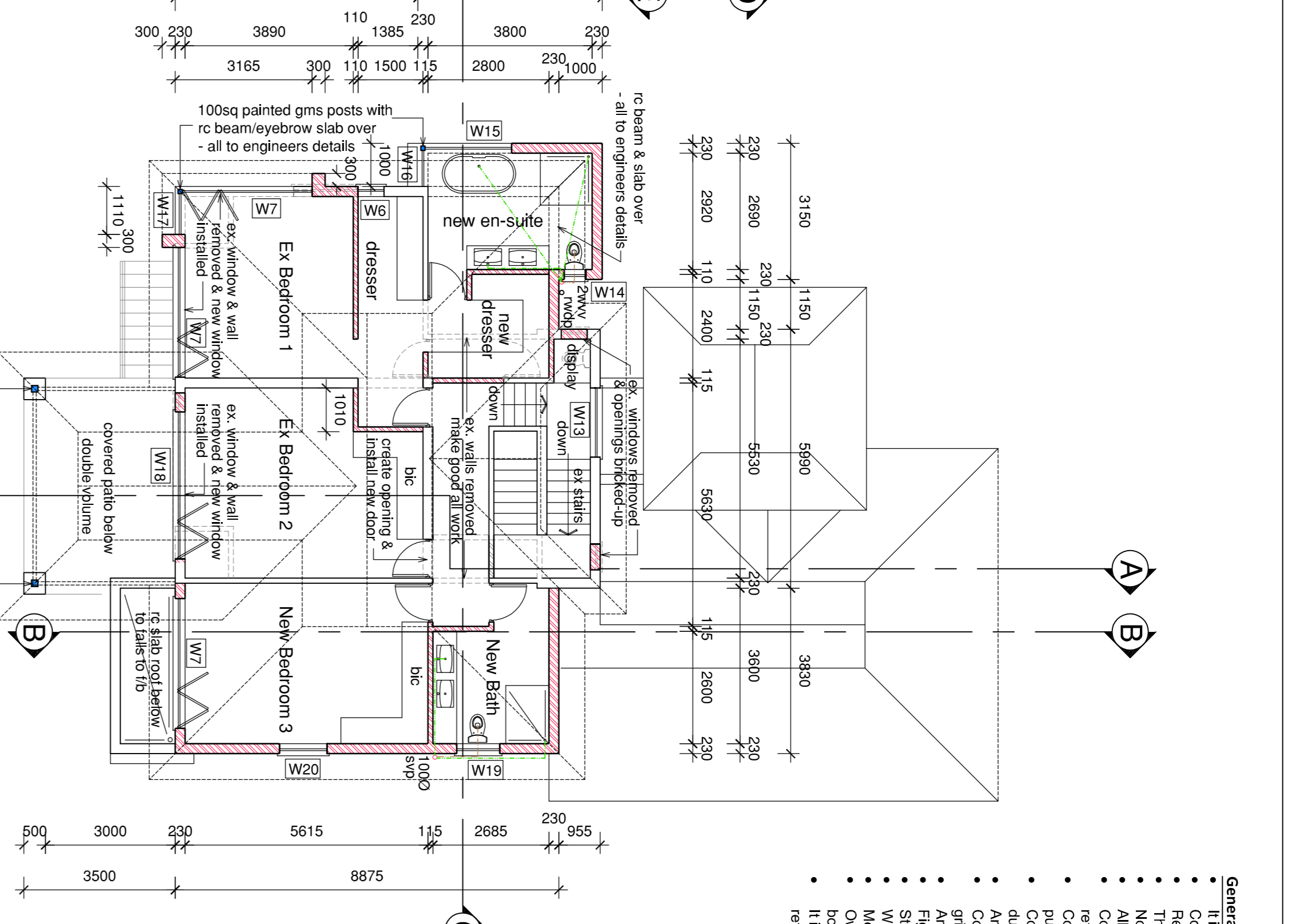


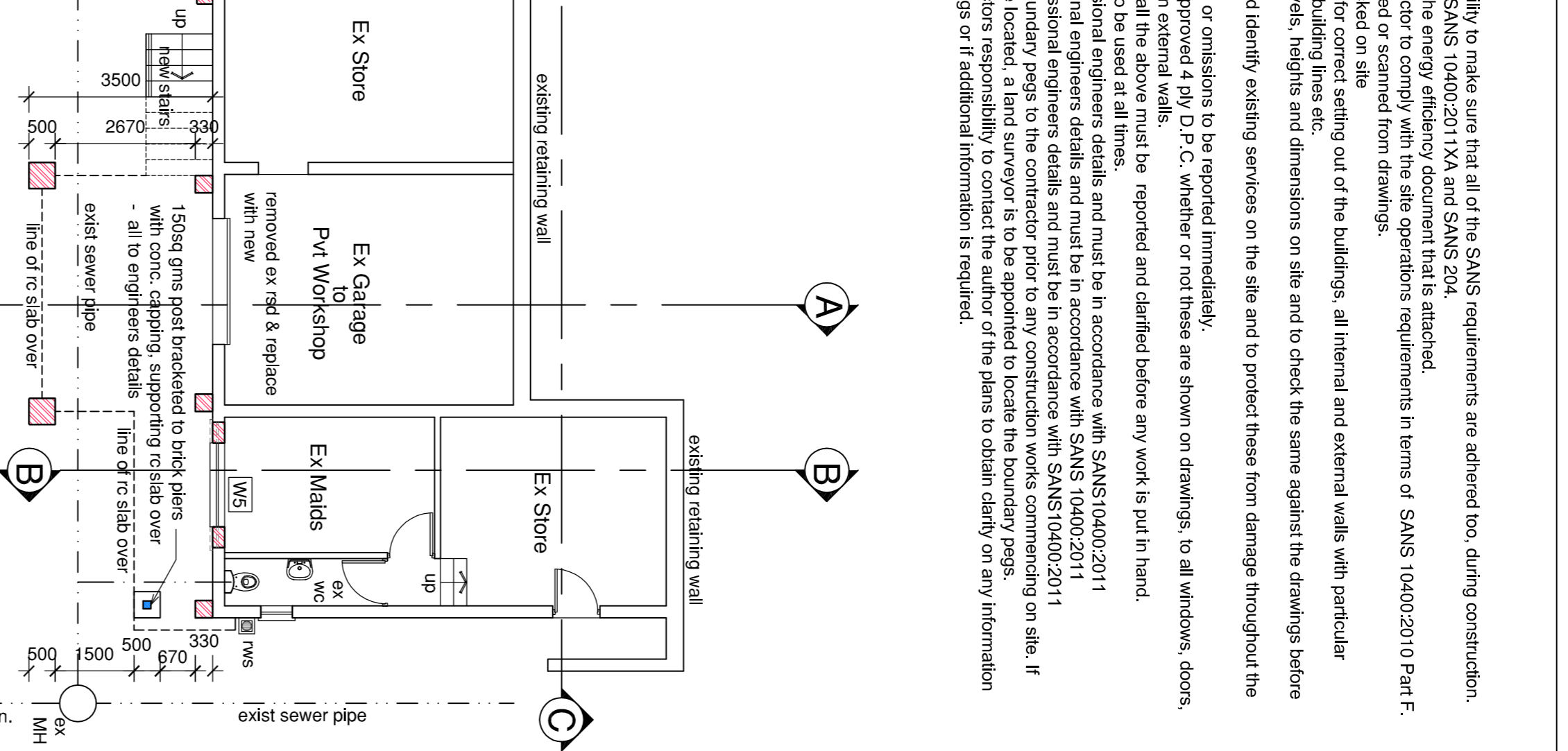
**SCHEDULE OF AREAS**  
Zoning : Special Residential 900

Site Area	Permitted Coverage (50%)	Existing Coverage	Proposed Coverage	Total Coverage
91.63 m <sup>2</sup>	535.50 m <sup>2</sup>	122.16 m <sup>2</sup>	143.22 m <sup>2</sup>	265.38 m <sup>2</sup>
Exist. Basement				
Exist. Ground floor				
Exist. First Floor				
Proposed GF Additions				
Proposed FF Additions				
Proposed Gazebo				
<b>Total Area</b>	<b>479.17 m<sup>2</sup></b>			
<b>Total Additional Area</b>	<b>188.46 m<sup>2</sup></b>			



