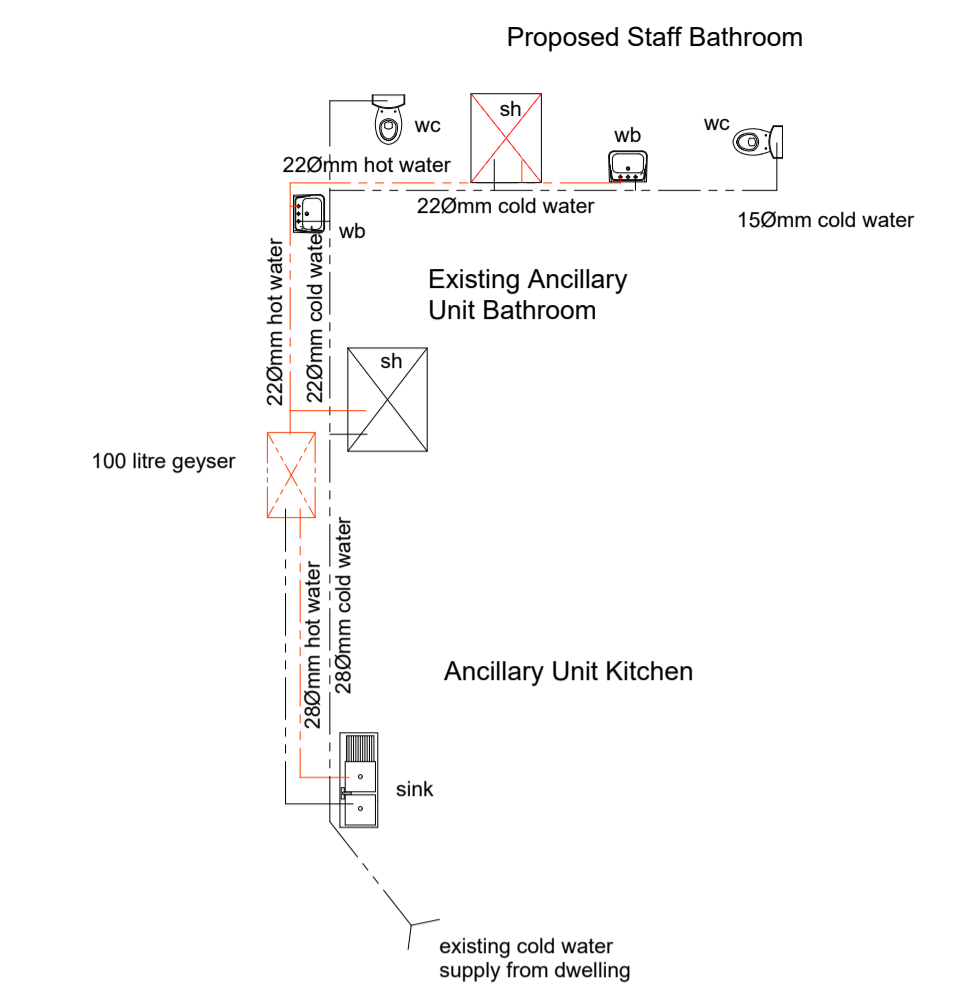
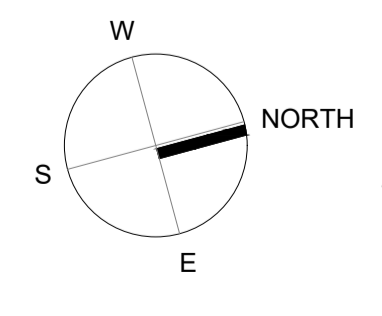
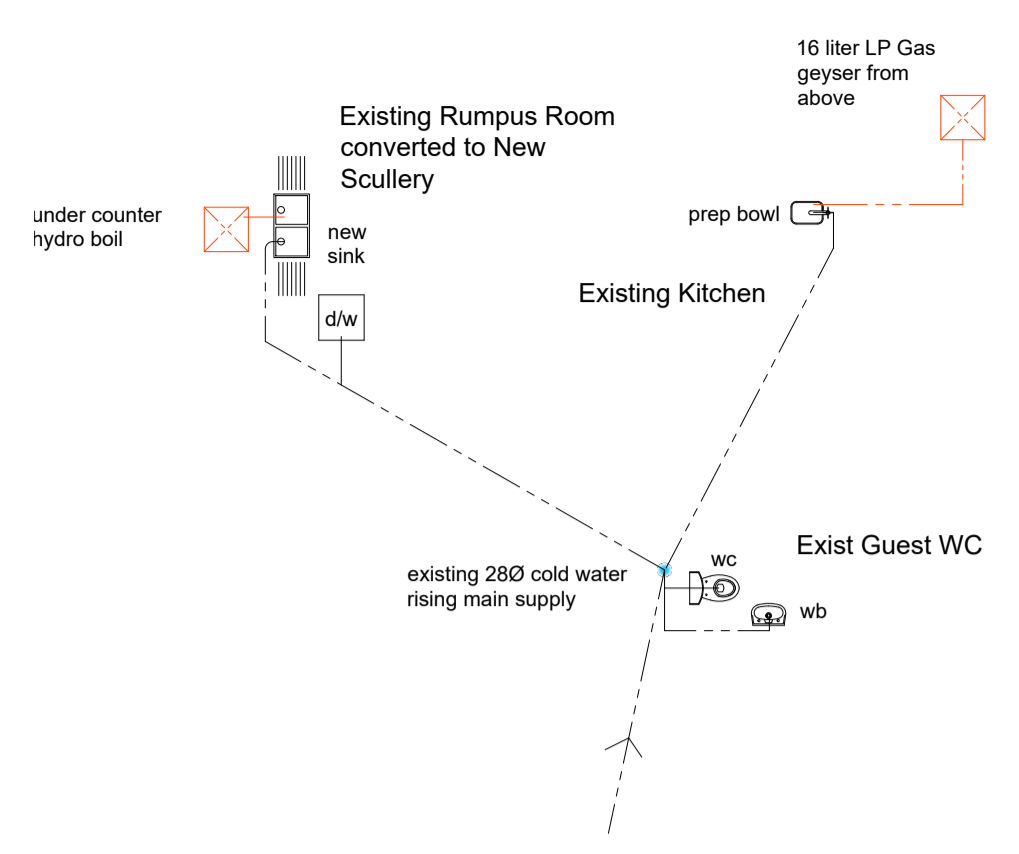


