



# LIMPOPO

PROVINCIAL GOVERNMENT  
REPUBLIC OF SOUTH AFRICA

DEPARTMENT OF  
ECONOMIC DEVELOPMENT, ENVIRONMENT & TOURISM

Enq: Ms Rodgers MC      Tel: 015 293 8540 / 083 443 5749      E-mail: [rodgersmc@ledet.gov.za](mailto:rodgersmc@ledet.gov.za)      Ref: 12/1/9/1-W260

Anglo American Platinum: Rustenburg Platinum Mines  
Postnet Suite Number 153, Private Bag X31  
**SAXONWOLD**  
2132

Attention: Sicele Ntuli

E-mail: [Platinum.Environmental@angloamerican.com](mailto:Platinum.Environmental@angloamerican.com)

**ENVIRONMENTAL AUTHORISATION FOR PROPOSED SERITARITA SECONDARY SCHOOL RELOCATION PROJECT IN THE SKIMMING AND LERULENG VILLAGES ON THE FARM ZWARTFONTEIN 814 LR WITHIN THE MOGALAKWENA LOCAL MUNICIPALITY OF WATERBERG DISTRICT**

With reference to the abovementioned application, please be advised that the Department has decided to grant authorisation. The environmental authorisation and reasons for the decision are attached herewith.

In terms of Regulation 4(2) of the Environmental Impact Assessment Regulations of 2014 as amended, you are instructed to notify all registered interested and affected parties, in writing and within 14 (fourteen) calendar days, of the date of the Department's decision in respect of your application as well as the provisions regarding the lodgement of appeals as provided in the National Appeals Regulations of 2014, as amended.

Should you wish to appeal any aspect of the decision, you must, *inter alia*, lodge an appeal with MEC for Economic Development, Environment and Tourism (LEDET), within 20 calendar days of date when this letter was sent to you, by means of prescribed forms obtainable from LEDET, using one of the following methods:

By post : P O Box 55464, **POLOKWANE**, 0700  
By hand : Evridiki Towers, 20 Hans van Rensburg Street, **POLOKWANE**, 0699

Should you decide to appeal, you must serve a copy of your appeal on all registered interested and affected parties and any organ of state interested in this matter.

Yours faithfully

  
CHIEF DIRECTOR  
ENVIRONMENTAL TRADE AND PROTECTION  
DATE: 10/10/2023



Cc: Alta van Dyk Environmental - Suzanne van Rooy

E-mail: [alta@avde.co.za](mailto:alta@avde.co.za) / [suzanne@avde.co.za](mailto:suzanne@avde.co.za)

HEAD OFFICE

20 Hans Van Rensburg Street / 19 Biccard Street, Polokwane, 0700, Private Bag X 9484, Polokwane, 0700  
(Switchboard) Tel: +27 15 293 8300 Website: [www.ledet.gov.za](http://www.ledet.gov.za)

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REPUBLIC OF SOUTH AFRICA

DEPARTMENT OF  
ECONOMIC DEVELOPMENT, ENVIRONMENT & TOURISM

## ENVIRONMENTAL AUTHORISATION

**PROJECT DESCRIPTION: PROPOSED RELOCATION OF SERITARITA SECONDARY SCHOOL IN THE SKIMMING AND LERULENG VILLAGES ON THE FARM ZWARTFONTEIN 814 LR WITHIN THE MOGALAKWENA LOCAL MUNICIPALITY OF WATERBERG DISTRICT**

**Environmental impact Assessment Process:** Basic Assessment

LEDET Reference	12/1/9/1-W260
NEAS Reference	LIM/EIA/0001767/2023
Amendments	First Issue

**Holder of Authorisation:** Anglo American Platinum: Rustenburg Platinum Mines

**Address:**

Postnet Suite Number 153, Private Bag X31  
**SAXONWOLD**  
2132

144 Oxford Road  
**JOHANNESBURG**  
2196



**For attention:** Sicelo Ntuli

**Tel /Cell No:** 011 373 6111 / 071 608 0091

**E-mail:** [Platinum.Environmental@angloamerican.com](mailto:Platinum.Environmental@angloamerican.com)

### LOCATION OF ACTIVITY:

Local/nearest Area description	Location (e.g. Farm portion, Erf, etc.)	District Municipality	Local Municipality
Skimming & Leruleng Villages	On the farm Zwartfontein 814 LR	Waterberg	Mogalakwena