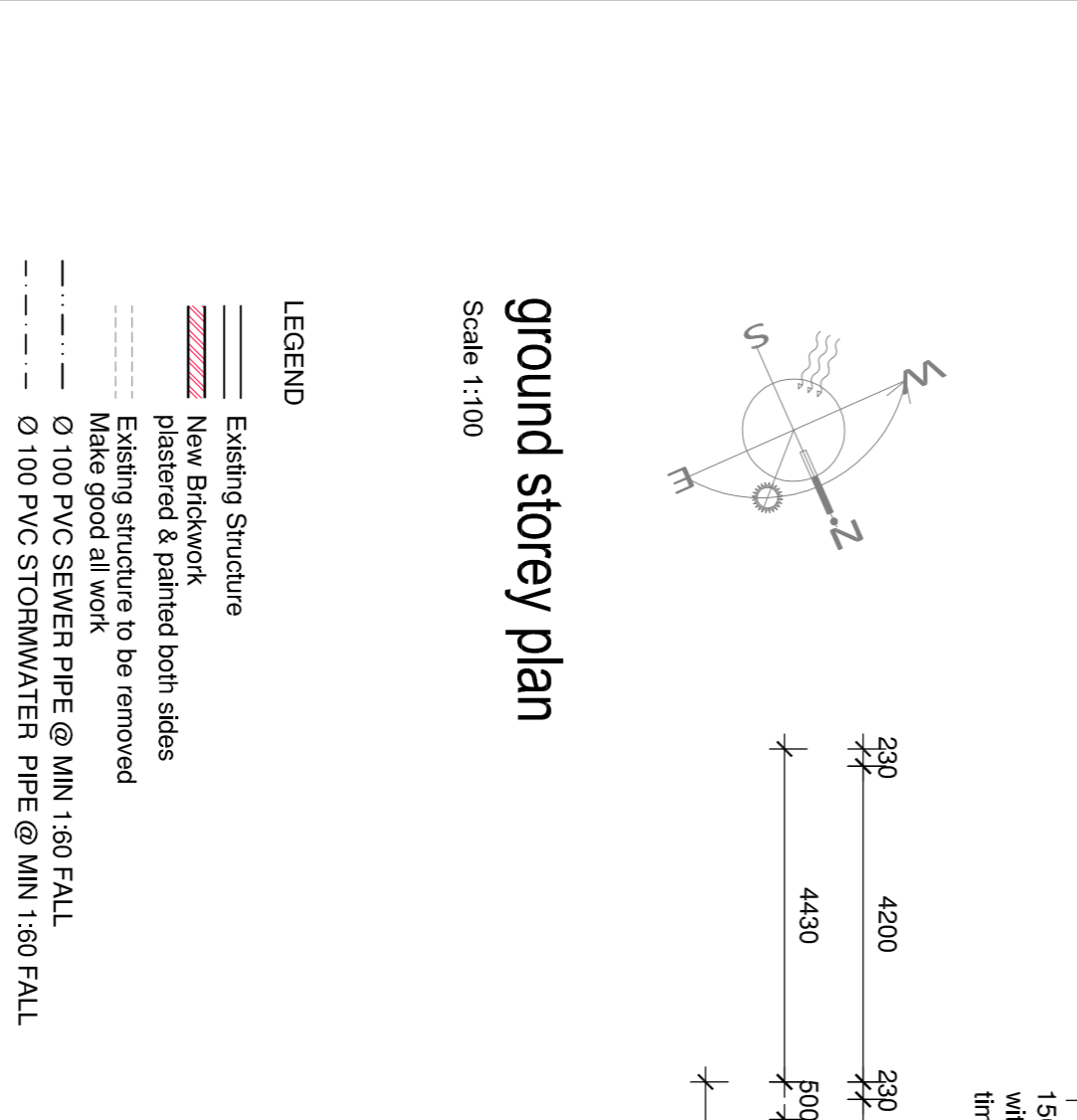
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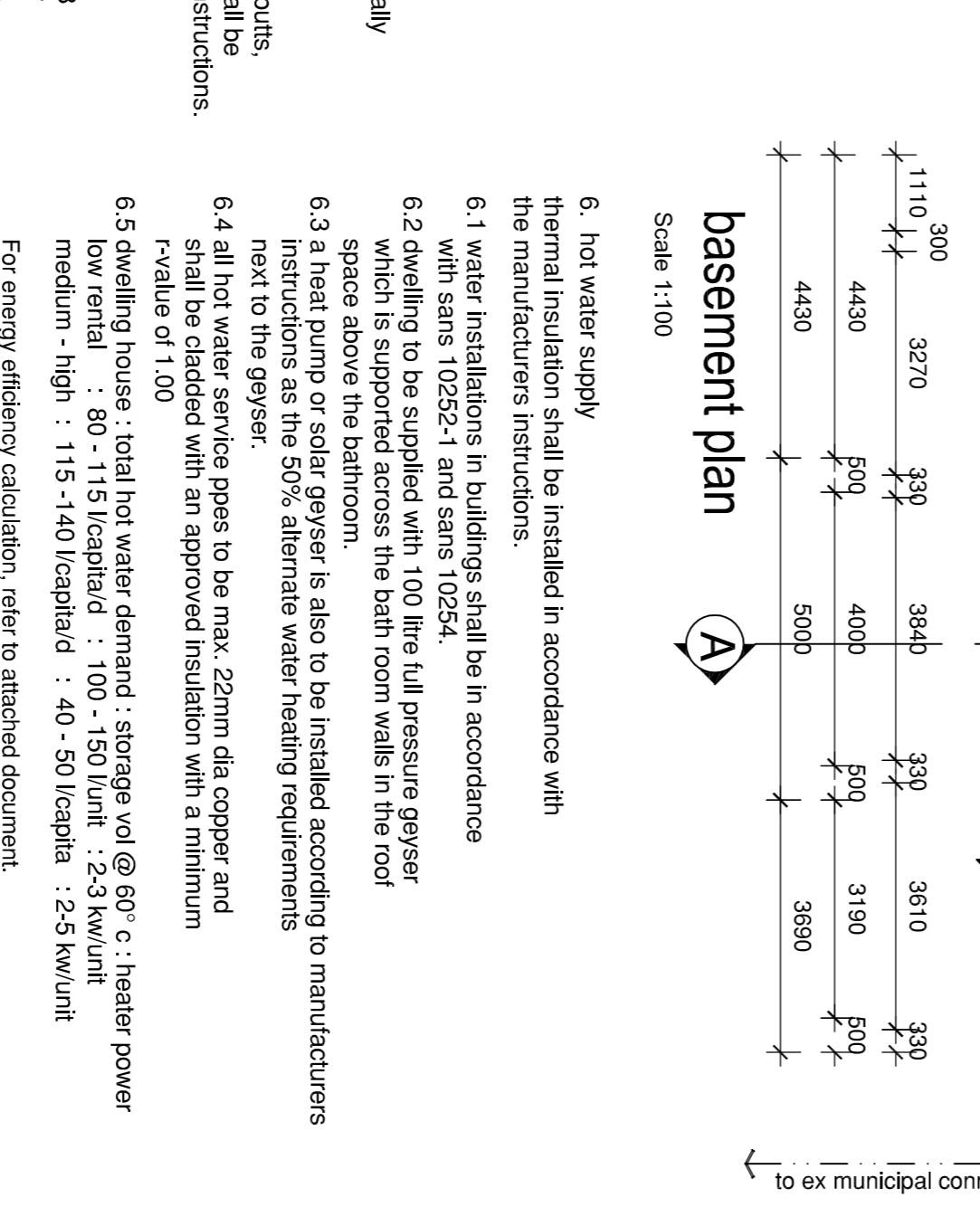
