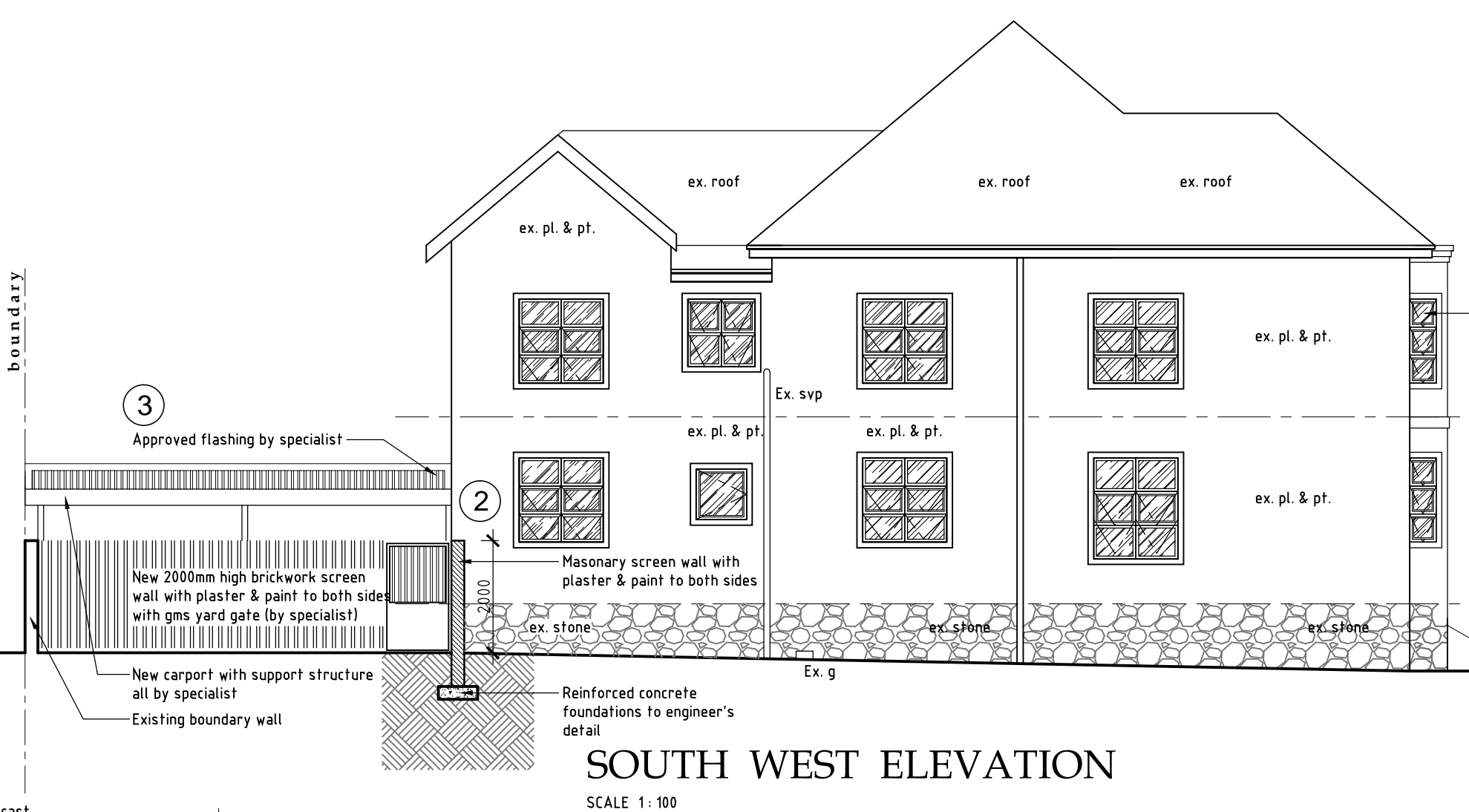
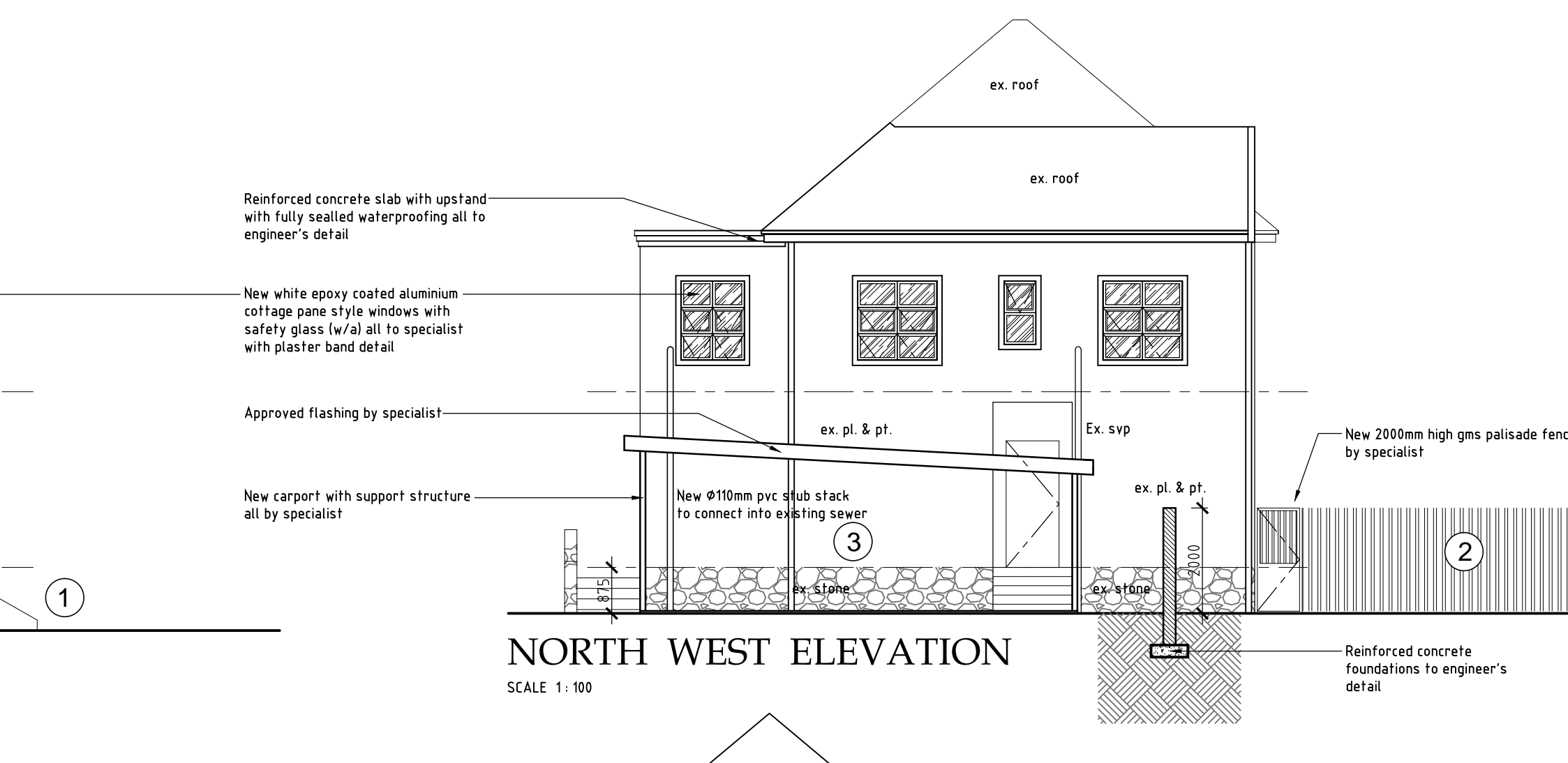


