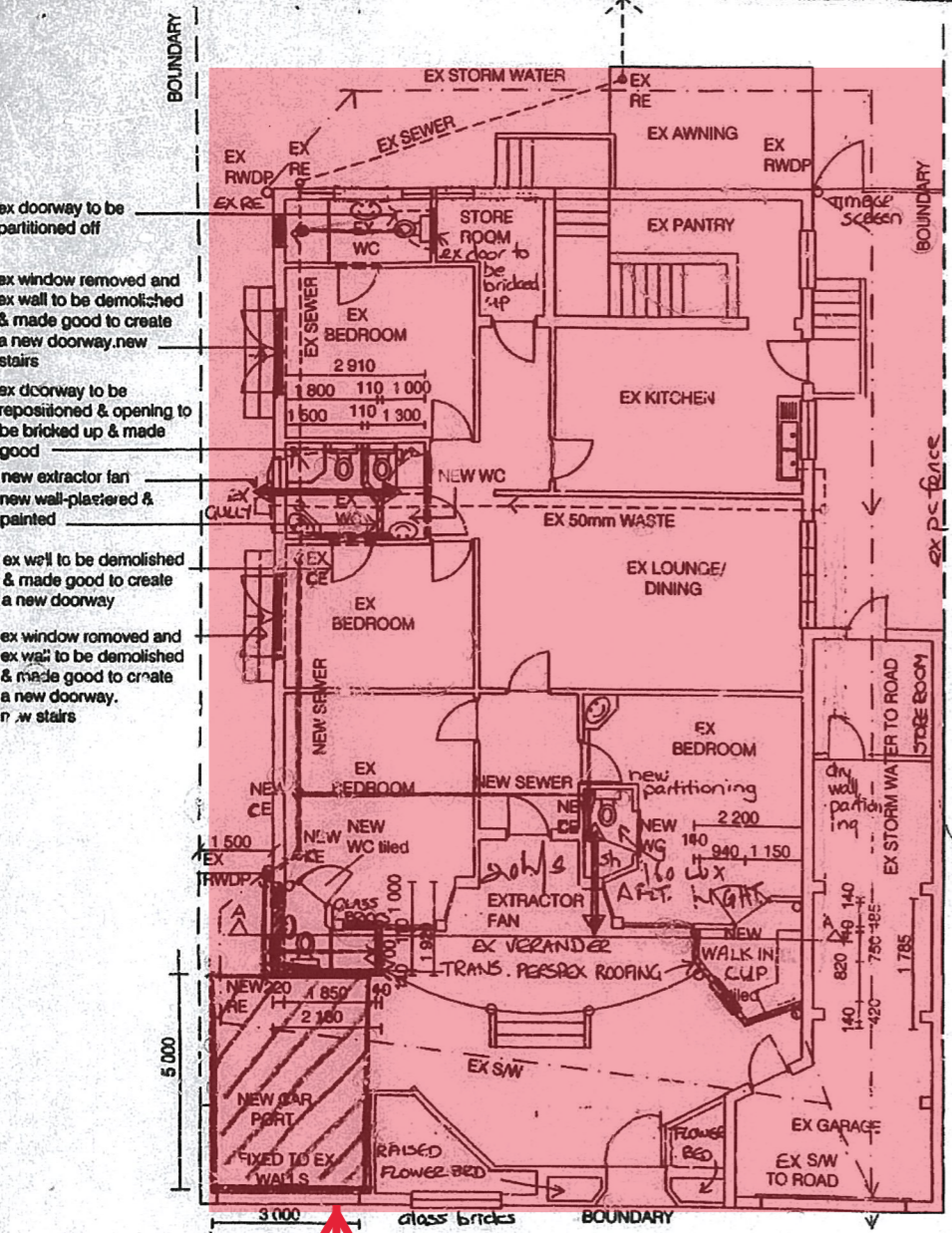


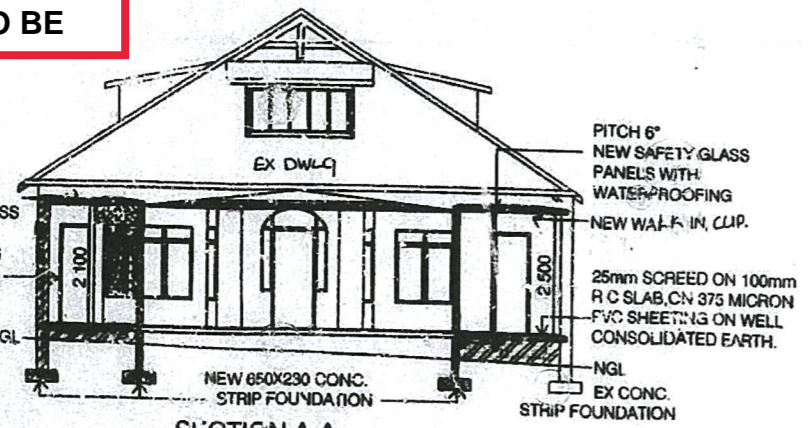
303 DAVENPORT RD

SHEET 12 COPY 2  
 ETHEKWINI MUNICIPALITY  
 CENTRAL  
 Plan No: 325 06 09

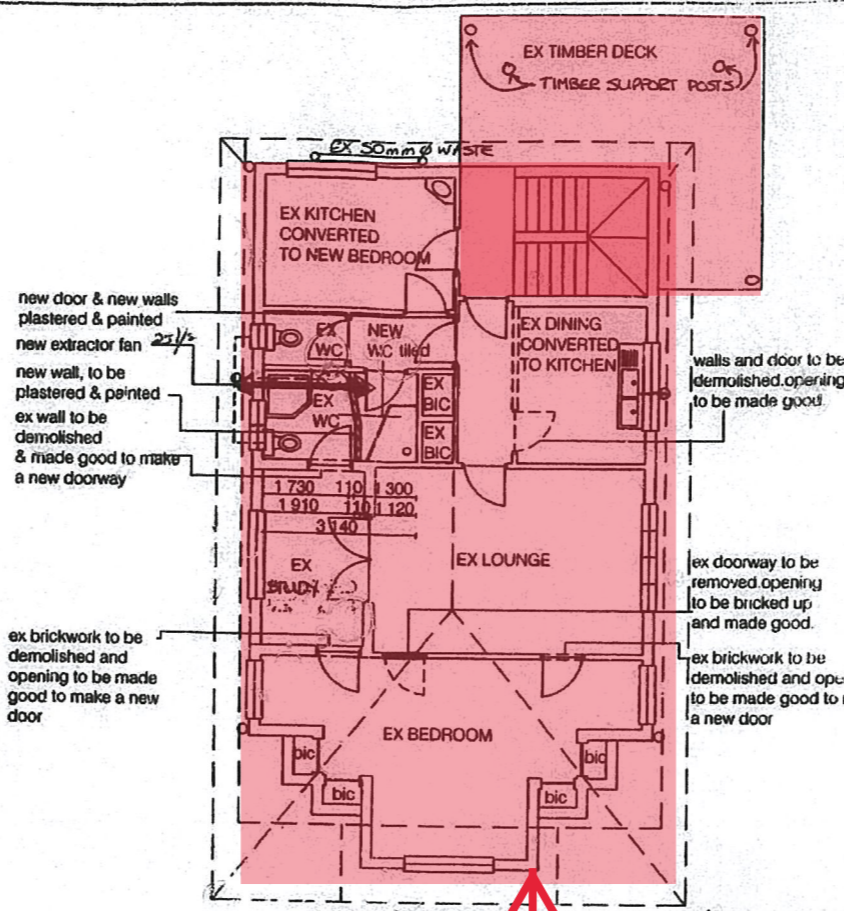


GROUND FLOOR PLAN  
 1:100

**ALL BUILDING STRUCTURES  
 ON SITE WITHING  
 BOUNDARY WALLS TO BE**

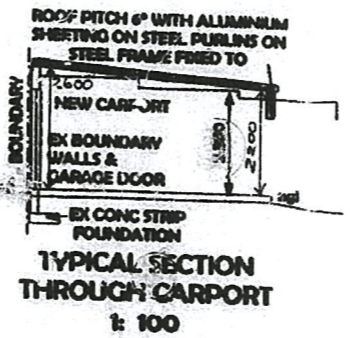


SECTION A-A  
 1:100

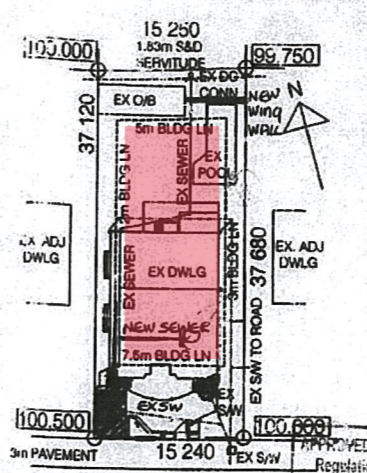


FIRST FLOOR PLAN  
 1:100

**ALL BUILDING STRUCTURES  
 ON SITE WITHING  
 BOUNDARY WALLS TO BE**



TYPICAL SECTION  
 THROUGH CARPORT  
 1:100



DAVENPORT ROAD  
 SITE PLAN  
 SCALE 1:500

Should work not have been commenced this approval will expire on its first anniversary date

All drains underneath ex timber raised floor. ALL WORK HAS ALREADY BEEN COMPLETED.

**GENERAL NOTES:**  
 ALL WORK TO COMPLY WITH COUNCIL & NBR REGULATIONS.  
 GLAZING TO COMPLY WITH PART NN2 & NN3 OF SABS.  
 CONTRACTOR TO MAKE GOOD ALL BUILDING WORK AFFECTED BY ALTERATIONS.  
 2 AIRBRICKS PER ROOM EXTERNALLY & OVER DOORS WHERE NECESSARY.  
 ALL DOORS & WINDOW FRAMES TO MATCH EXISTING.  
 P.C. LINTELS TO BE USED OVER ALL OPENINGS.  