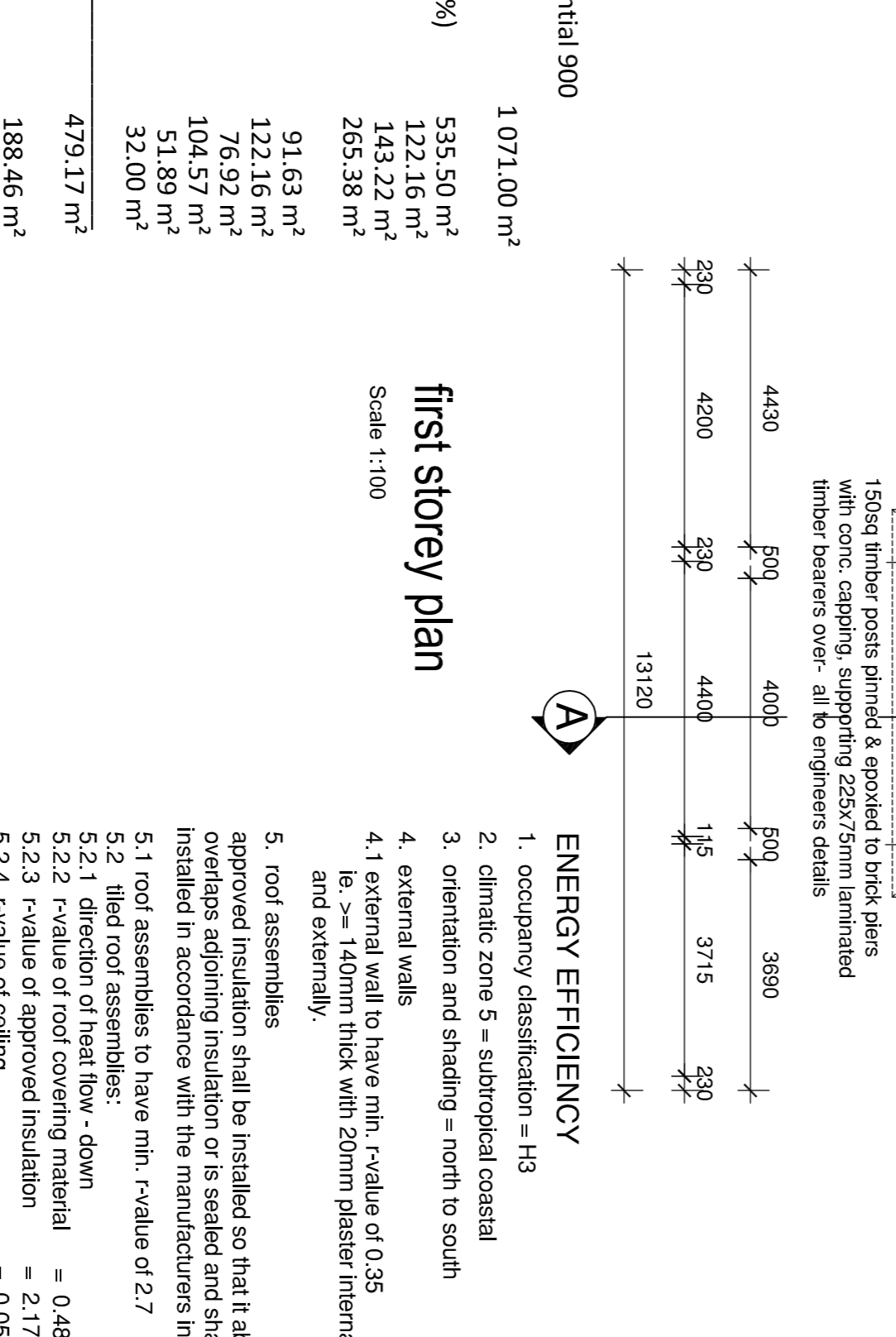
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**GENERAL CONSTRUCTION NOTES**