### GPS Coordinates

Proposed development area								
Point	Coordinates (Coordinates applied for and confirmed)							
Centre	South	23°	59'	8.01"	East	28°	51'	53.41"
Corner A	South	23°	59'	5.36"	East	28°	51'	45.42"
Corner B	South	23°	59'	0.18"	East	28°	51'	57.74"
Corner C	South	23°	59'	10.96"	East	28°	52'	2.75"
Corner D	South	23°	59'	16.75"	East	28°	51'	49.60"



### HEAD OFFICE

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**ACRONYMS**

<b>NEMA</b>	National Environmental Management Act, 1998 (Act 107 of 1998), as amended.
<b>Regulations</b>	EIA Regulations of 8 December 2014 in terms of Chapter 5 of NEMA.
<b>EIA</b>	Environmental Impact Assessment.
<b>Department</b>	Department of Economic Development, Environment and Tourism.
<b>I&amp;APs</b>	Registered Interested and Affected Parties
<b>EA</b>	Environmental Authorisation.
<b>EMPr</b>	Environmental Management Programme.

Details regarding the basis on which the Department reached this decision are set out in Annexure 1.

**ACTIVITIES AUTHORISED**

Notice and description	Activity Number and description	Component in the proposed development/expansion
Notice 1: R. 983 of 2014	Activity 27 – “The clearance of an area of 1 hectare or more, but less than 20 hectares of indigenous vegetation”.	Clearance of approximately 13 hectares of indigenous vegetation will be required for the development of the relocated Seritarita Secondary School.
	Activity 28 – “Residential, mixed, retail, commercial, industrial or institutional developments where such land was used for agriculture, game farming, equestrian purposes or afforestation on or after 01 April 1998 and where such development: (i) will occur inside an urban area, where the total land to be developed is bigger than 5 hectares; or (ii) will occur outside an urban area, where the total land to be developed is bigger than 1 hectare; excluding where such land has already been developed for residential, mixed, retail, commercial, industrial or institutional purposes.	The relocation of Seritarita Secondary School at Skimming and Leruleng Villages is an institutional development on approximately 13 hectares of vacant land previously used for agriculture.



**Associated activities:**



- Large size administration Block
- Classroom Blocks comprising 26 classrooms
- Library Block with storage facilities
- Computer Laboratory with storage facilities
- Two Science Laboratories with storage
- Multi-purpose classroom block

- Kitchen / Nutrition centre
- School Hall
- General Stores
- The Caretaker's Unit
- Refuse Yard
- Outside Assembly Area
- Two combination courts
- Two workshops
- Ablution Blocks (Staff, Boys and Girls)
- Sport Changing Rooms
- Guard / Gate House
- Sewage treatment Plant (STP) with Underground concrete pre-digestion chamber
- Soccer field with running tracks
- Vegetable Garden

### CONDITIONS

1. Departmental Standard Conditions attached as Annexure 2 must be adhered to.
2. The EMPr attached as part of reports for the above development submitted as part of the application for an EA is hereby approved and must be adhered to throughout the life cycle of the activity.

This activity must commence within a period of ten (10) years from the date when the EA was issued. If commencement of the activity does not occur within that period, the EA lapses and a new application for EA may be made in order for the activity to be undertaken. Any application for extension of the validity period of the EA must be lodged with the Department prior to the expiry date of the EA.