 ANY POISON & SOIL CERTIFICATE TO BE PROVIDED.  
 PLASTER & PAINT TO MATCH EXISTING.  
 ALL FINISHED WORK TO MATCH EXISTING.  
 INTERNAL BATHROOM & WC LIGHT TO 160 LUX.  
 EXTRACT FANS TO BE FITTED TO EXTRACT AIR AT MIN RATE 25 LTRS PER MINUTE TO EXTERNAL AIR, FAN TO RUN OFF SAME SWITCH AS LIGHTS.  
 NEW GLASS PANELS AT 6° PITCH TO BE SAFETY GLASS & TO COMPLY TO SABS.

**FLOORS:**  
 100 mm CONCRETE FLOOR TO BE REINFORCED WITH BRC MESH ON DPM ON WELL-COMPACTED, POISONED SOIL.

**DRAINAGE NOTES:**  
 NEW SEWER TO LINK TO EXISTING SEWER & DRAINAGE.  
 ANY DAMAGED FITTINGS TO BE REPLACED.  
 I.E. TO ALL BENDS & JUNCTIONS.  
 SOIL (SEWER) PIPES TO BE 100 mm Ø PVC.  
 WASTE PIPES TO BE 50 mm Ø PVC.  
 ALL GULLY SURROUNDS.

**NEW ALUMINIUM AWNING:**  
 PITCH 6° ALUMINIUM SHEETING ON STEEL PURLINS ON STEEL FRAME & FIXED TO EX WALLS.

APPROVED in terms of The National Building Regulations and Building Standards Act No: 103 of 1977 (as amended)

2009-09-11

Signature: [Handwritten Signature]

Local Authority: [Handwritten Signature]

NO WORK TO BE COMMENCED ON THE BASIS OF THIS APPROVAL UNLESS THE DRAWINGS ATTACHED HERETO. ATTENTION IS DRAWN TO THE ATTACHED DOCUMENTATION.