**SOUTH EAST ELEVATION**  
SCALE 1:100



**SOUTH WEST ELEVATION**  
SCALE 1:100



**NORTH WEST ELEVATION**  
SCALE 1:100

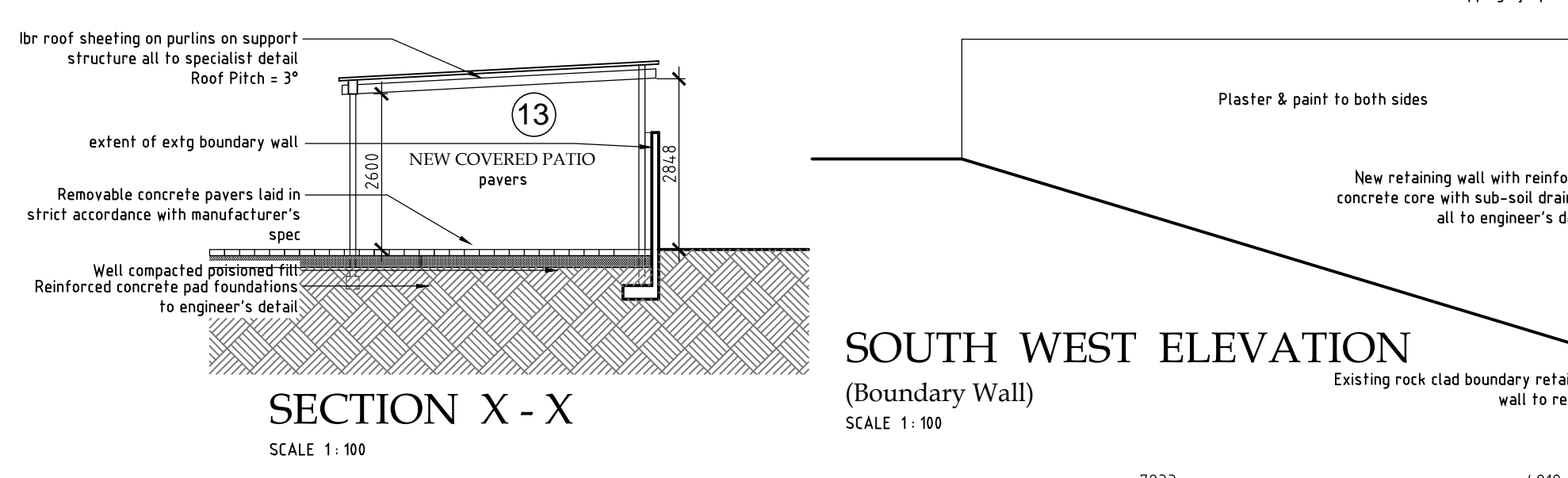
**GENERAL NOTES**

- READ FIGURED DIMENSIONS IN PREFERENCE TO SCALING
- DRAWINGS PREPARED ON SURFACE EXAMINATION
- FINAL LEVELS, DEPTHS OF EXCAVATION (IF ANY) HEIGHTS OF PLINTHS (WHERE APPLICABLE), STEPS & FILLS TO BE DETERMINED ON SITE BY CONTRACTOR
- D.P.C UNDER ALL SILLS & EXTERNAL WALLS
- ALL SLABS, FOUNDATIONS, RETAINING WALLS & ANY OTHER STRUCTURAL ELEMENTS ARE TO BE TO ENGINEER'S DETAIL
- ALL ROOMS ARE FOR THE INTENTION AS STATED ON PLAN
- ALL BUILDING WORK TO COMPLY WITH LOCAL AUTHORITY BY-LAWS AS WELL AS THE NATIONAL BUILDING REGULATIONS
- ALL GLAZING TO COMPLY WITH PART 11 OF BRB
- ALL STRUCTURAL WORK TO BE TO ENGINEER'S DETAIL