SITE PLAN
SCALE 1: 200

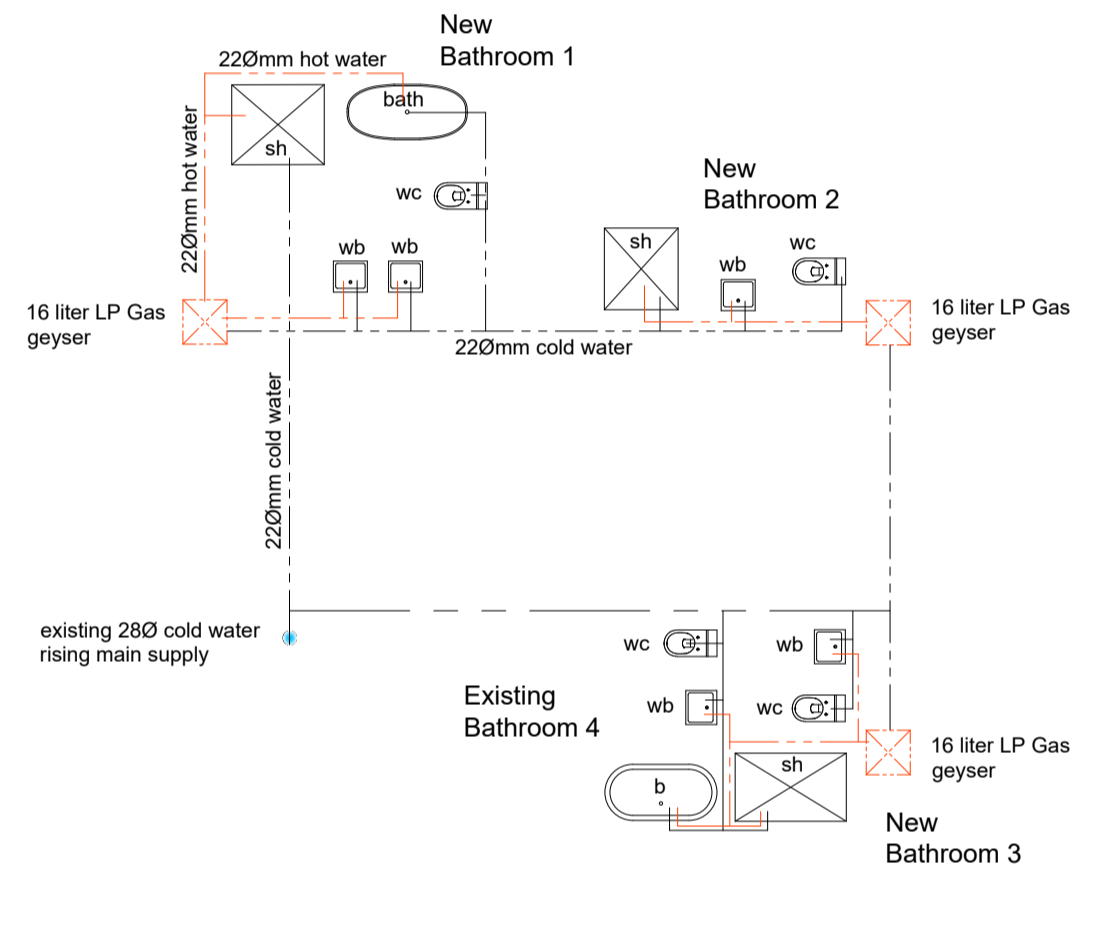


WATER RETICULATION LAYOUT
ANCILLARY UNIT
SCALE 1: 100



WATER RETICULATION LAYOUT
GROUND FLOOR DWELLING
SCALE 1: 100

general notes:
this drawing is copyright and remains the property of dhs architecture
all dimensions and levels are to be checked on site prior to construction
all dimensions and levels on this drawing are to be taken in preference to scaling off
any discrepancies on this drawing are to be reported to the office of the architect prior to construction
all work is to be carried out in accordance with the national building regulations SANS 10400 parts A to Z all retaining walls, piles footings, slabs, beams, columns and agricultural drains to engineer's details and design
all foundations/piling to structural engineer's detail and design
All foundations and existing structures to be certified by competent person as per SANS 10400 part A1(3)(a)
the main contractor to check the land surveyors drawings for confirmation of setting out levels and dimensions of site
building work may only commence on approval of the building plans from the local authority, construction prior to approval will be at the risk of the owner



WATER RETICULATION LAYOUT
FIRST FLOOR DWELLING
SCALE 1: 100

Water Reticulation and Calculations:
A20 Classification:
A21 Occupancy:
Type of hot water generation:
Hot water demand (SANS10252-1):
No of Bedrooms:
Total demand:
Hot water storage capacity required:
Capacity provided:
H4
2 persons/bedroom
Geyser and Gas Geysers
80 litres per person per day
4
4x2x 80l = 640 litres
640 x 50% = 320 litres (50% XA2)
100 litre resistance geyser and LP gas geysers

SCHEDULE OF AREAS:

| | |
|--------------------------------------|---|
| SITE AREA | 2972 m ² |
| PORTION 6 OF ERF 2753 | 2972 m ² |
| ZONING: | SPECIAL RESIDENTIAL 1200 |
| EXISTING GROUND FLOOR: | |