**ENGINEERS DETAILS REQUIRED**

ALL GLAZING TO COMPLY WITH PART NN2 AND NN3 OF SABS 0400.

PROFESSIONAL ENGINEER TO CERTIFY THAT THE EXISTING STRUCTURE AND FOUNDATIONS ARE ADEQUATE TO SUPPORT THE ADDITIONAL LOADS.

RAILSTRADES, HANDRAILS, HEIGHTS AND OPENINGS TO COMPLY WITH NN2 AND NN3 OF SABS 0400.

**BOUNDARY BEACONS**

FAILURE TO EXPOSE THE BOUNDARY BEACONS BEFORE STARTING THIS WORK IS AN OFFENCE.

NAME	ADDRESS	TELEPHONE NO.	SIGNATURE
	299 DAVENPORT ROAD		
	307 DAVENPORT ROAD		
	87 CATO ROAD		

SCHEDULE OF AREAS:		
AREA OF SITE:	570.00 m <sup>2</sup>	
EX DWELLING & CVR:	264.45 m <sup>2</sup>	264.45 m <sup>2</sup>
NEW:	6.00 m <sup>2</sup>	6.00 m <sup>2</sup>
TOTAL AREA:	269.45 m <sup>2</sup>	269.45 m <sup>2</sup>

PROPOSED ADD & ALT TO EX DWLG

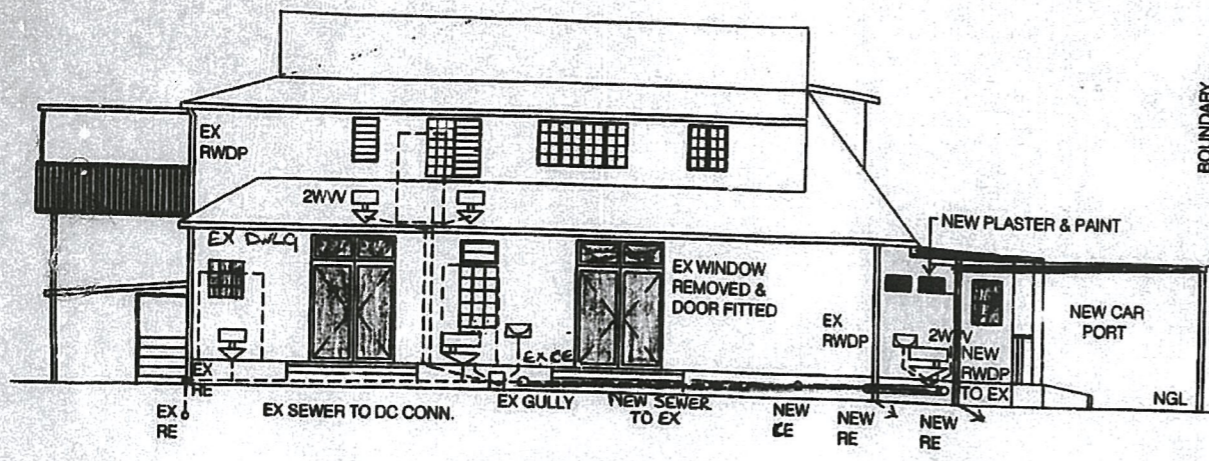
OWNER: D HUMPHREY  
 303 DAVENPORT RD  
 DULWER  
 DURBAN  
 082 902 4099

PTN 5 ERF 5130 DBN  
 SCALE 1:100 & 1:500  
 RATE NO.: 1479 7031

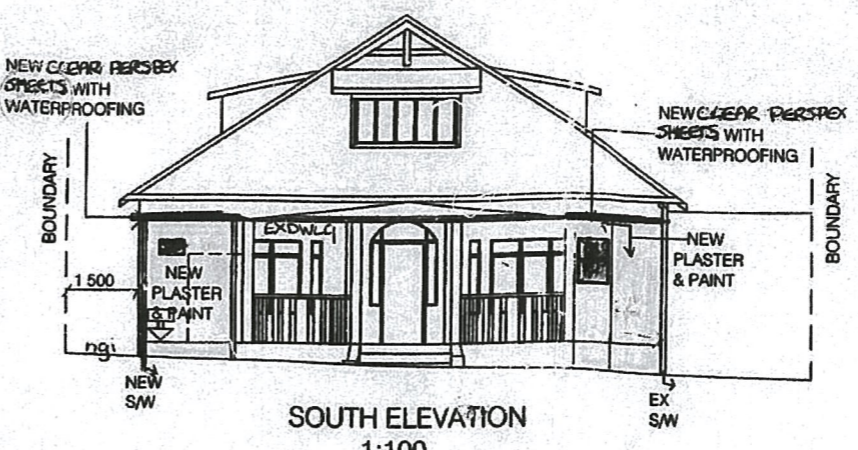
DRAWN BY: V VENTER  
 BOX 21730  
 BULLF 4096  
 031 466 3996 / 0848 11 7797  
 DECEMBER 2007 D1238

ID NUMBER: 470902 503 1107  
 SIGNATURE: [Handwritten Signature]

