

South East Elevation
SCALE: 1 : 100

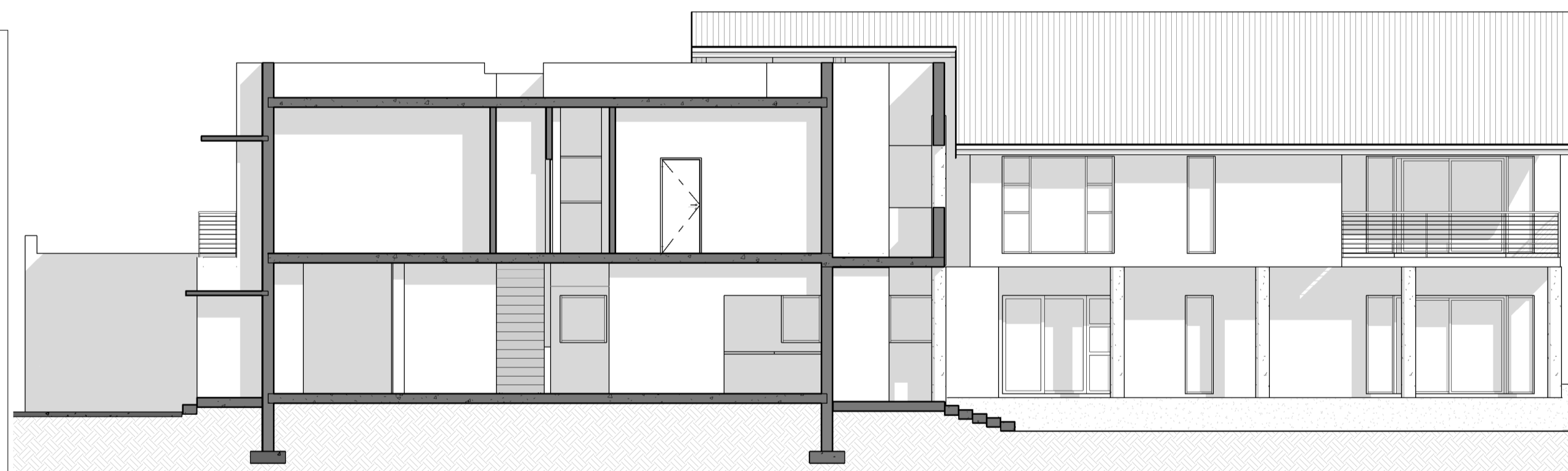


North East Elevation
SCALE: 1 : 100

03 SITE PLAN
SCALE: 1 : 250

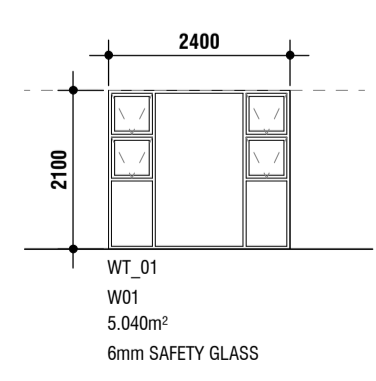
NOTES IN RESPECT OF S A STANDARD CODE OF PRACTICE FOR THE APPLICATION OF THE NATIONAL BUILDING REGULATIONS, SANS 10400

