

GENERAL NOTES:

Engineers drawings to take preference over architects drawings. This drawing to be read in conjunction with the relevant engineers drawings.
 The contractor must verify all dimensions, levels & existing work before any building work is commenced with. Any discrepancies, conflicting information or incorrect information must be verified with the architect and architect must be notified in writing immediately and prior to commencement of such work.
 Only figured dimensions no scaling of the drawing.
 All notes, descriptions & information on layout drawings must be accepted as minimum specification.
 All building work and materials to comply with National Building Regulations SANS 10400, Building standards Act (1 03/1977) and Local Authority Bylaws.
 The property owner to appoint a health and safety officer for the building works.
 All demolition, site and building work to comply with health and safety report by architects and relevant consultants.
 This drawing is the property of the architect, is copyright and is to be returned on completion of the contract.

ALL EXISTING STORMWATER AND SEWER PIPES TO BE LOCATED AND VERIFIED PRIOR TO INSTALLATION OF NEW STORM WATER AND SEWER LINES ALL TO ENG. DETAILS.
 ALL EARTHWORKS TO ENGINEERS DETAILS.
 ALL BRICKWORK, LINTOLS, B.O.E, DPC, FILL TO ENGINEERS DETAILS & SPECIFICATIONS

DRAINAGE AND PLUMBING

- the design of the drainage system is to comply with part p of the nbr and any requirements of the relevant local authority and is the responsibility of the plumbing contractor
- the municipal sewer connection point is to be exposed prior to commencement of any drainage installation and the level verified, any discrepancies are to be reported to the engineer prior to commencing the work
- the sewer sections shown indicate the design intent only and are to be verified by the plumbing contractor and any discrepancies or proposed alterations are to be reported to the engineer prior to commencement of the work
- the stormwater drainage is to be to the civil engs. detail
- sanitary fixtures are to be provided in compliance with the machinery and occupational safety act 6 of 1983 or latest amendment and nbr
- all plumbing and water supply pipes are to be internal or chased into walls, no exposed pipes to the face of the building unless indicated on the drawings
- no junctions to drainage pipes are permitted under floors
- all underground ducts, pipes and vents to be adequately sealed against methane seepage
- soil pipes are to be min 110dia upvc
- waste pipes min 50dia pvc
- ie's are required to all bends and junctions
- all re's are to comply with pp21 of the nbr
- all gully surrounds to be 75mm above fl
- the water supply to comply with part w nbr

- ww branch drains over 6m long to comply with pp18.4 section c nbr
- all plumbing work to be undertaken by responsible registered plumbing contractor.
- all wc's to be fitted with flushmasters
- bin area tap to be fitted with removable handle for operating purposes.
- no galvanised piping to be used.
- the static water pressure at terminal point should not exceed 600kpa.
- all pipes and fittings used to be sabs approved and on the jaswic list of approved fittings.
- overflow from all wc to be to the external

GENERAL SPECIFICATIONS :

ALL WORK TO COMPLY WITH SANS 10400 & L.A. BY-LAWS.
 CONTRACTOR IS RESPONSIBLE FOR CORRECT SETTING OUT OF THE BUILDING, ALL EXTERNAL & INTERNAL WALLS WITH PARTICULAR REFERENCE TO BOUNDARIES.
 CONTRACTOR TO LOCATE & IDENTIFY EXISTING SERVICES ON SITE & TO PROTECT THESE FROM DAMAGE THROUGHOUT THE DURATION OF WORKS.
 CONTRACTOR TO USE FIGURED DIMENSIONS & NOT TO SCALE OF DRAWINGS.
 ALL ENTRANCE LEVELS ARE DERIVED BY USING LOCAL AUTHORITIES FORMULA.

GENERAL SPECIFICATIONS

ROOF: PITCH 5°
 IFR ROOF SHEETING ON 38x38mm TIMBER BATTENS AT 345mm CENTRES ON APPROVED UNDERLAY ON 114x38mm TIMBER TRUSSES AT 1000mm CENTRES ON 114x38mm TIMBER WALL PLATE - TO BE TIED DOWN 6 COURSES INTO BRICKWORK.

CEILINGS:
 64mm GYPSUM RHINOBOARD CEILING FIXED TO UNDERSIDE OF 38x38 TIMBER BRANDING. BRANDING TO BE 450mm CENTRES - SEE SECTION FOR INSULATION NOTE