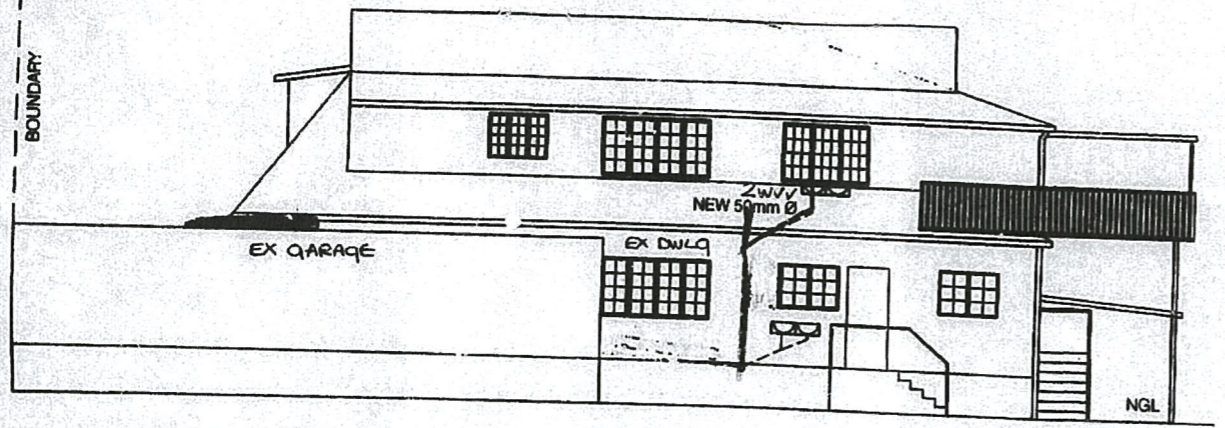
**303 DAVENPORT RD  
 BULWER  
 PTN 5 ERF 5130 - DBN  
 APPROVED SEPT 2009**



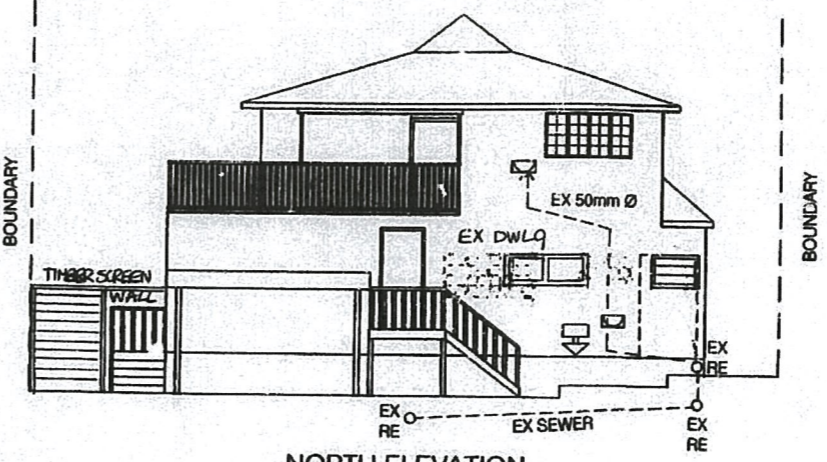
WEST ELEVATION  
1:100



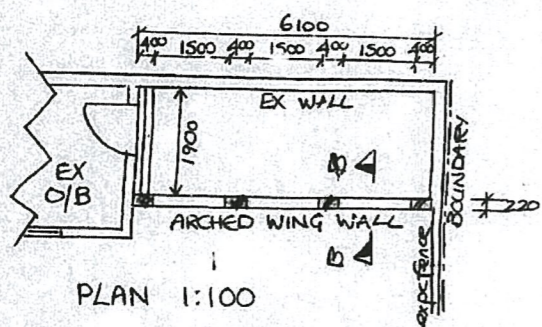
SOUTH ELEVATION  
1:100



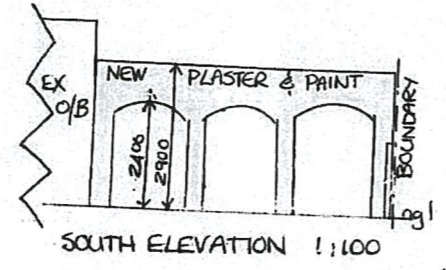
EAST ELEVATION  
1:100



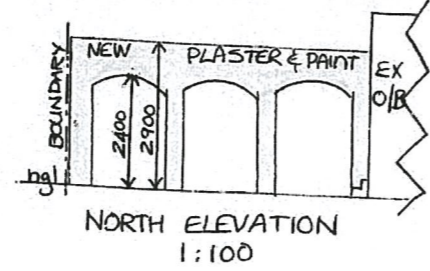
NORTH ELEVATION  
1:100



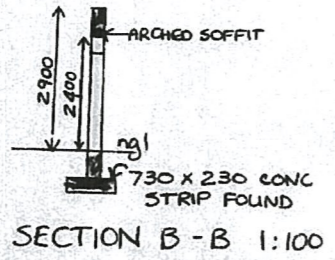
PLAN 1:100



SOUTH ELEVATION 1:100



NORTH ELEVATION 1:100



SECTION B-B 1:100

2/2 COPY 2  
E DURBAN MUNICIPALITY  
CENTRAL  
Plan No: P 325 06 09

APPROVED in terms of The National Building Regulations and Building Standards Act No: 103 of 1977 (as amended)  
2009-09-11  
Signature: *[Signature]* Local Authority  
This plan is approved on the basis of the information shown hereon. Attention is drawn to the attached documentation.