  
CHIEF DIRECTOR  
ENVIRONMENTAL TRADE AND PROTECTION

DATE: 10/10/2023





## ANNEXURE 1: REASONS FOR THE DECISION

### 1. Environmental Assessment Practitioner

**Names:** Suzanne van Rooy  
**Company:** Alta van Dyk Environmental Consultants cc  
**Tel / Cell No:** 012 940 9457 / 078 196 6002  
**E-mail:** [suzanne@avde.co.za](mailto:suzanne@avde.co.za)

### 2. Dates of receipt of information

Document	Application Form	Basic Assessment Report
Date of receipt	14 July 2023	Consultation – 14 July 2023 Decision – 07 September 2023
Date of acknowledgement of receipt	21 July 2023	Consultation – 21 July 2023 Decision – 15 September 2023

**Date of Site visit:** 04 August 2023

### 3. List of specialist reports and other information:

Report / information description	Person (and Company) where applicable, who compiled the report and Date	Appendices
Hydrogeological Baseline Risk Assessment	Kobus Troskie of Geostratum Water Management Consultants (Pty) Ltd dated June 2023	Appendix D1
Freshwater Ecological Assessment	Tshinavhe Daniel of The Biodiversity Company dated May 2023	Appendix D2
Soil and Agricultural Potential Assessment Report	Maletsatsi Mohapi of The Biodiversity Company dated May 2023	Appendix D3
Terrestrial Biodiversity Compliance Statement	Wesley Black & Martinus Erasmus of The Biodiversity Company dated May 2023	Appendix D4
Heritage Impact Assessment	Mr J van der Walt of Beyond Heritage dated May 2023	Appendix D5
Traffic Impact Assessment	S Ndlovu, S Laurence & Mike van Tonder of Zutari (Pty) Ltd dated July 2023	Appendix D6
Geotechnical Assessment Report	K.V Radzhadzhi of Charisma Design Studio Architects dated July 2023	Appendix G3

### 4. Key factors considered in making the decision

#### 4.1 Public Participation

**Name of newspaper:** Bosveld

**Date of advert in the newspaper:** 13 July 2023



**Site Notices:** Bi-lingual (English & Sepedi) placed at the existing school as well as all the site alternatives.

**Notification of interested and affected parties about the development:**

- Permission to use the site for the temporary relocation of the school granted Mapela Traditional Council, dated 22 December 2022 which was attached to the application for EA;
- Pre-application meetings with Mogalakwena Local Municipality, Skimming Community Leadership, Leruleng Community Leadership, Mapela Traditional Council and the School Governing Body;
- Bi-lingual (English & Sepedi) Newspaper advertisement;
- Distribution of Bi-lingual (English & Sepedi) Background Information Document (BID) via e-mail and SMS;
- Mass Public meetings with the Community on 21 May 2023; and
- Placement of site notices at the entrance to the preferred alternative as well as alternative A & B and at Seritarita Secondary School.

**Issues raised by I&APs; and responses from the EAP and Department:**

Issue	Comment by EAP	Comment by the Department
Procedural requirements	Refer to sections in BAR where it is addressed	The process is in accordance with requirements.
Project specific requirements / mitigation measures	Refer to sections in BAR where it is addressed	Issue addressed in the EMPr.
Comments & additional conditions on Heritage Assessment	Noted and conditions addressed and included in the final EMPr	Conditions from South African Heritage Resource Authority included in EMPr
Requirements by other stakeholders including Municipal Planning	Assurances of intention by applicant to comply.	Response adequately addressed.
Requirement of rehabilitation plan	Included as part of EMPr	Response adequately addressed.
Requirement of Alien Invasive Species Management Plan	Refer to sections in EMPr where it is addressed	Response adequately addressed.

WATERBERG DISTRICT  
DEPARTMENT OF ECONOMIC DEVELOPMENT,  
ENVIRONMENT AND TOURISM  
HEAD OFFICE  
ENVIRONMENTAL IMPACT MANAGEMENT  
10-10-2023

**4.2 Findings**

Activity/Report	Finding
Site visit	<ul style="list-style-type: none"> <li>• The area earmarked is already disturbed by possibly historic subsistence farming or overgrazing, hence bush encroachment by sickle bush; and</li> <li>• A single Marula Tree (<i>Sclerocarya birrea</i> subsp. <i>caffra</i>) on the site is marked on the lay-out plan for the intention to retain the tree.</li> </ul>
Hydrogeological Baseline Risk Assessment	<ul style="list-style-type: none"> <li>• The overall groundwater potential of the regional aquifer is generally good and is readily exploited for large scale irrigation and mining activities;</li> <li>• The expected medium negative impact from the proposed STP can be reduced to a low impact with mitigation measures and ensuring the facility remains closed; and</li> <li>• A dedicated shallow monitoring borehole (10-15m deep) is recommended immediately downgradient of the STP, to serve as early warning detection system of potential contamination originating from the facility.</li> </ul>