EXTERNAL : 230mm BRICKWORK PLASTERED & PAINTED
 INTERNAL : 115mm BRICKWORK PLASTERED & PAINTED

WINDOWS:
 ALUMINIUM FRAMED CLEAR GLAZED WINDOWS
 GLAZING TO COMPLY WITH PART N

DOORS:
 TIMBER DOORS TO CLIENTS CHOICE

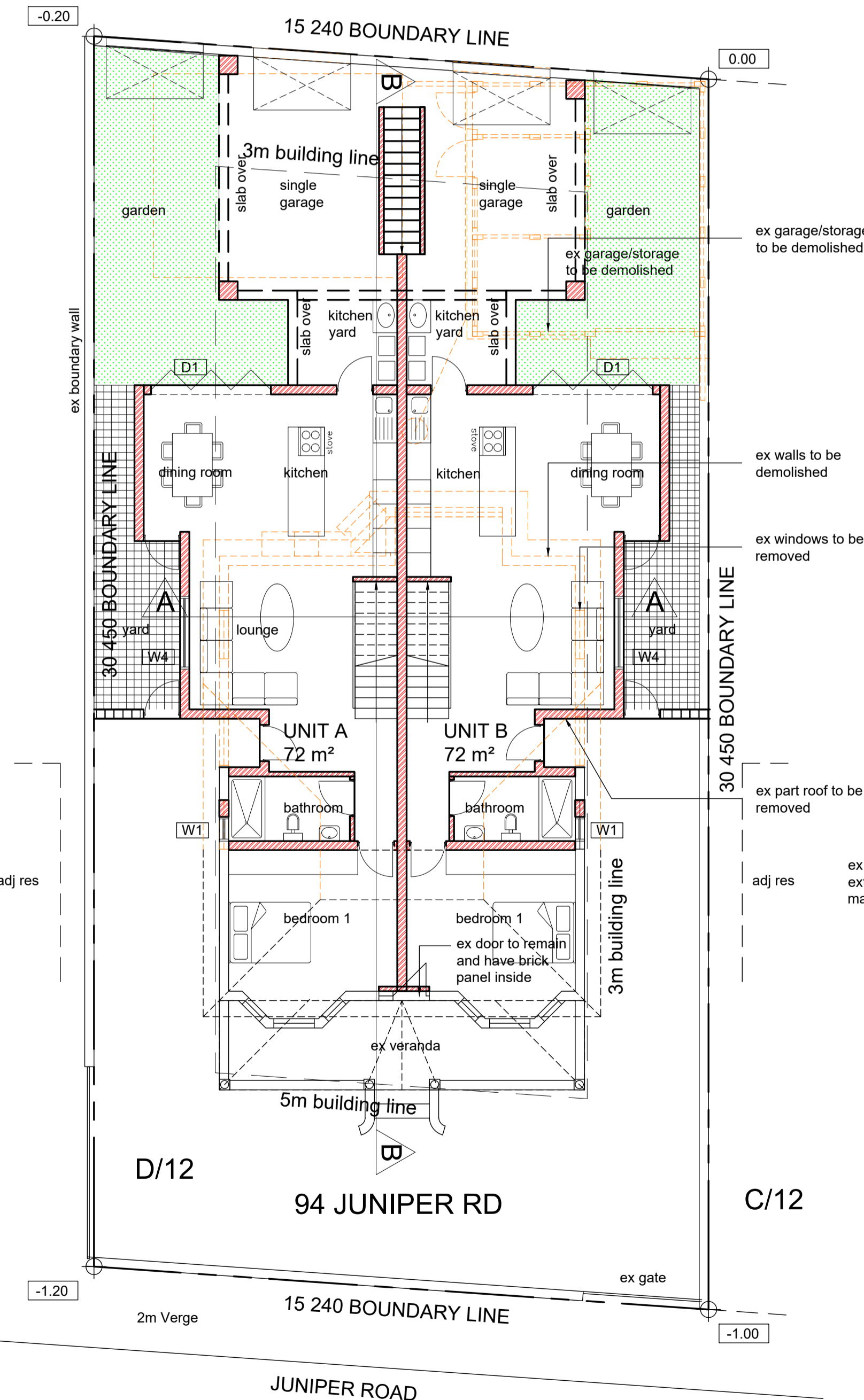
FLOOR CONSTRUCTION:
 FLOOR FINISH ON MIN 25mm THICK SCREED ON 100mm THICK REINFORCED CONCRETE SLAB ON 250 MICRON DPM ON WELL COMPACTED POISONED EARTH.

SUSPENDED SLABS:
 FLOOR FINISH ON MIN 25mm THICK SCREED ON REINFORCED CONCRETE SLAB TO ENG. DETAILS.