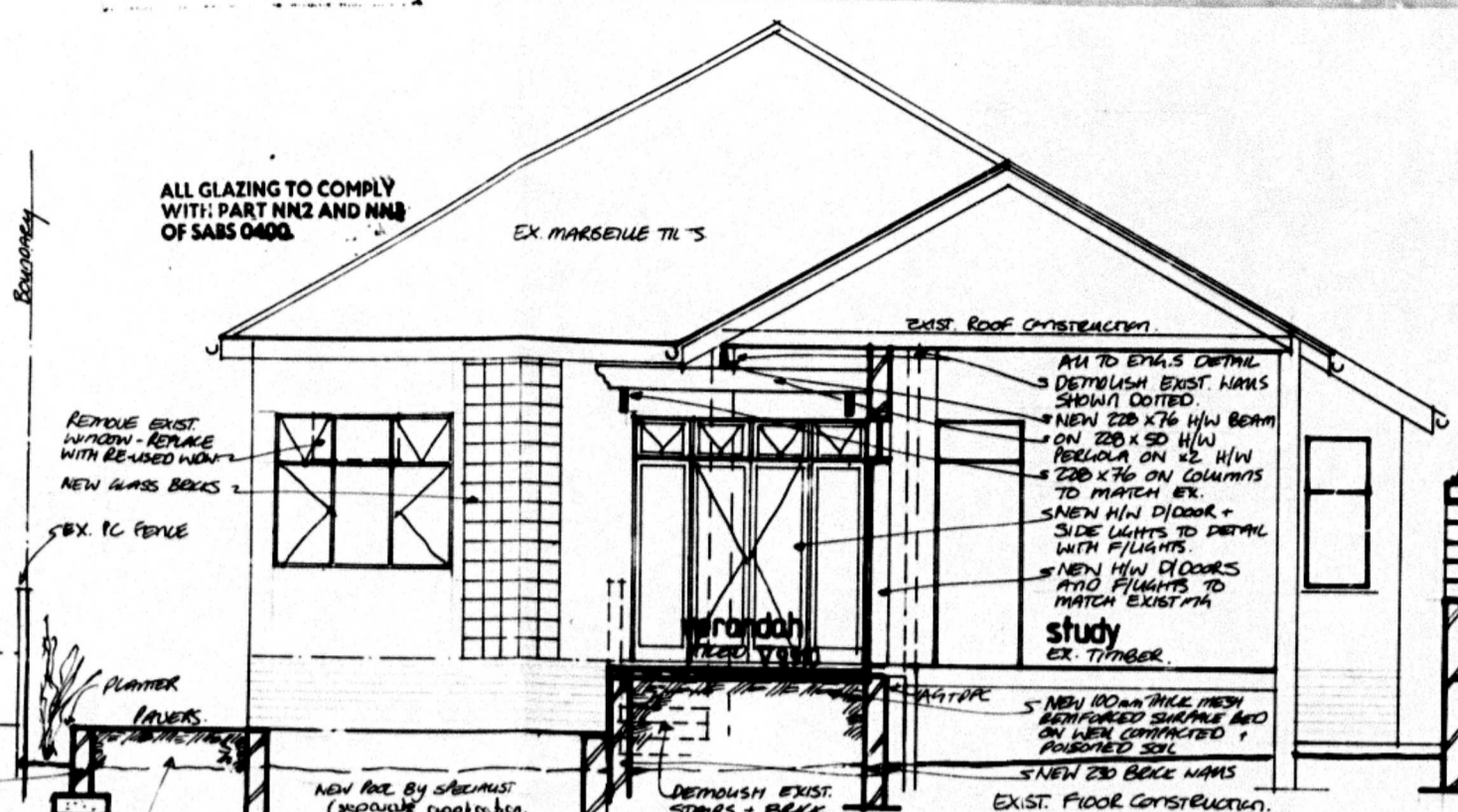
NAME:	ADDRESS:	TELEPHONE NO.:	SIGNATURE:
	299 DAVENPORT ROAD		
	307 DAVENPORT ROAD		
	157 CATO ROAD		

PROPOSED  
ADD & ALT  
TO EX DWLG  
OWNER:  
D HUMPHREY  
303 DAVENPORT RD  
DULWER  
DURBAN  
082 902 4099  
ID NUMBER: 4709025031107  
SIGNATURE: *[Signature]*

PTN 5 ERF 5130 DBN  
SCALE: 1:100 & 1:500  
RATE NO.: 1473 7031  
DRAWN BY:  
V VENTER  
BOX 27750  
BLUFF 4036  
031 446 3396 / 0848 11 7797  
DECEMBER 2007 D128

ALL GLAZING TO COMPLY WITH PART N12 AND N13 OF SABS 0400

EX MARSEILLE TR 5



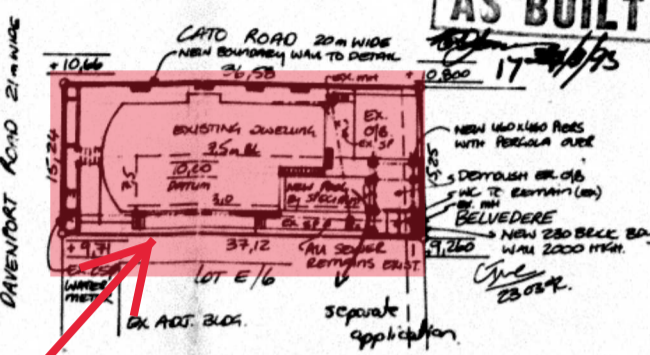
section aa 1:50

- As detailed on the Application Form, the author of the plan is responsible for:
- showing on the application drawings:
    - the location and extent of any lot
    - the location and extent of any easement or other right of way
    - the location and extent of any other structure or work of construction on the site
    - the location and extent of any other structure or work of construction on the site
  - showing on the drawings:
    - the location and extent of any structure or work of construction on the site
    - the location and extent of any structure or work of construction on the site
    - the location and extent of any structure or work of construction on the site
    - the location and extent of any structure or work of construction on the site

ROOF STRUCTURE TO BE TO EMPIRICAL RULES OR DESIGNED BY ENGINEER

APPROVED: [Signature]  
CITY ENGINEER 1992-02-10  
PLANNING COM

AS BUILT



site plan 1:500  
DECEMBER: 6 OF 5130  
ADDRESS: 307 DAVENPORT RD.

ENGINEERS DETAILS REQUIRED  
GLASS BRICK INSTALLATION BEING TO MANUFACTURERS RECOMMENDATIONS

ALL BUILDING STRUCTURES ON SITE WITHING BOUNDARY WALLS TO BE

"It should be noted that this plan has been approved on the basis of information thereon."