**ROOF:-**

- Concrete roof tiles on 38x38 battens on SABS approved saturation on 114x28 SA pine trusses. 200x50 Loose rafters to be SA pine and treated.
- External overhangs to be treated with carbolinum.
- All rainwater goods, fascias and bargeboards to be fibrecement, aluminium or PVC.
- Cellings to be 6.4mm gypsum board and painted with covered concrete.
- Reinforced concrete roof to professional engineer's details and topped with insulating screed to batts and covered with waterproofing laid in accordance with manufacturers recommendations.
- Waterproofing to be covered with 50mm layer of 20mm of white gravel.

**WALLS:-**

- Two courses of brickwork to be reinforced in with brick-force. Solid cement mortar joint below wallplate level, above window head level and below window sill level.
- Unplastered external walls to be bagged and blumen painted between skins.
- All brickwork below ground level to be bricks recommended for the purpose by the manufacturer.
- Carved vertical ties to be built into at 230 centres horizontally and every 4th course vertically.
- RC wall plates to be provided over all eaves, under all eaves, parapets and elsewhere as required by the local authority in accordance with NBR and window details.
- Galvanised steel coil outguards, lapped and soldered at joints to be to local authority requirements.

**BOUNDARY WALLS:-**

- No part of boundary walls or their foundations are to project beyond the property boundaries.
- Walls spanning services to be built on RC ground beams to professional engineer's details.
- Boundary wall footings parallel with service must not project more than 370mm into servitude.

**RETAINING WALLS:-**

- To be built strictly in accordance with professional structural engineer's details.
- Vertical landing behind all retaining walls to be Guide 'Hyperlastic' 500micron membrane installed under manufacturers supervision.
- All retaining walls to be provided with agricultural drains behind and below slab level, graded to fall to surface water disposal system.