- PART A - PUBLIC SAFETY**
- ALL REQUIREMENTS TO COMPLY WITH PART A SANS 10400.
- PART B - STRUCTURAL DESIGN**
- ALL STRUCTURAL DESIGN AS PER RATIONAL DESIGN BY A COMPETENT PERSON
- PART C - DIMENSIONS**
- ALL DIMENSIONS OF ANY ROOM OR SPACE TO COMPLY WITH THE REQUIREMENTS OF PART C SANS 10400.
- PART D - PUBLIC SAFETY**
- ALL BALUSTRADING TO COMPLY WITH D-4.2 & D-1 (ANNEX A)
- PEDESTRIAN ENTRANCES TO PARKING AREAS IN BUILDINGS TO COMPLY WITH D3 (ANNEX A)
- ALL RAMPS AND DRIVEWAYS TO COMPLY WITH D-4.3 & D-3 (ANNEX A)
- PART F - SITE OPERATIONS**
- ALL SITE OPERATIONS TO COMPLY WITH PART F SANS 10400.
- PART G - EXCAVATIONS**
- ALL EXCAVATIONS AS PER RATIONAL DESIGN BY COMPETENT PERSON
- PART H - FOUNDATIONS**
- ALL FOUNDATIONS AS PER RATIONAL DESIGN BY COMPETENT PERSON
- PART J - FLOORS**
- ALL FLOORS TO COMPLY WITH (ANNEX A) J-1
- ALL CONCRETE SURFACE BEDS TO COMPLY WITH J-4.4
- ALL FLOORS AS PER RATIONAL DESIGN BY COMPETENT PERSON
- PART K - WALLS**
- ALL MASONRY WALLS TO COMPLY WITH K-4.2 & K-1 - K-2 (ANNEX A)
- ALL LINTELS TO COMPLY WITH B1 (ANNEX B) OF PART K
- ALL WATERPROOFING TO WALLS TO COMPLY WITH K-4.5 & C-1 (ANNEX C) OF PART K
- ALL STRUCTURAL WALLS AS PER RATIONAL DESIGN BY COMPETENT PERSON
- PART L - ROOFS**
- ROOF AS PER RATIONAL DESIGN BY COMPETENT PERSON
- PART N - GLAZING**
- ALL GLAZING TO COMPLY WITH PART N OF SANS 10400 AND AAMSA REGULATIONS.
- GLAZING AND GLAZING STRUCTURE AS PER RATIONAL DESIGN BY COMPETENT PERSON
- PART O - LIGHTING AND VENTILATION**
- ALL LIGHTINGS AND VENTILATION TO COMPLY WITH PART O-4.1
- ALL AREAS TO BE ARTIFICIALLY AND NATURALLY LIT IN COMPLIANCE WITH PART O-4.2 OF SANS 10400
- ALL AREAS TO BE NATURALLY AND MECHANICALLY VENTILATED IN ACCORDANCE WITH PART O-4.3 OF SANS 10400
- FRESH AIR TO BE SUPPLIED AT RATE OF 7.5L/S/P & TO BE UNIFORMLY DISTRIBUTED THROUGHOUT HABITABLE AREAS.
- LIGHTING AND VENTILATION AS PER RATIONAL DESIGN BY A COMPETENT PERSON
- BUILDING TO COMPLY IN TERMS OF THE TOBACCO CONTROL LEGISLATION AS PER PART O-4.4
- PART P - DRAINAGE**
- ALL DRAINAGE AS PER RATIONAL DESIGN BY COMPETENT PERSON
- ALL SANITARY FIXTURES TO BE PROVIDED IN ACCORDANCE WITH P4.11 AND IN ACCORDANCE WITH P4.3, P4.4 & P4.5
- PART P - STORMWATER DISPOSAL**
- ALL STORMWATER AS PER RATIONAL DESIGN BY COMPETENT PERSON
- PART XA - ENERGY USAGE IN BUILDINGS**
- ENERGY USAGE AND BUILDING ENVELOPE TO BE DESIGNED IN ACCORDANCE WITH PART XA.2, XA.3 & XA.4 OF SANS 10400
- BUILDING DESIGN TO BE IN ACCORDANCE WITH 4.1, 4.2, 4.3 & 4.4 OF SANS 204
- SERVICES TO BE RATIONAL DESIGN BY COMPETENT PERSON
- ALL ENERGY USAGE AS PER RATIONAL DESIGN BY COMPETENT PERSON



Section AA
SCALE: 1 : 100

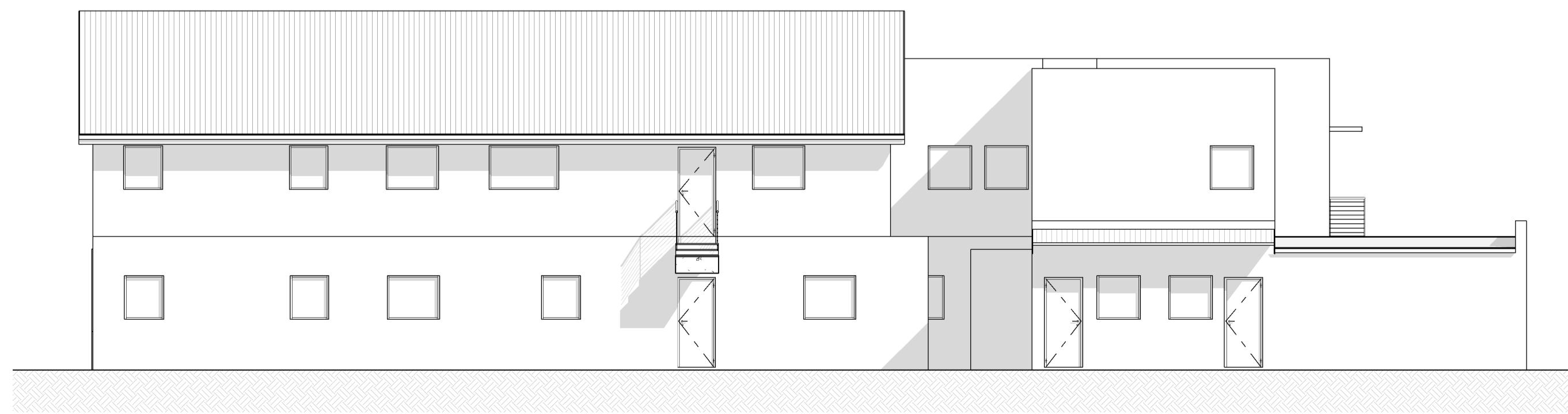
- ALTERATION KEY**
- 1 REMOVE EXISTING DOOR
 - 2 DEMOLISH EXISTING BRICKWORK
 - 3 ADD NEW BRICKWORK
 - 4 REMOVE EXISTING WINDOW AND BRICK UP
 - 5 EXISTING WINDOW TO BE MADE BIGGER
 - 6 DEMOLISH EXISTING TIMBER ROOF



WINDOW SCHEDULE



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CLIENT SIGNATURE *M Honeywell*

ENGINEER SIGNATURE

ARCHITECT SIGNATURE *Lance MacBean* LANCE MACBEAN PSAT 24792799

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PROJECT Alterations to House Honeywell	DRAWING Submission Drawing
LOCATION erf 1688 Durban North, 39 Grosvenor Crescent, Durban North	SCALE As indicated
CLIENT Mike Honeywell	DATE 14/08/2023
PROJECT NO. 20037 - SK - 1012	CHECKED LMB
DRAWING NO.	REVISION 0
SHEET SIZE A1	