NOTES

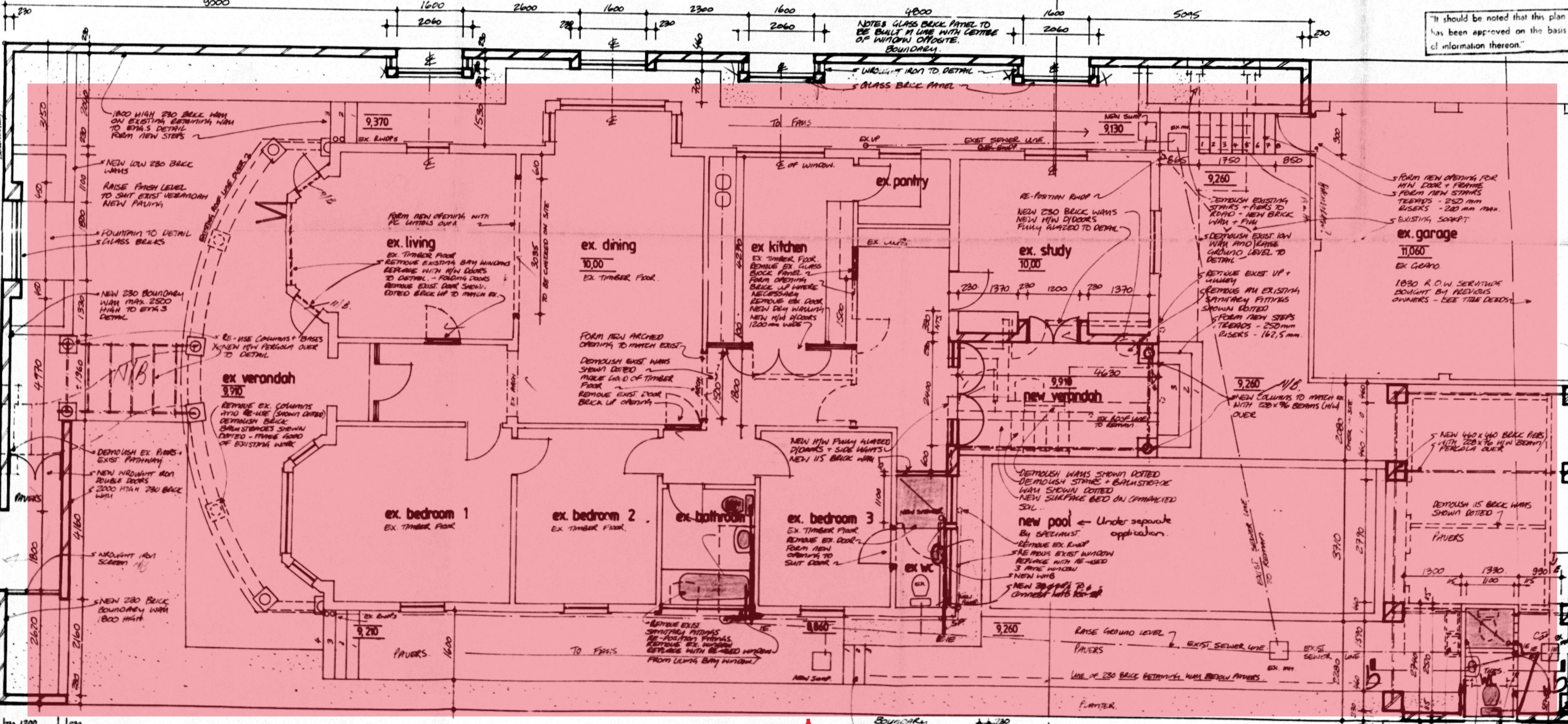
- All dimensions and levels to be checked on site before commencing any work.
- All new work to match existing unless otherwise stated.
- All new glazing to comply with the NBC.
- Install safety glass, where necessary, in fully glazed doors.
- New positions for EWP to connect into existing.

1/2 COPY 3  
CITY OF DURBAN  
PLAN NUMBER: 0482-12-91-6  
APPROVED: G. C. BODEN  
28 MAY 1992 ACTING CITY ENGINEER  
DATE: [Signature]

ELECTRICITY SERVICES

Any person undertaking building operations in accordance with this plan is required to ascertain from the Executive Director, Electricity Department:

- The location of any electrical services and servitudes in the vicinity of the proposed works
- Departmental requirements regarding Substation, Meter rooms and Cable ducts.



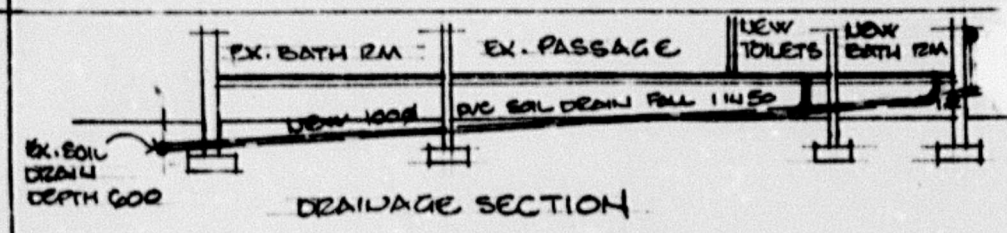
ground floor plan 1:50

ALL BUILDING STRUCTURES ON SITE WITHING BOUNDARY WALLS TO BE

307 DAVENPORT RD  
BULWER  
PTN 6 ERF 5130 - DBN  
APPROVED FEB 1992

sally adams architect  
6 vents avenue durban 4001 telephone 223511  
house maud grant  
project 4.12.91

submission drawing  
drawing name: [Signature]  
date: 25 10 91  
scale: 1:500 1:50  
9116 / W1  
drawing no.