**SUSPENDED FLOORS AND RICONCRETE:-**

- To be built strictly in accordance with professional structural engineer's details under his supervision.
- Finish to be plastered unless otherwise noted.

**DRAINAGE:-**

- The contractor is required to ensure that the local authority installs necessary stormwater and/or sewer connections before drainage work commences. It is therefore the contractors responsibility to ensure adequate falls to these connections.
- Approval for the siting of septic tank and/or septic together with any percolation tests which may be required is to be obtained from the local authority by the contractor before commencing any building work.
- The contractor is responsible for ensuring that stormwater damage to the work in progress or the neighbouring properties does not occur during construction and that the surface water drainage is adequate.
- All berms and junctions in drains to be provided with inspection eyes at 25m centres.
- Adaptable access panels to be fitted in all ducts over inspection eyes.

**ENERGY EFFICIENCY**

- occupancy classification = H3
- climatic zone 5 = subtropical coastal
- orientation and shading = north to south
- external walls
- 1 external wall to have min. r-value of 0.35 ie. >= 140mm thick with 20mm plaster internally and externally.
- roof assemblies
- approved insulation shall be installed so that it abuts, overlaps and/or joints insulation or is sealed and shall be installed in accordance with the manufacturers instructions.
- tilled roof assemblies:
- direction of heat flow - down
- r-value of roof covering material = 0.48
- r-value of approved insulation = 2.17
- r-value of ceiling = 0.05

TOTAL = 2.7

**GLAZING:-**

- All glazing is to be in accordance with SANS 10400 - N.
- Clear float safety glazing to be used throughout residence.
- Glazing to bathrooms and WCs to be in obscure glass.
- Glazing to conform to SANS 10400 - N, all AAMA5A and SAGCA requirements.
- 4mm glass (less than 1.5sqm)
- 5mm glass (between 1.5-2.5sqm)
- 6mm glass (over 2.5sqm)
- All glazing to be clear except bathroom(wc) (csc)
- all glazing between 0-500mm of the floor level to be 3.8mm safety glass, anneal plated or stateproof safety glass
- glazing to shower enclosures to be 5mm toughened safety glass

**HEALTH NOTES:-**

Artificial lighting & Ventilation to comply with SANS 10400-C

where not ventilated directly to open air, to be mechanically, with a velocity, not exceeding 0.5 m/s or less than 0.2 m/s artificial lighting to be minimum 350 lux.

**GENERAL NOTES:-**

- All work to comply with SANS 10400 and local Municipal By-Laws.
- Boundary beams to be exposed and checked, prior to the commencement of work.
- All dimensions, angles and levels to be checked on site before work is put to hand.
- Drawings are not to be scaled. Figured dimensions to be used only. All dimensions are, unless otherwise specified, in millimeters.
- Drawings are to be read in conjunction with Structural, Civil drawings.
- All glazing to comply with NBR SANS 10400-N 2010 3RD Edition.
- SAFETY glazing to be minimum one meter high and to comply with the requirements of SANS 10400-N.
- All stairs to comply with SANS 10400-M.
- All Scaffolding to be in accordance with SABS 0124.

**STRUCTURAL NOTES:-**

- Soil Boring and Filling.
- Foundations, RC floor slabs, Beams and Columns.
- Note: Foundations are not to encroach Services and/or Boundaries.
- pc piers to all non beam openings
4. off-shoot conc. to be cleaned and rubbed down

**CLIENT'S/OWNER'S SIGNATURE:**

**L. Pillay & S. Soobratni**

**CLIENT'S/OWNER'S SIGNATURE:**

**PROPOSED ADDITIONS & ALTERATIONS TO EXISTING DWELLING, GAZEBO & SWIMMING POOL**  
on Lot 2038 Durban North at 23 Dorrington Crescent

**DRAWING TITLE:**  
Submission Drawing

**DRAWING DESCRIPTION:**  
Floor Plans

SCALE:	REVISION:	DRAWN BY:
1:100 (A1)		HK

PRODUCT NO:	ISSUED DATE:
23_010_01	18-06-2023

**CONTRACTOR:**

**HICKY**

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sharalick studios  
module : 0346027864  
0346027864  
email: hicky@hicky.co.za  
hicky.co.za  
sewer: P/SADT 810327

**CLIENT'S/OWNER'S SIGNATURE:**

**Occupancy : H4**