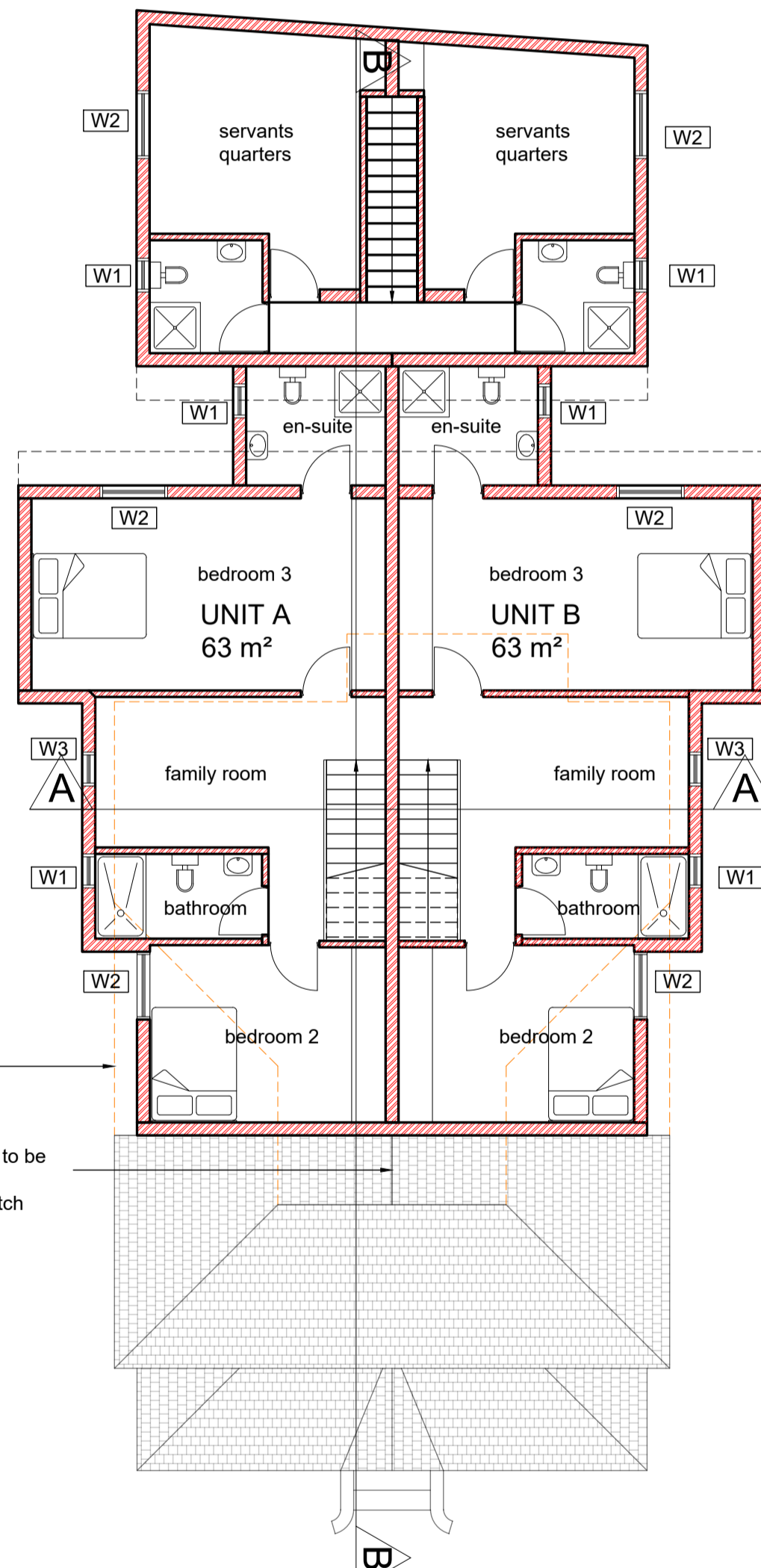
PLUMBING:
 WASTE PIPES: 500 PVC PIPES
 SEWER PIPES: 1000 PVC PIPES

INTERNAL WATER PIPES:
 TO BE 13mmØ COPPER FEED TO FITMENTS

ELECTRICAL:
 ALL WORK BY REGISTERED TRADESMAN



SITE/GROUND STOREY PLAN
 SCALE 1:100



FIRST STOREY PLAN
 SCALE 1:100

SCHEDULE OF AREA : MSQ (ZONING)