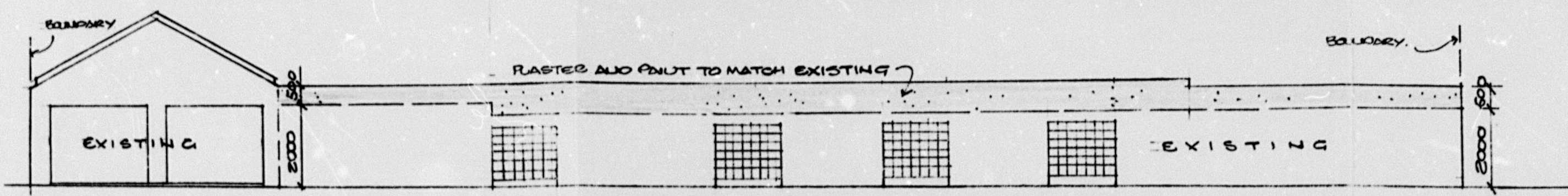


NOTE. WALL TO NEW TOILETS ARE MADE OF DRYWALL PARTITIONING. TO BE NOTED. P.P.M. P.P. 27.3.2004  
 NOTE. THERE IS NO ADDITIONAL LOAD TO THIS APPLICATION.

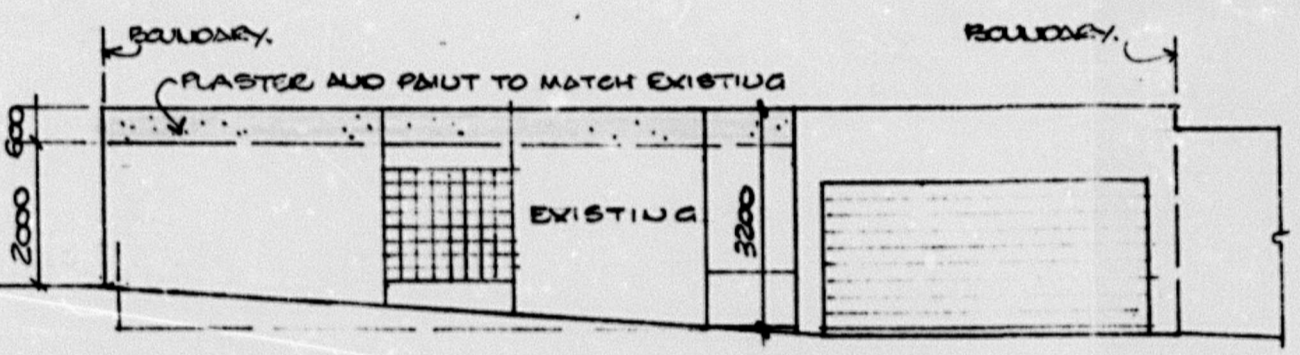
INTERNAL ALTERATIONS AND INCREASED HEIGHT TO EXISTING BOUNDARY WALLS AT 307 DAVENPORT ROAD, GLENWOOD PORTION 6 OF ERF 5130 DURBAN RATE NO 1473 8041 D. HUMPHREY

DATE: APRIL 2003  
 SCALE: 1 TO 100  
 OWNER: David Humphrey  
 PHONE No: 20223045  
 DRAWN BY D.G. BOX P.E.A.T  
 24 WELLPREEK ROAD  
 BLUFF, DURBAN  
 PHONE No 4662460

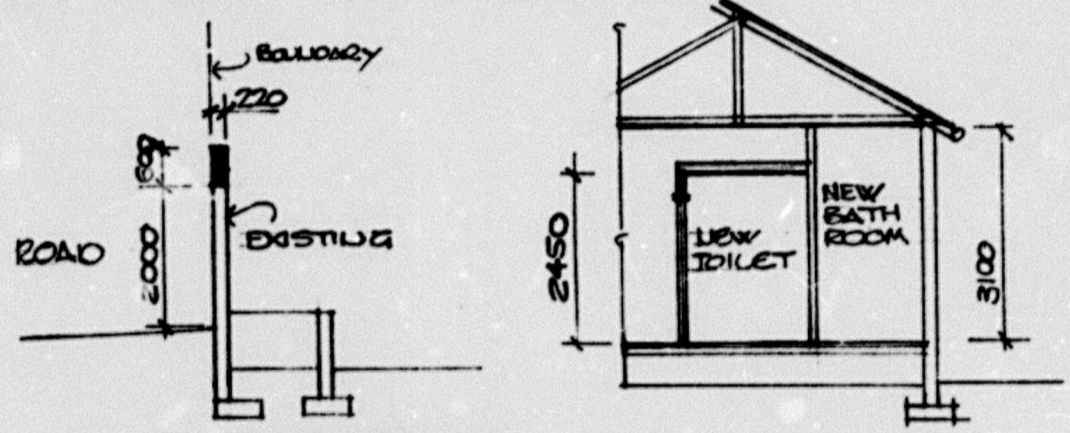
SHEET	11	COPY	2
ETHEKWINI MUNICIPALITY			
Plan No: 323 04 03			
APPROVED in terms of The National Building Regulations and Building Standards Act No 103 of 1977			
2 AUG 2004		DATE	
		LOCAL AUTHORITY	
This Plan is approved on the basis of the information shown hereon. Attention is drawn to attached documentation.			



WEST ELEVATION TO CATO ROAD



SOUTH ELEVATION TO DAVENPORT ROAD



TYPICAL SECTION THROUGH WALLS SECTION A.A.

NOTE. RE-2 INTERNAL TOILETS AIR IS EXTRACTED BY FAN TO EXTERNAL AIR AT MIN RATE OF 25 LITS PER MIN. FANS ARE RUN OFF SAME SWITCH AS LIGHTS. LIGHTING MIN 150 LUX. TINT & SHOWER TO BE TILGO. NOTE. TO OWNER'S CHOICE. ALL NEW WORK SHOWN ON THIS PLAN HAS BEEN COMPLETED.