Freshwater Assessment	Ecological	<ul style="list-style-type: none"> <li>• The National Web-based Screening Tool characterise the Aquatic Biodiversity Theme sensitivity as "Low"; and</li> <li>• Desktop studies support the conclusion for the absence of wetlands confirmed during the field assessment, with the absence of hydrophytes and soil wetness, with the identified soil forms representative of dryland conditions.</li> </ul>
Soil and Potential Report	Agricultural Assessment	<ul style="list-style-type: none"> <li>• The land potential falls mostly within "Moderately Low" sensitivities which also concur with sections of the DAFF (2017) dataset.</li> </ul>
Terrestrial Compliance Statement	Biodiversity	<ul style="list-style-type: none"> <li>• The project area is disturbed by human activities including vegetation clearing and subsistence farming, but supports species such as scrub hare, common duiker and nationally protected tree species <i>Sclerocarya birrea</i> subsp. <i>caffra</i>; and</li> </ul>
Heritage Assessment	Impact	<ul style="list-style-type: none"> <li>• According to the SAHRA Paleontological sensitivity map the study area is of insignificant palaeontological significance and no further studies are required for this aspect.</li> </ul>
Traffic Impact Assessment		<ul style="list-style-type: none"> <li>• The proposed temporary relocation of Seritarita Secondary School is supported from a traffic and transportation perspective, provided the mitigation measures proposed to address traffic and pedestrian safety are implemented.</li> </ul>
Geotechnical Assessment Report		<ul style="list-style-type: none"> <li>• There are no geological conditions or any other adverse conditions prohibiting the proposed development.</li> </ul>

In view of the above, the Department is satisfied that, subject to compliance with the conditions contained in the EA, the proposed activity will not conflict with the general objectives of integrated environmental management laid down in Chapter 5 of the NEMA and that any potentially detrimental environmental impacts resulting from the proposed activity can be mitigated to acceptable levels. The authorisation is accordingly granted.




## LEDET DEPARTMENTAL STANDARD CONDITIONS

### 1. SCOPE OF AUTHORISATION

- 1.1 The holder of the EA shall be responsible for ensuring compliance with the conditions contained in this EA. This includes any person acting on the holder's behalf, including but not limited to, an agent, servant, contractor, sub-contractor, employee, consultant or person rendering a service to the holder of the EA.
- 1.2 Any changes to, or deviations from, the project description set out in this EA must be approved, in writing, by the Department before such changes or deviations may be effected. In assessing whether to grant such approval or not, the Department may request such information as it deems necessary to evaluate the significance and impacts of such changes or deviations and it may be necessary for the holder of the EA to apply for further authorisation in terms of the Regulations.
- 1.3 The activity, which is authorised, may only be carried out at the property indicated in the EA.
- 1.4 The holder of the EA will be held liable for any damages to the environment and associated costs, which results from any activity related to the construction and/or operation of the proposed project.
- 1.5 Where any of the holder of the EA's contact details change, including the name of the responsible person, the physical or postal address and/or telephonic details, the holder of the EA must notify the Department as soon as the new details become known to the holder of the EA.
- 1.6 The Department reserves the right to monitor and audit the development throughout its full life cycle.
- 1.7 This EA does not negate the holder of the EA's responsibility to comply with any other statutory requirements that may be applicable to the undertaking of the activity.

### 2. APPEAL OF AUTHORISATION

- 2.1. The holder of the EA must notify all registered interested and affected party, in writing and within 12 (twelve) calendar days, of receiving notice of the Department's decision.
- 2.2. The notification referred must –
  - 2.2.1 specify the date on which the EA was issued;
  - 2.2.2 inform all the interested and affected party of the appeal procedure provided for within the Appeal Regulations;
  - 2.2.3 advise all the interested and affected party that a copy of the EA will be furnished on request; and
  - 2.2.4 give the reasons for the decision.