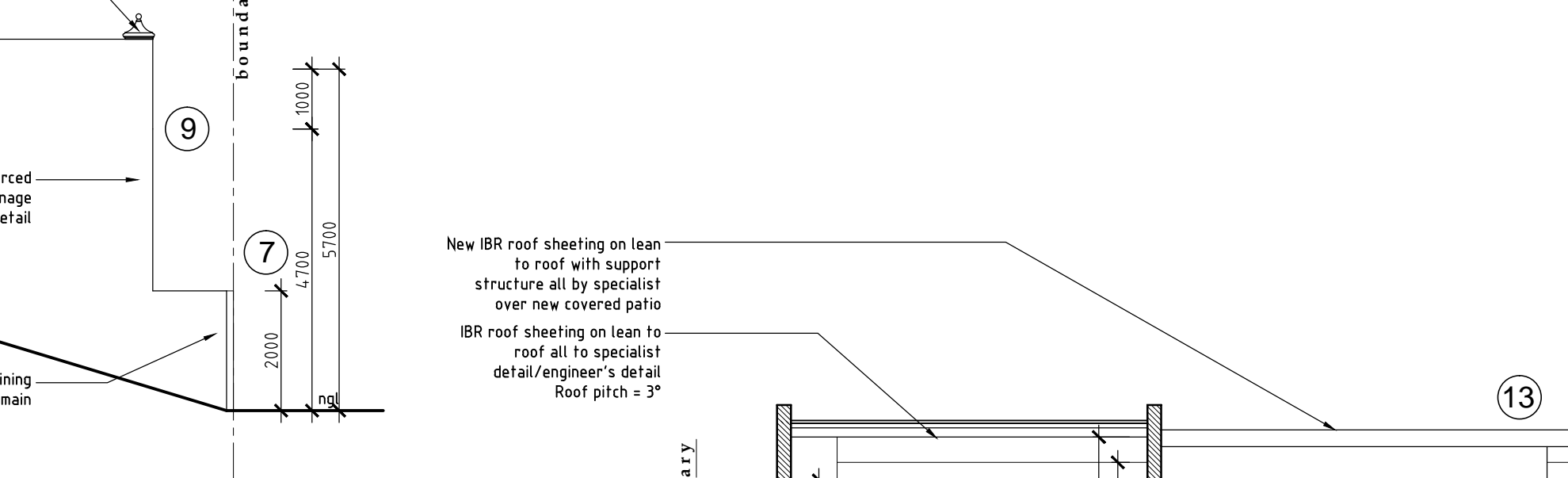
**NO CONSTRUCTION IS TO OCCUR UNTIL PLANS HAVE LOCAL AUTHORITY APPROVAL. THE AUTHOR WILL NOT BE HELD LIABLE FOR ANY UNAUTHORIZED BUILDING COMMENCEMENT**

**POOL NOTES:**

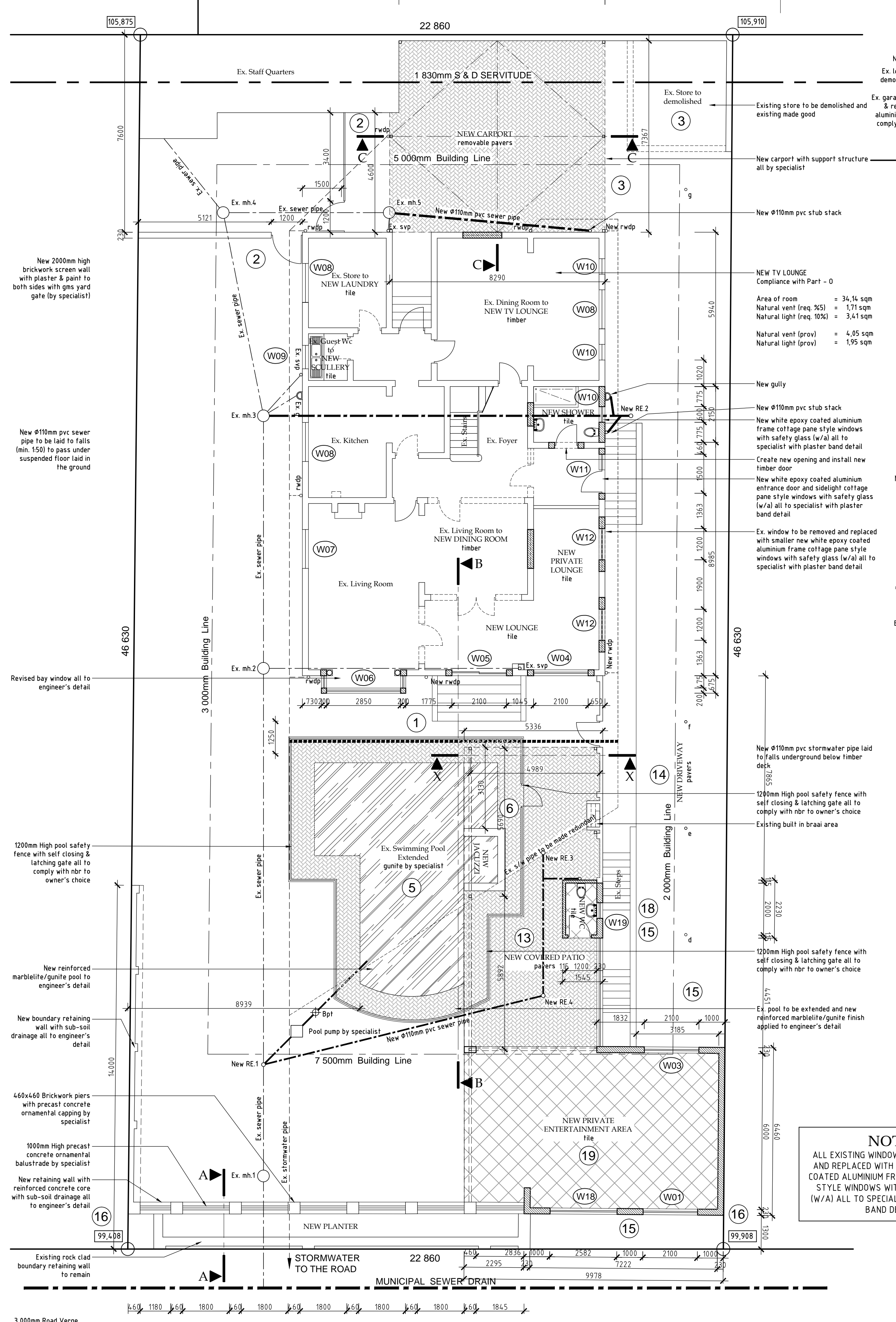
1. EARTH LEAKAGE RELAY TO BE STOPPED IN ELECTRICAL CIRCUIT.
2. ALL ELECTRICAL EQUIPMENT TO BE ADEQUATELY EARTHED.
3. PUMP CHAMBER TO BE SECURELY COVERED.
4. PRECAUTIONS TO BE TAKEN WITH REGARD TO CONDENSATION.
5. ELECTRICAL EQUIPMENT TO BE SPECIALLY HOUSED WITH PRECAUTIONS TAKEN WITH REGARD TO CONDENSATION.
6. WASTE WATER TO BE DISCHARGED INTO NEW SEWER DRAIN VAL. SP7
7. SOIL TO BE USED AS FILL ON SITE.
8. POOL AREA TO BE FINISHED IN ACCORDANCE TO SABS-G401-1993 PART DD.
9. POOL TO ENGINEER'S DETAILS.