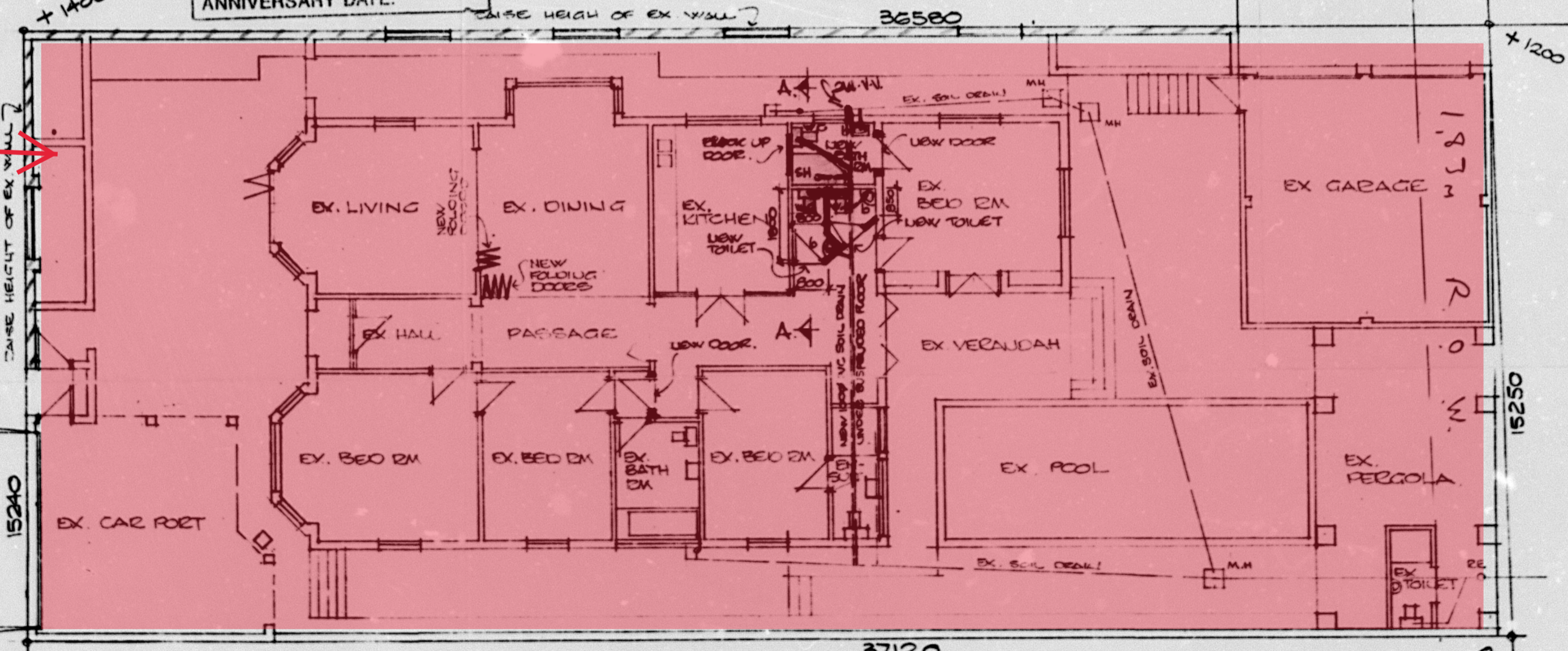
NOTE. THE OTHER SIDE OF CATO ROAD IS MUNICIPAL OWNED PARK LAND.

CATO ROAD 20 M

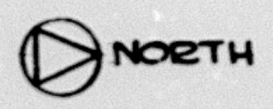
SHOULD WORK NOT HAVE COMMENCED THIS APPROVAL WILL EXPIRE ON ITS FIRST ANNIVERSARY DATE.

TOILET & SHOWER AREA ON CONCRETE SLAB 100MM THICK.

ALL BUILDING STRUCTURES ON SITE WITHIN BOUNDARY WALLS TO BE



PLAN AND SITE PLAN SCALE 1 TO 100



PROFESSIONAL ENGINEER TO CERTIFY THAT THE EXISTING STRUCTURE AND FOUNDATIONS ARE ADEQUATE TO SUPPORT THE ADDITIONAL LOAD.

**ELECTRICITY SERVICES**  
 Any person undertaking building operations in accordance with this plan is required to ascertain from the Executive Director: Durban Metro Electricity.  
 1) The location of any electrical services and servitudes in the vicinity of the proposed works.  
 2) DME requirements regarding Substation, Meter rooms, and Cable ducts.

**ELECTRICITY SERVICES**  
 Any person undertaking erection of a structure/sign in accordance with this plan is to ensure that:  
 1) The electrical installation complies with the Code of Practice for the installation of Premises SABS 0142:1987, as amended, and the Occupational Health and Safety Act 85/1993  
 2) A certificate of Compliance and Application for Permission to Connect to the DME prior to electrical connection to the supply source  
 3) Adequate earthing to the satisfaction of the Director. Transmission, DME is provided.

**SITE INSPECTION IN ORDER**

D.B.I. [Signature] 25/4/2003  
 S.B.I. [Signature] 25/4/2003  
 DATE 25/4/2003

**BOUNDARY BEACONS**  
 FAILURE TO EXPOSE THE BOUNDARY BEACONS BEFORE STARTING THIS WORK IS AN OFFENCE

FRONTAGE LEVELS ARE:  
 (1) TO CONFORM TO THE BACK OF THE CONSTRUCTED SIDEWALK OR  
 (2) TO BE CALCULATED BY THE USE OF THE FOLLOWING FORMULA:  $E = 0.150m + D$   
 WHERE: E = FRONTAGE LEVEL, E LEVEL OF EDGE OF HARDENED ROAD, D = DISTANCE IN METERS BETWEEN EDGE OF ROAD HARDENING AND ROAD RESERVE BOUNDARY.  
 A CONCRETE BEAM AT THE CORRECT FRONTAGE LEVEL IS TO BE PROVIDED AT EACH ENTRANCE POINT AT THE SAME GRADE AS THE KERB OR ROAD.

**SUBMISSIONS**  
 SITEPLAN CHECKED  
 2003-04-23  
 [Signature]

307 DAVENPORT RD  
 BULWER  
 PTN 6 ERF 5130 - DBN  
 APPROVED AUG 2004