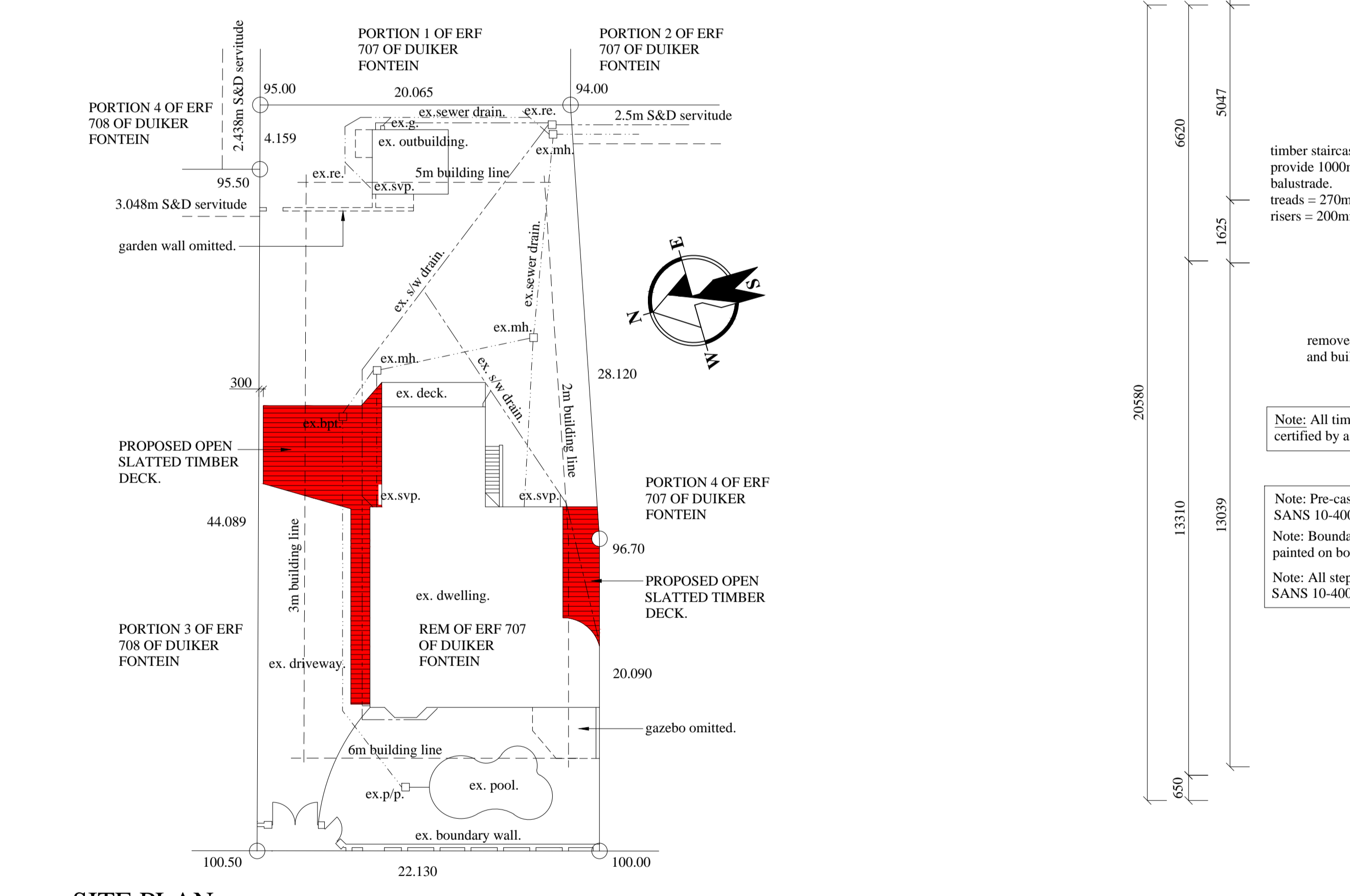


LOWER GROUND STOREY PLAN
SCALE: 1:100

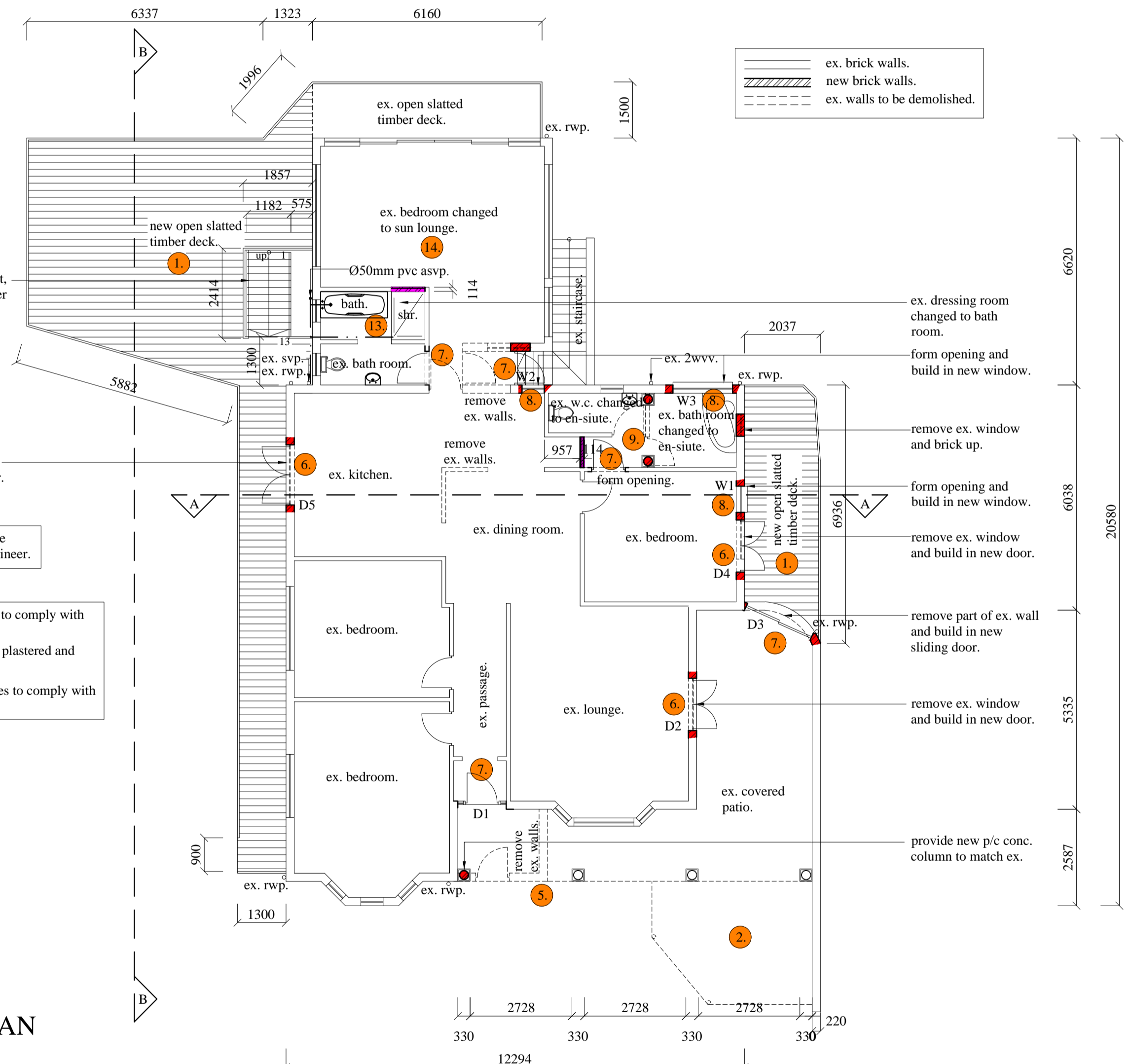


SECTION D-D
SCALE: 1:100

- Deviations to Approved plan No. 363 - 10 - 02**
List of Deviations:
1. New open slatted timber deck added.
 2. Gazebo omitted.
 3. Ex. void changed to store room.
 4. Ex. void changed to garden tool shed.
 5. Ex. entrance hall removed and new p/c conc. columns added.
 6. Ex. window remove and new door built in.
 7. New door added.
 8. New window added.
 9. Ex. w.c. and bath room changed to en-suite.
 10. Screen wall omitted.
 11. Toilet omitted.
 12. Boundary wall raised.
 13. Ex. dressing room changed to bath room.
 14. ex. bedroom changed to sun lounge.



SITE PLAN
SCALE: 1:250



GROUND STOREY PLAN
SCALE: 1:100

ROOF NOTES:
17.5° CONC. ROOF TILES TO MATCH EXISTING ON 38x38 BATTENS ON SABS APPROVED UNDERLAY Laid as WATER PROOFING MEMBRANE ON HYDRONAIL TRUSSES, TIED DOWN 6 No. OF COURSES INTO BWK WITH GALVANISED HOOP IRON TIES. MAX TRUSS C/S 650mm.

RETAINING WALLS:
ALL WALLS RETAINING EARTH ARE TO BE BUILT STRICTLY IN ACCORDANCE WITH PROFESSIONAL STRUCTURAL ENGINEER'S DETAILS

WALLS:
TWO COURSES OF BRICKWORK ARE TO BE REINFORCED WITH BRICKFORCE WITH SOLID JOINTS IN CEMENT MORTAR IN ALL WALLS BELOW WINDOW SILL LEVEL. WINDOW HEAD LEVEL AND BELOW ROOF PLATE LEVEL. GALVANISED WIRE TIES TO BE BUILT IN ALL WALLS AT 800 CENTRES HORIZONTALLY AND EVERY 6TH COURSE VERTICALLY.

FLOORS: (OTHER THAN SUSPENDED FLOORS)
100 mm CONCRETE SURFACE BED REINFORCED WITH 6 mm DIAMETER STEEL REINFORCING RODS AT 300 CENTRES IN BOTH DIRECTIONS OR EQUIVALENT B.R.C. MESH ON GUNPLAS U.S.B. GREEN WATERPROOFING LAID IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS ON CLEAN SAND BED. SUB FLOOR GROUND TO BE POISONED WITH PENTACHLOROPHENOL SOLUTION IN ACCORDANCE WITH S.A.B.S. CODES OF PRACTICE

SCHEDULE OF AREAS:

SITE AREA:	= 1044 sqm
EX. COVERAGE:	= 257.8 sqm
LESS COVERAGE:	= 2.016 sqm
TOTAL COVERAGE:	= 255.784 sqm
EX. FAR:	= 285.16 sqm
LESS FAR:	= 2.016 sqm
PROPOSED FAR:	= 66.1 sqm
TOTAL FAR:	= 349.24 sqm
SUBMISSION PURPOSES:	= 66.1 sqm

TEL : 082 783 8409

PROJECT:
DEVIATIONS TO APPROVED PLAN NO. 363-10-02 FOR Mr. & Mrs. M. & G. Graham

SITE DESCRIPTION:
22 HIGHLANDS ROAD PARKHILL REM OF ERF 707 OF DUKER FONTEIN

RATE No 81408041

RICHARD A. NEPGEN & ASSOCIATES
DESIGNERS - CONSULTANTS - PLANNERS
PRASCHT REG No ST1011
9 SUMMER HILL ROAD, QUEENSBURGH 4093
TEL: (031) 464-9989 CELL: 0828238064

SCALES 1:250, 1:100	CHECKED R.A.N
DRAWING No 2013/1252	SHEET No. 1 of 3
DATE 5 MARCH 2013	DRAWN N.P.S.

TRACED