**SECTION X-X**  
SCALE 1:100

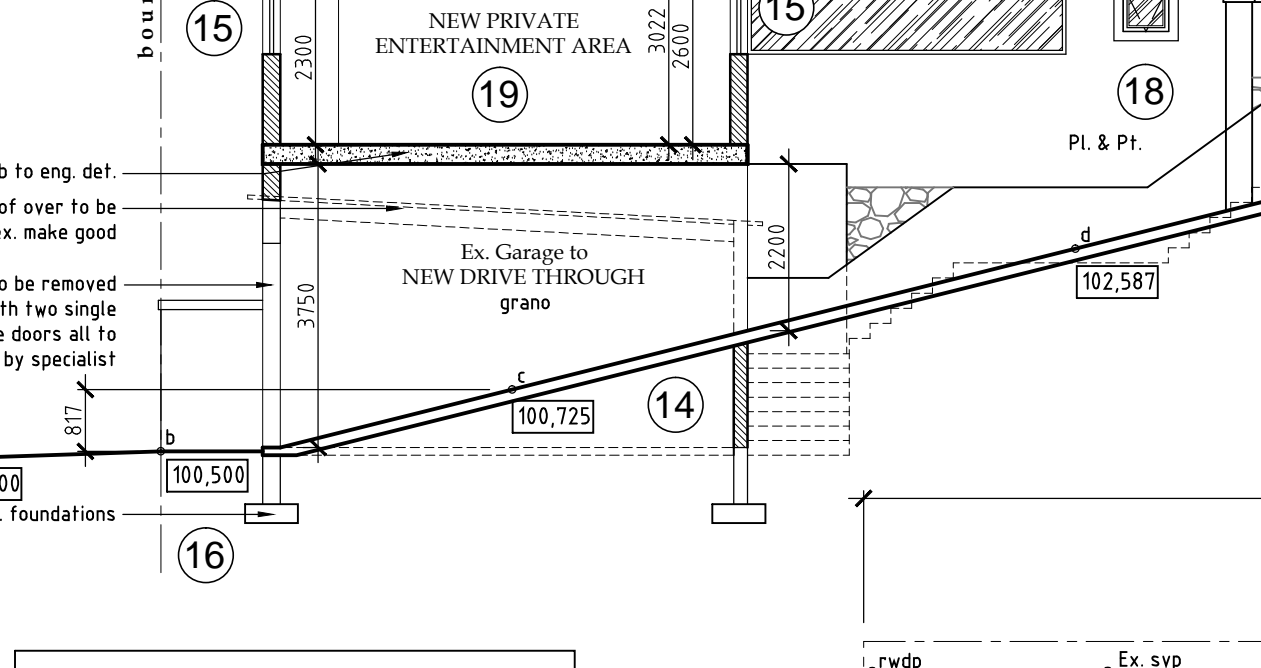


**SOUTH WEST ELEVATION (Boundary Wall)**  
SCALE 1:100



**WOODLANDS ROAD**

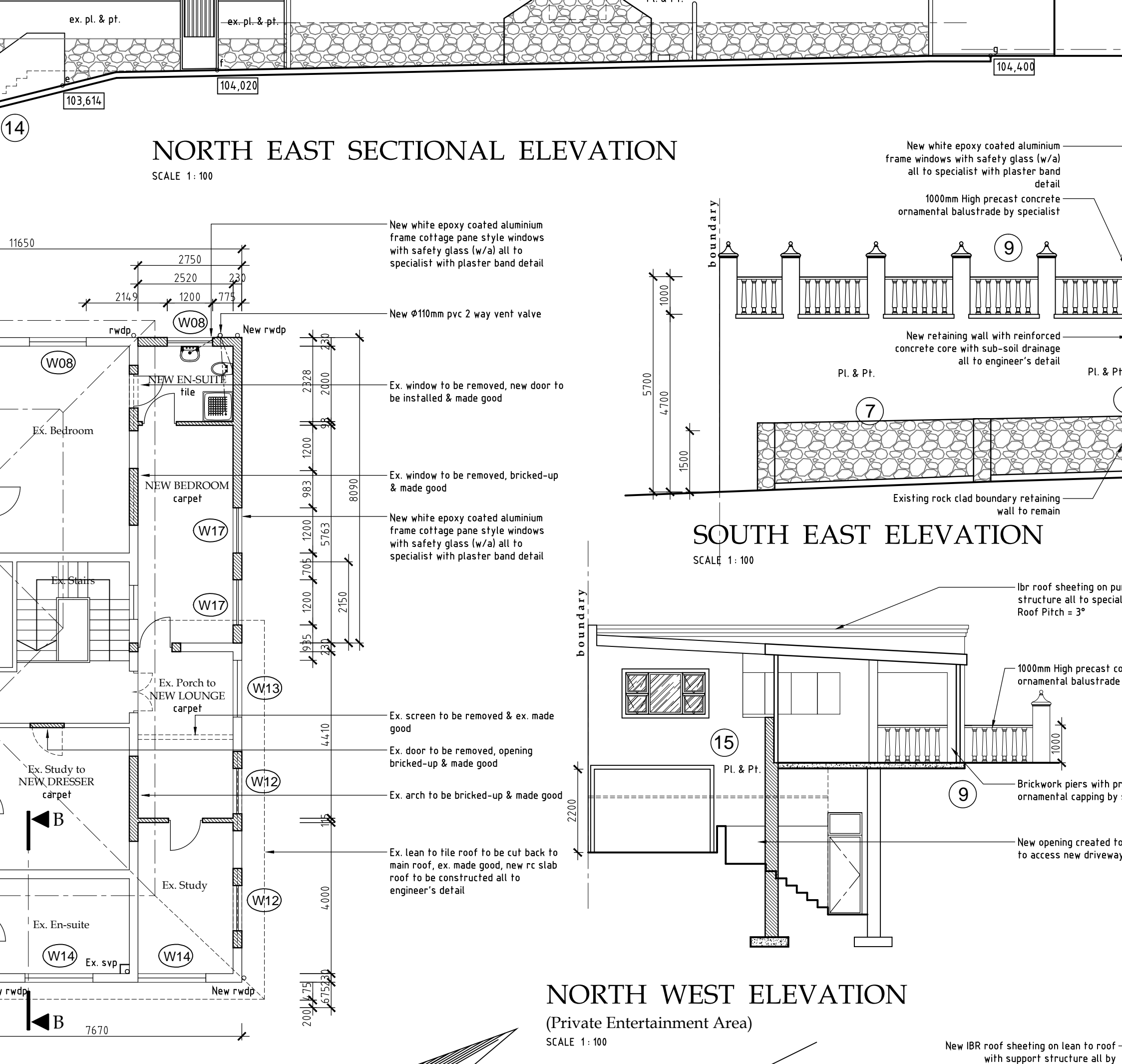
**SITE & GROUND FLOOR PLANS**  
SCALE 1:100