| EXISTING DWELLING | 184.77 m ² (cov) |
| EXISTING COVERED PATIO | 20.14 m ² (cov) |
| EXISTING COVERED ENTRANCE | 6.15 m ² (cov) |
| EXISTING ANCILLARY UNIT | 79.00 m ² (cov) |
| EXISTING OUTBUILDING | 49.96 m ² (cov) |
| TOTAL EXISTING COVERAGE | 340.02 m² |
| | 11.44% |
| EXISTING FIRST FLOOR: | |
| EXISTING DWELLING | 151.53 m ² (far - not applicable) |
| PROPOSED GROUND FLOOR: | |
| PROPOSED ENTRANCE PORTICO: | 11.18 m ² - 6.15m ² (existing to be demolished) |
| | 5.03 m ² (new cov) |
| PROPOSED COVERED VERANDA | 85.06 m ² (new cov) |
| PROPOSED DOUBLE GARAGE AND STOREROOM | 62.68 m ² (new cov) |
| NEW PROPOSED COVERAGE: | 152.77 m² (proposed add cov) |
| TOTAL PROPOSED COVERAGE: | 492.79 m² |
| | 16.58% |
| TOTAL PERMISSIBLE COVERAGE | 1188.80 m² |
| | 40% |
| TOTAL PERMISSABLE F.A.R. | NOT APPLICABLE |

Stormwater Management Calculations:

| | |
|----------------------------|--|
| Hardened Areas: | |
| Paved Driveway | 210 m ² |
| Total roofed area | 560 m ² |
| External paved areas | 59 m ² |
| Site Area | 2972 m² |
| Total hardened area | 829 m² (27.8% of site) |

Required stormwater attenuation = 1m³/40m² of hardened area
therefore stormwater attenuation required = 20 m³

Provided stormwater attenuation
3 x 5250 liter water tank = 6.6m³ each = 19.8 m³
2 x attenuation tanks = 2.0m³ each = 4.0 m³
Total stormwater attenuation provided = 23.8 m³



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PROPOSED ADDITIONS AND ALTERATIONS TO EXISTING DWELLING, ON PORTION 6 OF ERF 2753, DURBAN NORTH, AT 23 BERKELEY CRESCENT.

client:
**AROON PATEL
HEIDI LYNN PATEL**

drawing title:
**SITE PLAN
AREA SCHEDULE
WATER RETICULATION**

drawing and project number:
dhs2023_209_300 RevB

| | | |
|-----------------------|----------------|-----------------|
| date: October 2023 | author: dhs | scale: 1:500 |
|-----------------------|----------------|-----------------|