### 3. APPEAL PROCEDURE

- 3.1 An appellant (if the holder of the decision) must, within 20 (twenty) calendar days from the date the notification of the decision was sent to the holder by the Department.
- 3.2 An appellant (if NOT the holder of the decision) must, within 20 (twenty) calendar days from the date the holder of the decision sent notification of the decision to the registered I&APs, submit an appeal in accordance with Regulation 4 of the National Appeal Regulations 2014 (as amended) using the prescribed form obtainable from the Department, to the Appeal Administrator.
- 3.3 Submit an appeal in accordance with Regulation 4 of the National Appeal Regulations 2014 (as amended) to the Appeal Administrator; as follows:

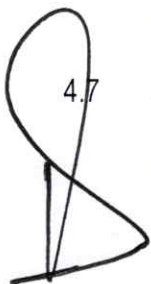
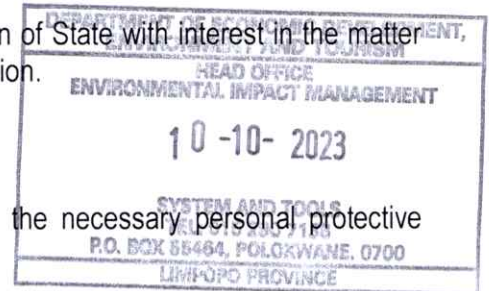
Ms Matlala MF

**Address:** 20 Hans van Rensburg Street, Evridiki Towers, **POLOKWANE**, 0700  
Tel: (015) 293 8526/27| Mobile: 072 528 7428| Email: [MatlalaMF@ledet.gov.za](mailto:MatlalaMF@ledet.gov.za)

- 3.4 Submit a copy of the appeal to any registered I&APs, any Organ of State with interest in the matter and the decision-maker i.e. the Department that issued the decision.

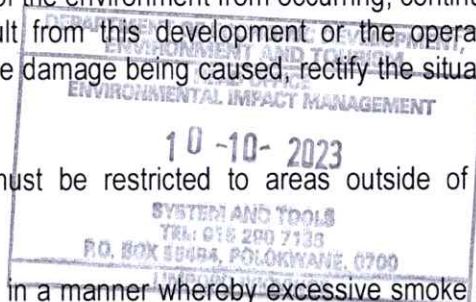
### 4. COMMENCEMENT OF THE DEVELOPMENT

- 4.1 In order to ensure their safety, all employees must be given the necessary personal protective equipment.
- 4.2 This EA must be provided to the site operator and the requirements thereof must be made fully known to him/her.
- 4.3 Appropriate notification signs must be erected at the construction site, warning the public (residents, visitors etc) about the hazards around the construction site and presence of heavy vehicles and machinery.
- 4.4 Hauling routes for construction vehicles and machinery must be clearly marked and appropriate signalling must be posted to that effect. Further, movement of construction vehicles and machinery must be restricted to areas outside of the drainage line/wet area.
- 4.5 Construction must include appropriate design measures that allow surface and subsurface movement of water along drainage lines so as not to impede natural surface and subsurface flows. Drainage measures must promote the dissipation of stormwater run-off.
- 4.6 Vegetation clearing must be kept to an absolute minimum. Mitigation measures must be implemented to reduce the risk of erosion and the invasion of alien species.
- 4.7 All construction areas (e. g. material lay down area), topsoil and sub-soils must be protected from contamination or pollution and stockpiling must not take place in drainage lines or where it would impede surface water runoff.