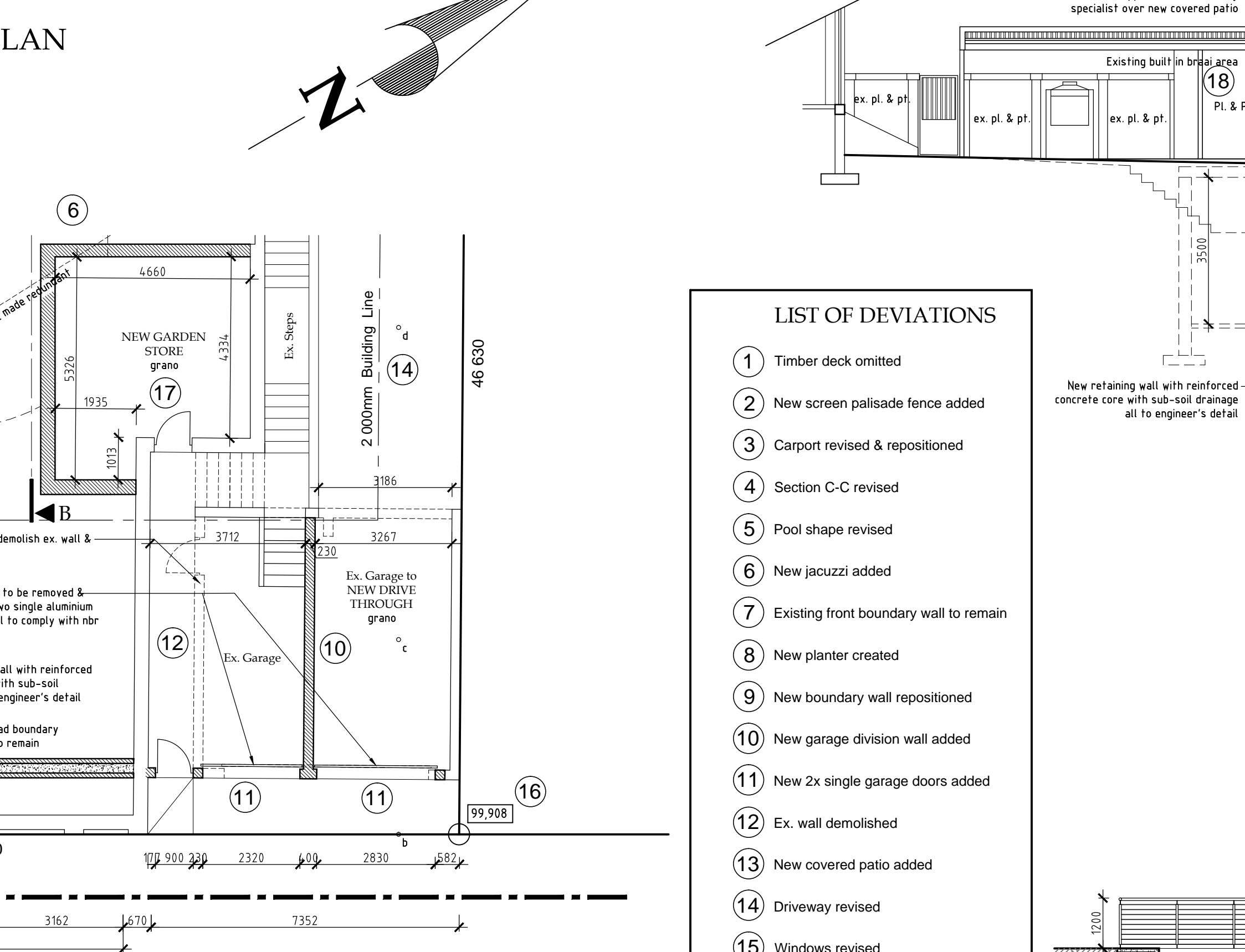
**SECTION A-A**  
SCALE 1:100

**Schedule of Areas**

Site Area	= 1066.00 sqm
Allowable Coverage (40%)	= 426.40 sqm
Allowable FAR (N/A)	= N/A
Existing Coverage	= 318.15 sqm
Existing FAR	= 54.5, 10 sqm
Proposed Coverage	= 101.98 sqm
Proposed FAR	= 105.71 sqm
New Total Coverage	= 420.13 sqm
New Total FAR	= 650.81 sqm