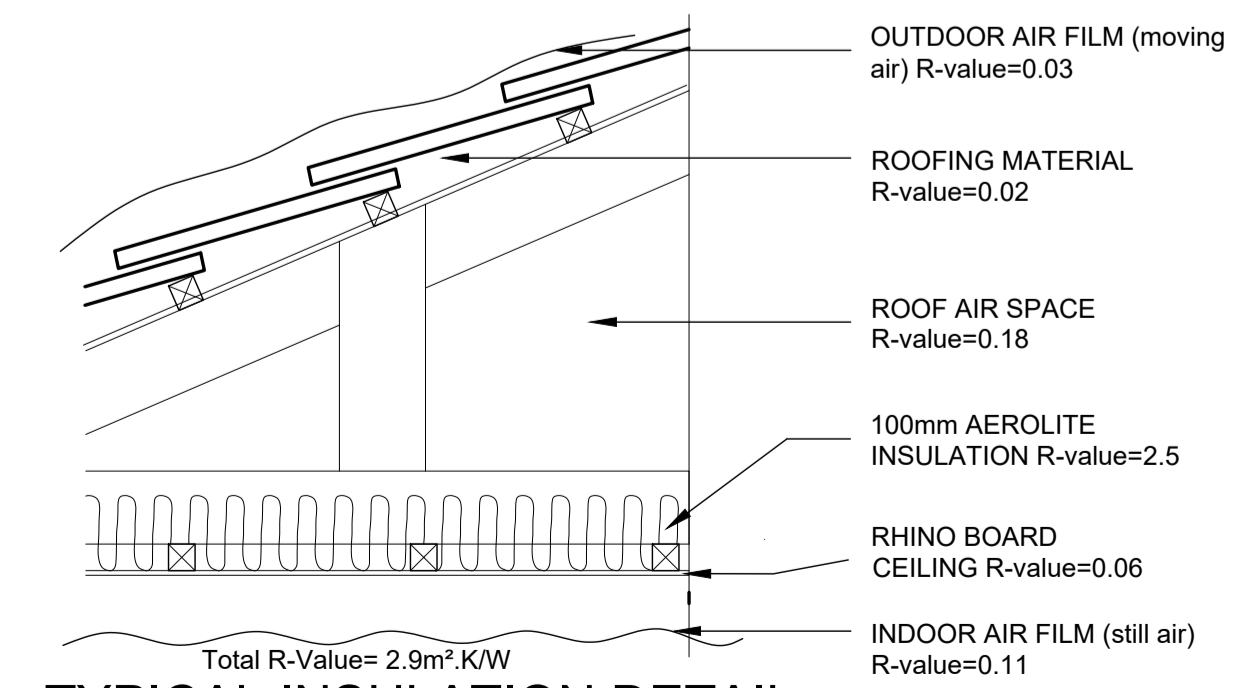
94 JUNIPER ROAD : 463.00msq
 94 Juniper road
 UNIT A TOTAL - 135 m²
 UNIT B TOTAL - 135 m²
 NEW AREA - 270 m²

	94 JUNIPER RD	GARAGE	TOTAL
EXISTING COVERAGE	137	NIL	137
NEW COVERAGE	48	64	112
TOTAL	185	64	249
TOTAL COVERAGE			249.00msq
EXISTING F.A.R.			
GROUND STOREY	96.20	NIL	96.20
FIRST STOREY	NIL	NIL	NIL
TOTAL	96.20	NIL	96.20
TOTAL EXISTING F.A.R.			96.20
PROPOSED F.A.R.			
GROUND STOREY	90	NIL	90
FIRST STOREY	130	47	177
TOTAL	220	47	267
TOTAL PROPOSED F.A.R.			267
TOTAL F.A.R.			363.20msq

WINDOW SCHEDULE

D01	TYPE OF GLASS : MONOLITHIC ANNEALED FRAME : 25 MICRONS NATURAL ANODISED PANEL SIZE : 1.89msq - 6.5mm THICK T/SAFETY CLEAR GLASS	3600 900 900 900 900 U/SIDE OF LINTOL	2 OFF AREA : 7.56msq TOTAL AREA : 15.124msq
W01	TYPE OF GLASS : FROSTED GLASS FRAME : 25 MICRONS NATURAL ANODISED AREA : 0.38msq THICKNESS : 6.5mm T/SAFETY - OBSCURE	600 U/SIDE OF LINTOL	8 OFF AREA : 1.08msq TOTAL AREA : 8.64msq
W02	TYPE OF GLASS : MONOLITHIC ANNEALED FRAME : 25 MICRONS NATURAL ANODISED PANEL SIZE : 0.36msq - 6.5mm THICK T/SAFETY CLEAR GLASS	1200 600 600 U/SIDE OF LINTOL	6 OFF AREA : 1.44msq TOTAL AREA : 8.64msq
W03	TYPE OF GLASS : MONOLITHIC ANNEALED FRAME : 25 MICRONS NATURAL ANODISED AREA : 0.36msq THICKNESS : 6.5mm T/SAFETY - OBSCURE	600 U/SIDE OF LINTOL	2 OFF AREA : 1.08msq TOTAL AREA : 2.16msq
W04	TYPE OF GLASS : MONOLITHIC ANNEALED FRAME : 25 MICRONS NATURAL ANODISED AREA : 0.36msq THICKNESS : 6.5mm T/SAFETY - OBSCURE	1800 600 600 600 U/SIDE OF LINTOL	2 OFF AREA : 2.16msq TOTAL AREA : 4.32msq

NOTE :
 ALL SHOWER DOORS AND SIDE PANELS TO BE ALUMINIUM FRAMED WITH 6.5mm THICK TOUGHENED SAFETY GLASS



TYPICAL INSULATION DETAIL
 1 : 10

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Design : Y.P Drawn : N.M

Owner's Signature :