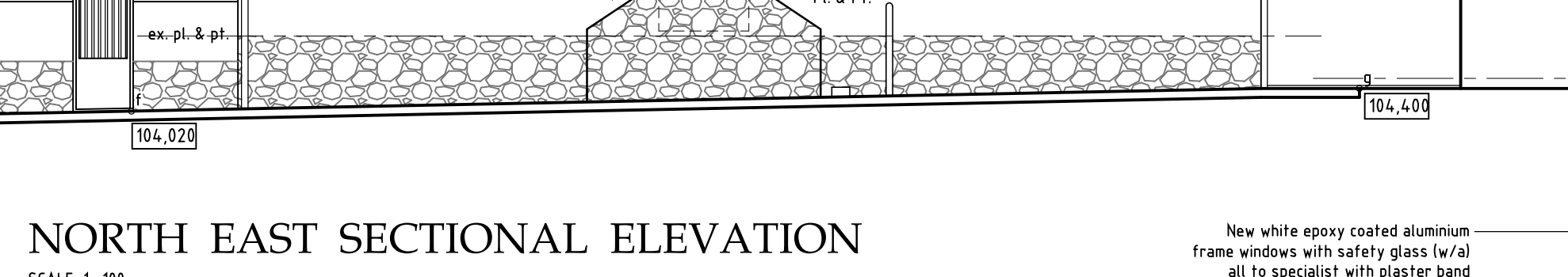
**FIRST FLOOR PLAN**  
SCALE 1:100



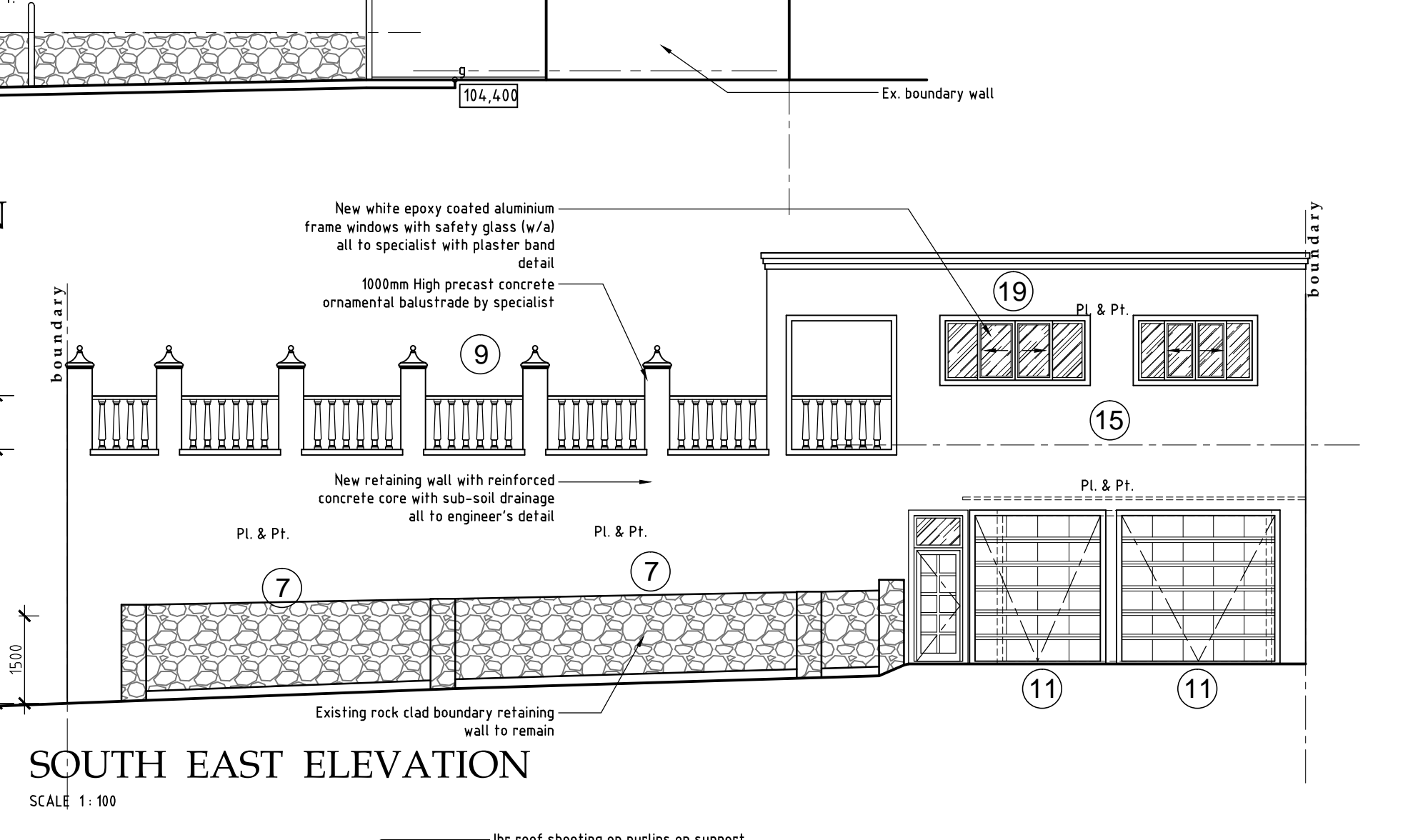
**BASEMENT PLAN**  
SCALE 1:100

**WOODLANDS ROAD**

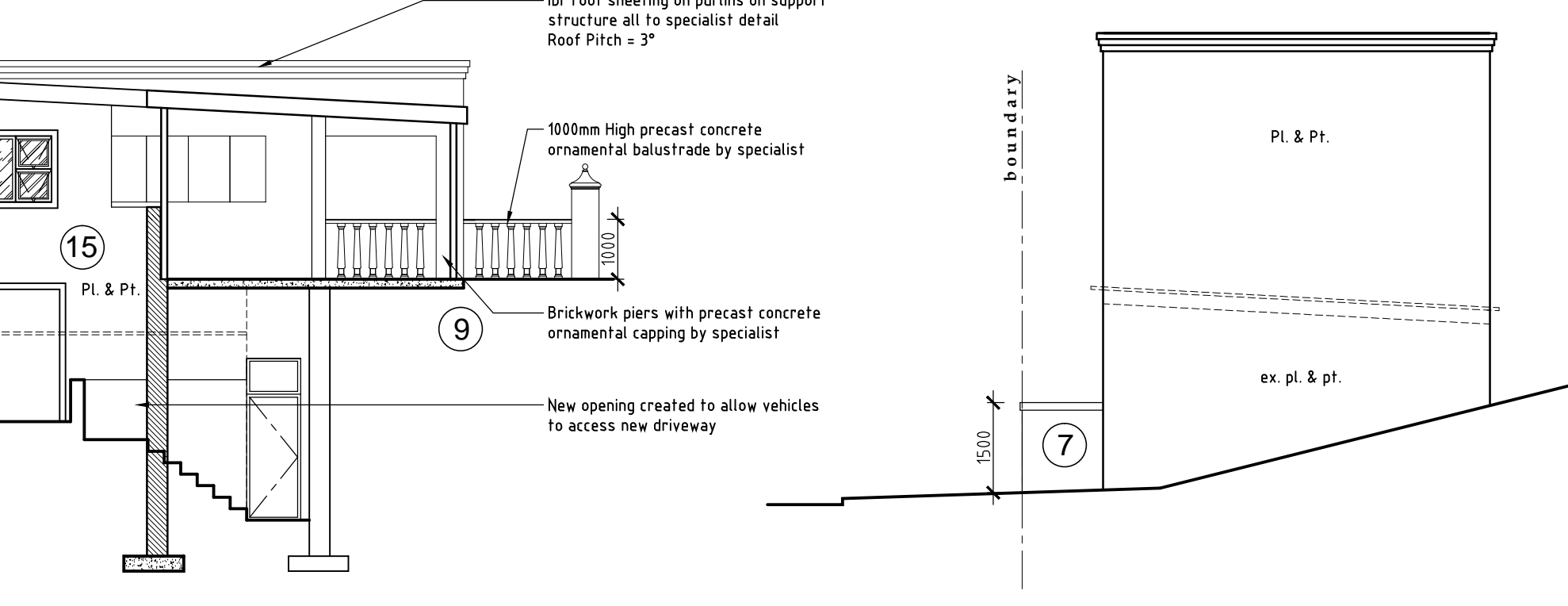
**BASEMENT PLAN**  
SCALE 1:100



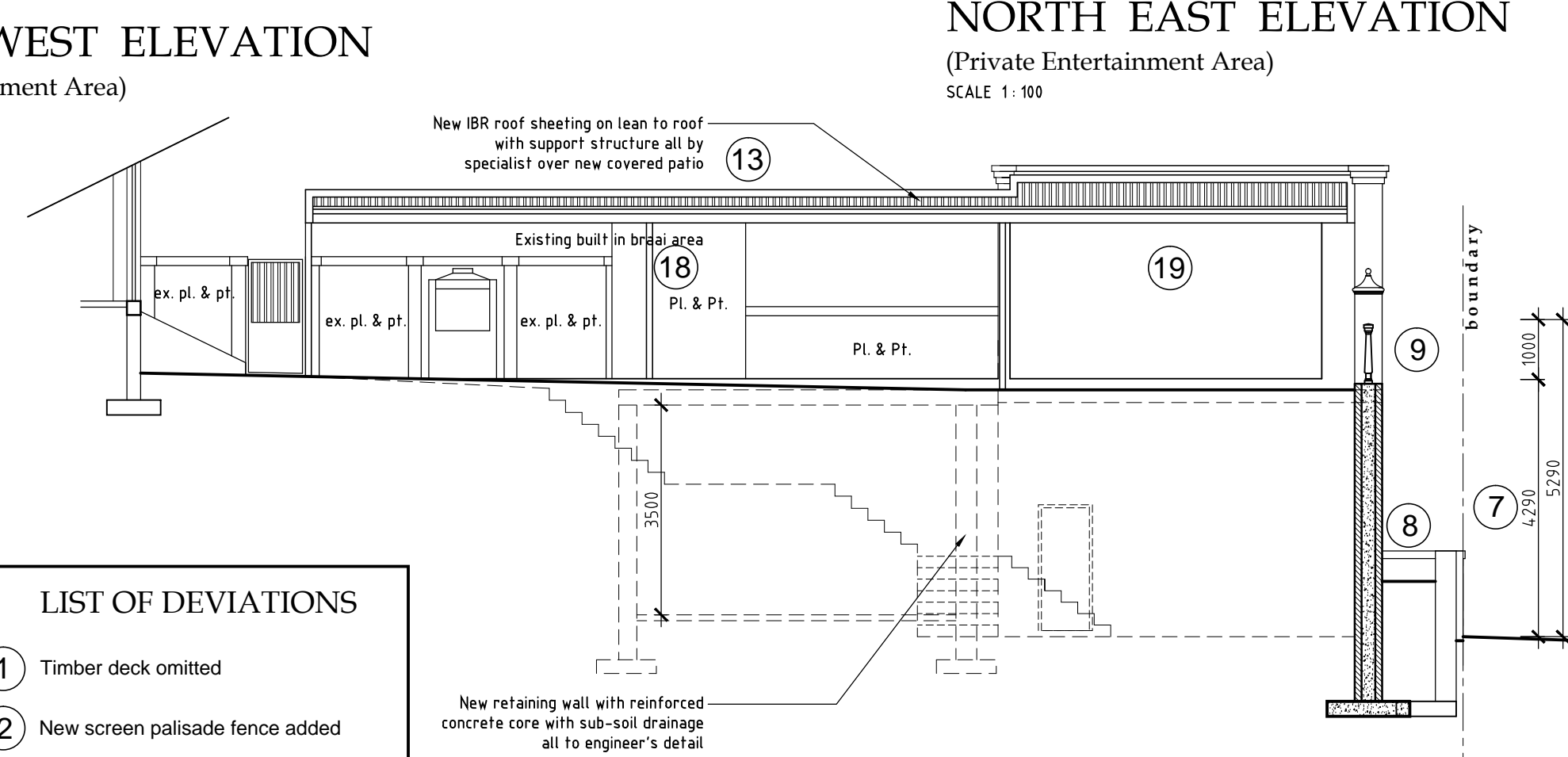
**NORTH EAST SECTIONAL ELEVATION**  
SCALE 1:100