Name Date Sign

Architect's Signature :
 YUSUF .PATEL
 SACAP no: 5218 Sign

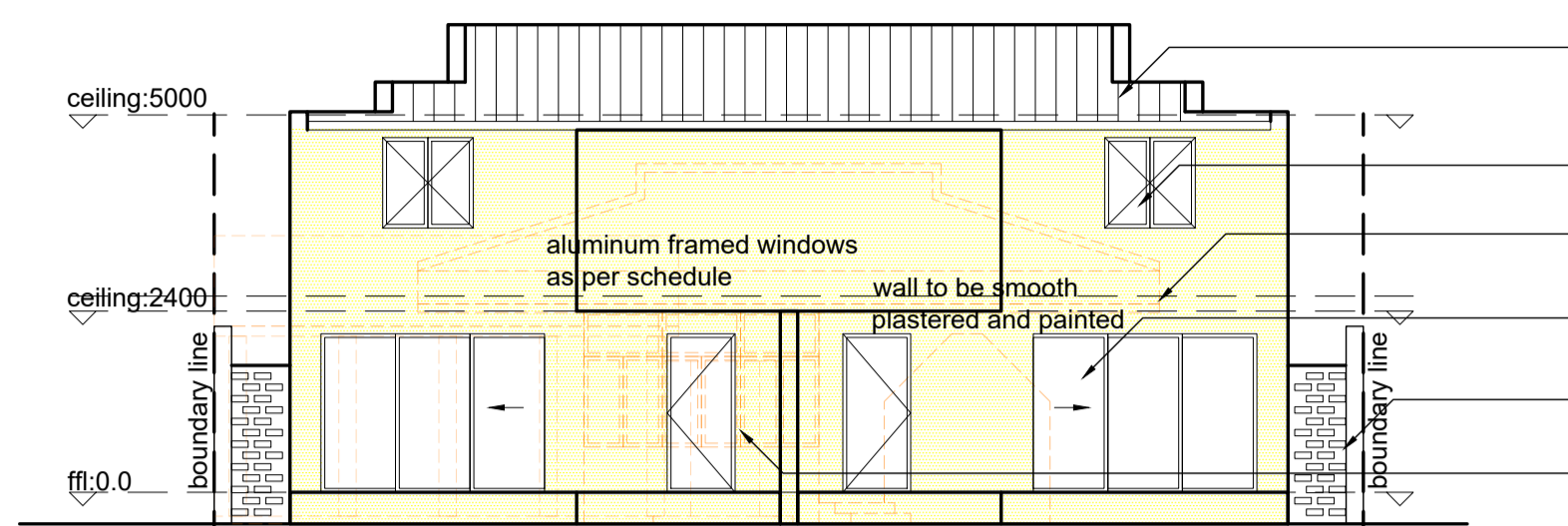
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 PROPOSED ADDITIONS AND ALTERATIONS FOR SUHAL AGJEE ON PORTION 60 OF ERF 2128 DURBAN PN: 94 JUNIPER ROAD, ESSENWOOD

Drawing Title :
 GROUND STOREY AND FIRST STOREY PLANS

Contract No. :

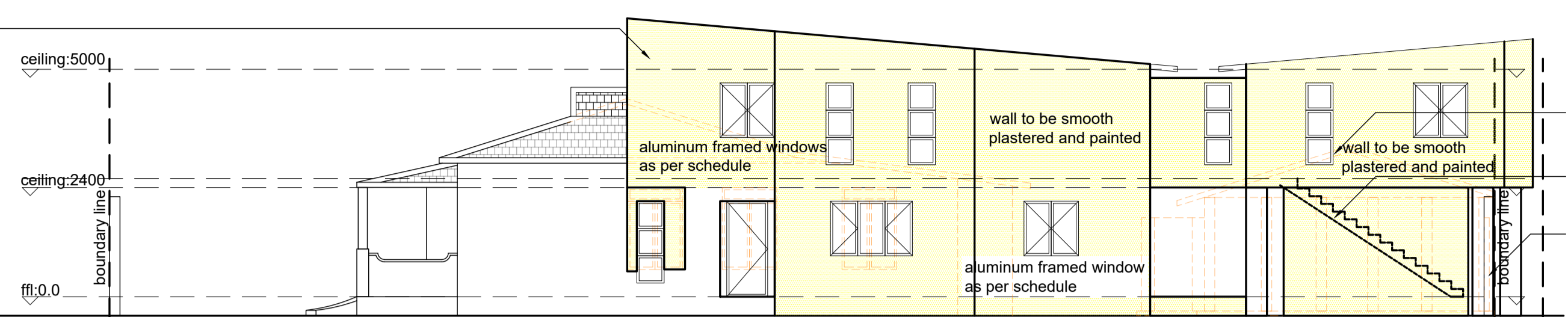
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Drawing no. : 22112021 - 01 Rev.