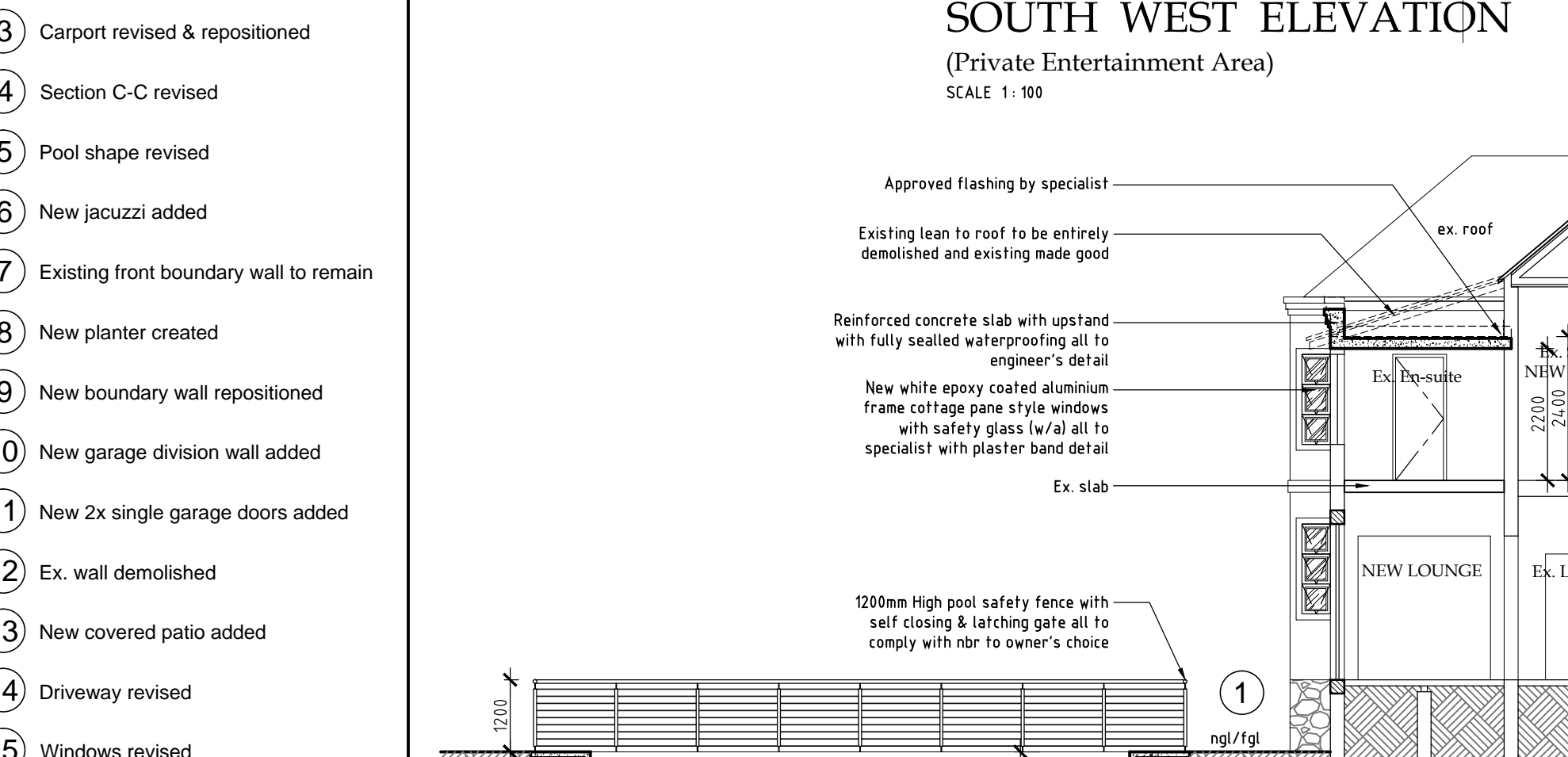
**SOUTH EAST ELEVATION**  
SCALE 1:100



**NORTH WEST ELEVATION (Private Entertainment Area)**  
SCALE 1:100



**NORTH EAST ELEVATION (Private Entertainment Area)**  
SCALE 1:100



**SOUTH WEST ELEVATION (Private Entertainment Area)**  
SCALE 1:100

**LIST OF DEVIATIONS**

1. Timber deck omitted
2. New screen palisade fence added
3. Carport revised & repositioned
4. Section C-C revised
5. Pool shape revised
6. New jacuzzi added
7. Existing front boundary wall to remain
8. New planter created
9. New boundary wall repositioned
10. New garage division wall added
11. New 2x single garage doors added
12. Ex. wall demolished
13. New covered patio added
14. Driveway revised
15. Windows revised
16. Corner beacon level revised as-built
17. New garden store added
18. New Wc added
19. Entertainment area revised

OWNER: (MS. N. PANDAY)  
AUTHOR: (MR. N. LAKRAJ)  
TEL: 083 309 3110  
TEL: 084 362 9555

Subject: SUBMISSION DRAWING  
Date: 01 October 2011  
Scale: 1:100  
Proposed: DEVIATIONS TO APPROVED PLAN # 198-02-11  
Central Description: ERF 5155 DURBAN  
Street Address: 23 WOODLANDS ROAD  
Owner: Ms. N. PANDAY



Drawing Number: 2011/09/01 SD01  
Scale: 1:100  
Drawn By: Nilesh Lakraj