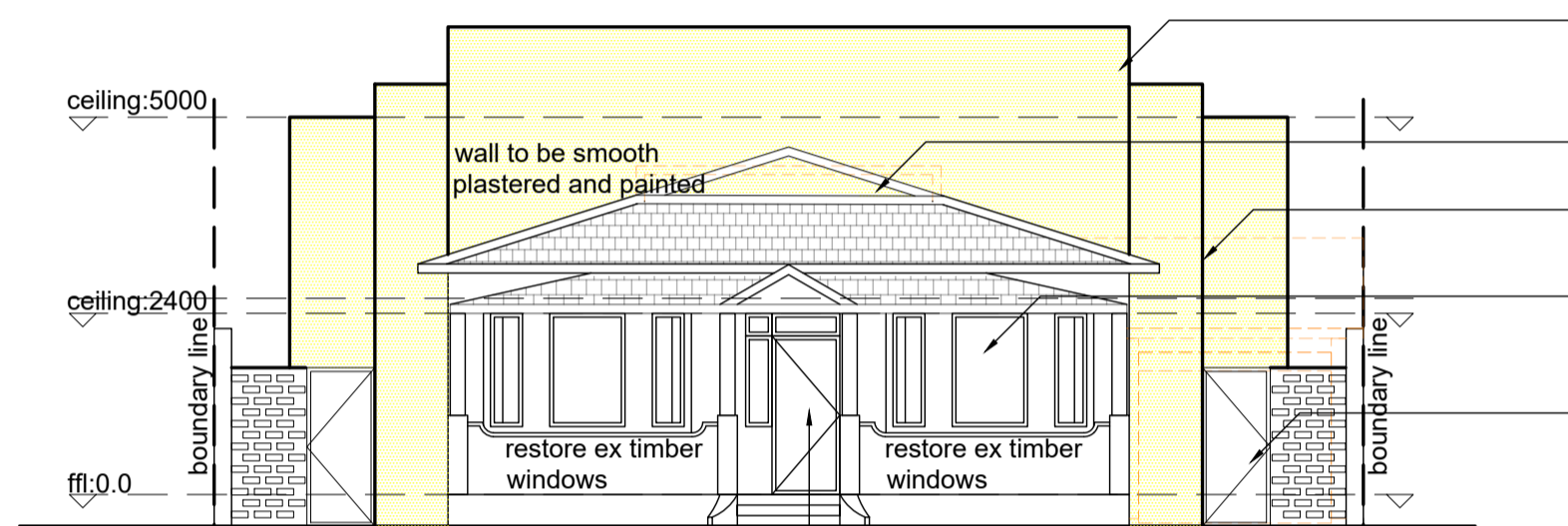
EAST ELEVATION SHOWING HOUSE FACADE
SCALE 1:100

new ibr sheeted roof as per eng details
aluminum framed windows as per schedule
part ex tiled roof to be removed
new 2100 high folding/stacking doors as per schedule
new 230 thick perforated brick wall
ex part of building to be demolished



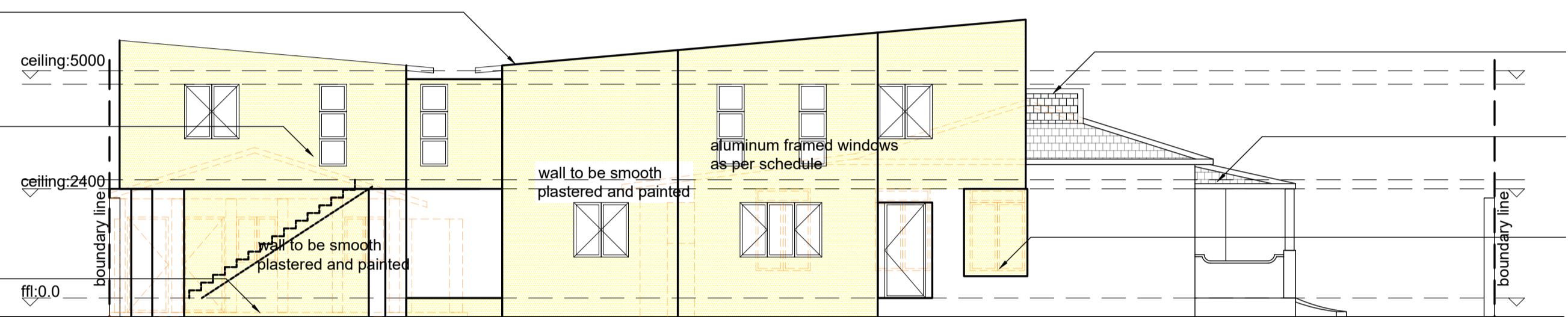
SOUTH ELEVATION
SCALE 1:100

ex building to be demolished
new 230 thick brick wall
ex boundary wall



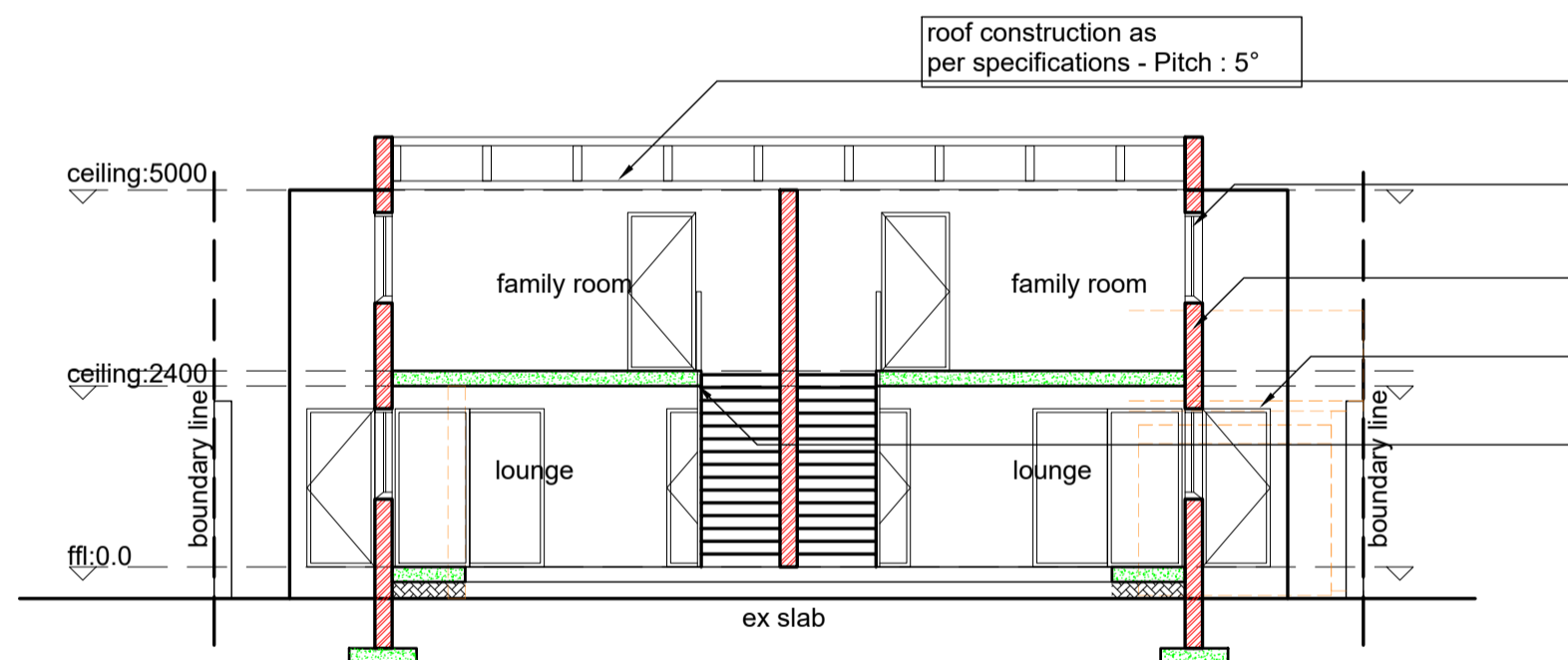
WEST ELEVATION
SCALE 1:100

new 230 thick parapet wall
part ex roof to be extended and match ex pitch
ex building to be demolished
ex veranda and front of building to remain unchanged
new 230 thick perforated brick wall
new 230 brick wall

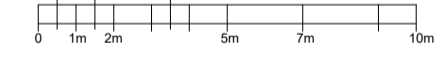


NORTH ELEVATION
SCALE 1:100

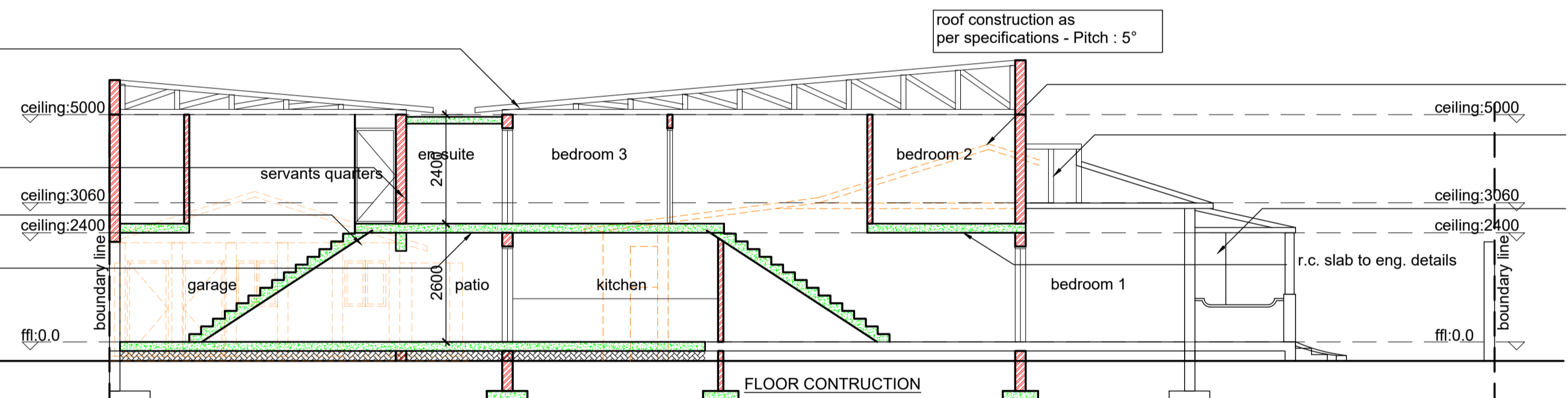
part ex tile roof to be extended and match ex pitch
ex veranda and front of building to remain
ex windows to be removed and bricked up to make new



SECTION A - A
SCALE 1:100



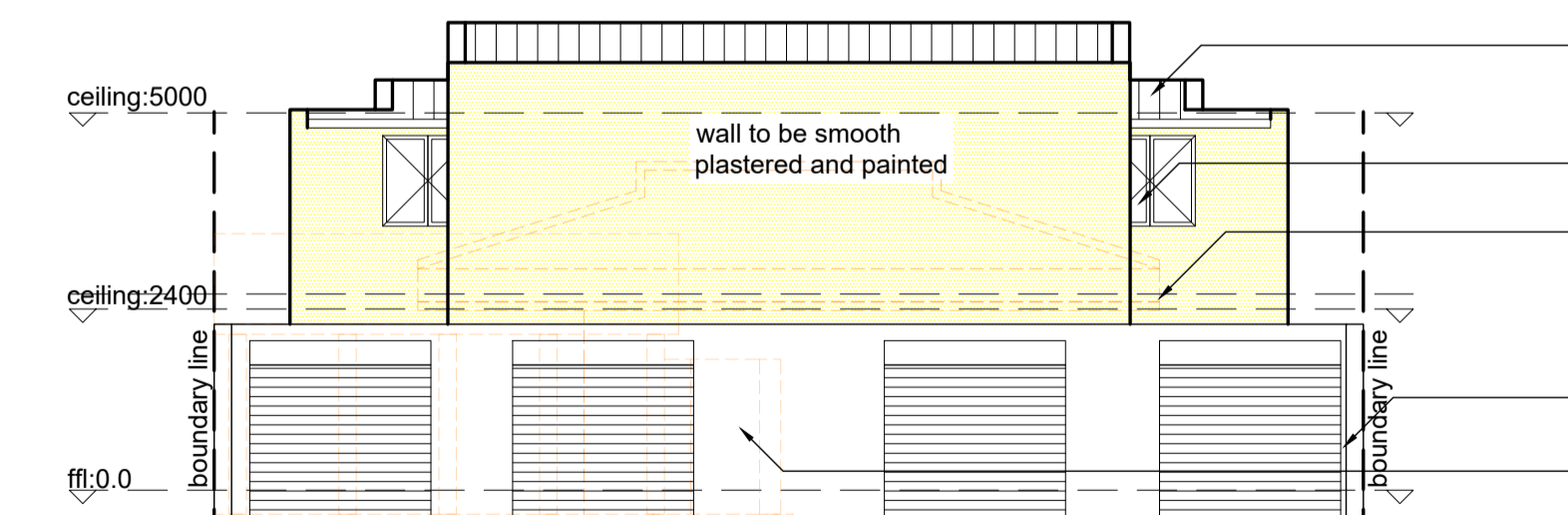
5° roof pitch to eng details
aluminum framed windows as per schedule
new 230 thick brick wall
ex building to be demolished
r.c. slab to eng. details



SECTION B - B
SCALE 1:100

FLOOR CONSTRUCTION
finish on 25mm screed on r.c. slab on 250micron dpm on well compacted poisoned fill all to eng. details

part ex tile roof to be removed
part ex tile roof to be extended and match ex pitch
ex veranda and front of building to remain



EAST ELEVATION
SCALE 1:100

new ibr sheeted roof as per eng details
aluminum framed windows as per schedule
part ex tiled roof to be removed
new 2400 high roller shutter doors
ex boundary wall

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Owner's Signature :

Name Date Sign

Architect's Signature :
YUSUF .PATEL
SACAP no: 5218 Sign

Project Name :
PROPOSED ADDITIONS AND ALTERATIONS FOR SUHAIL AGJEE ON PORTION 60 OF ERF 2128 DURBAN PN: 94 JUNIPER ROAD, ESSENWOOD

Drawing Title :
SECTIONS AND ELEVATIONS

Contract No. :

Scale : AS SHOWN Date : 22 NOV 2021

Drawing no. : 22112021 - 02 Rev. ...