- 4.8 The holder of the EA must note that in terms of the National Forests Act (Act No. 84 of 1998); protected plant species (also listed in Limpopo Environmental Management Act, 2003 (Act No. 7 of 2003) must not be cut, disturbed, damaged, destroyed, and their product must not be possessed, collected, removed, transported, exported, donated, purchased or sold unless permission is granted by the Department of Forestry, Fisheries and the Environment (DFFE).
- 4.9 If any soil contamination is noted during the construction and operational phase of the proposed activities, the contaminated soil must be removed to a suitable waste disposal facility and the site must be rehabilitated to the satisfaction of this Department and the DWS. The opportunity for the on-site remediation and re-use of contaminated soil must be investigated prior to disposal and this Department must be informed in this regard.
- 4.10 Should infill material be required for any purpose, the use of borrow pits must comply with the provisions of the Mineral and Petroleum Resources Development Act, 2002 (Act No. 28 of 2002) administered by the Department of Mineral Resources and Energy (DMRE).
- 4.11 An integrated waste management approach must be implemented that is based on waste minimisation and must incorporate avoidance, reduction, recycling, re-use and disposal where appropriate. Uncontaminated builders' rubble generated during the construction can be re-used as back filling material on site. Ensure that no refuse or builders rubble generated on the premises is placed, dumped or deposited on adjacent properties or public places and open spaces during or after construction.
- 4.12 Section 28 of the NEMA places a duty of care on the holder of the EA to ensure that reasonable measures are taken to prevent pollution or degradation of the environment from occurring, continuing or recurring. Should any environmental damage result from this development or the operation thereof, the holder of the EA, must within 14 days of the damage being caused, rectify the situation at his/her own expense.
- 4.13 Movement of construction vehicles and machinery must be restricted to areas outside of the drainage lines/wet area.
- 4.14 Construction vehicles must be serviced and maintained in a manner whereby excessive smoke and noise production is reduced to acceptable levels, and to prevent oil leaks. Contaminated soil must be remediated on site or removed to an appropriately authorised landfill site.
- 4.15 Dust and nuisance must be minimised through damping down of unsurfaced areas.
- 4.16 Residents (if any) on the property and surrounding area must be informed if any unusually noisy activities are planned. Noise impacts must be reduced over distance at a rate of 1db (decibel) per 13 metres.
- 4.17 Chemical sanitation facilities or systems such as "toilets" that do not rely on seepage of liquids must be provided with a ratio of one for every 15 workers. These must be placed such that they prevent spills or leaks to the environment and must be maintained according to operating instructions and the contents thereof must be disposed of at an authorised waste water treatment works.





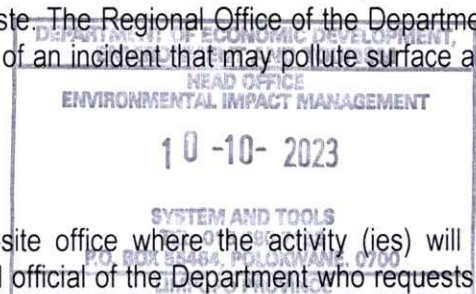
- 4.18 Mixing of cement, concrete, paints, solvents, sealants and adhesive must be done in specified areas on concrete aprons or on protected plastic linings to contain spillage or overflows onto soil to avoid contamination to underground water and environmental damage.
- 4.19 Construction activities must be suspended and a representative of the South African Heritage Resources Agency (SAHRA) and/ or Limpopo Heritage Resources Agency (LIHRA) be contacted immediately in the event of finding or uncovering any subterranean (middens, graves, etc.).
- 4.20 Care must be taken to ensure that the material and excavated soil required for backfilling are free of contamination from hydrocarbons.
- 4.21 The hydraulic fluids or chemicals required during construction must be stored in a concrete lined surface with bund walls and shall be designed in such a manner that any spillage can be contained and reclaimed without any impact on the surrounding environment. Should any spills occur it should be cleaned immediately by removing the spillage together with the polluted solid and dispose it in an authorised disposal site permitted to dispose of such waste. The Regional Office of the Department of Water and Sanitation must be notified within 24 hours of an incident that may pollute surface and ground water.

## 5. MANAGEMENT OF THE ACTIVITY

- 5.1 A copy of this EA must be kept at the property / on-site office where the activity (ies) will be undertaken. The EA must be produced to any authorised official of the Department who requests to see it and must be made available for inspection by any employee or agent of the holder of the EA who works or undertakes work at the property.
- 5.2 The contents of the EMPr and its objectives must be made known to all contractors, subcontractors, agents and other people working on the site, and any updates or amendments to the EMPr must be submitted to the Department for approval.
- 5.3 Regular monitoring and maintenance of storm water drainage facilities must be conducted at all times and repaired, if damaged, as directed by this Department or any other relevant authority.
- 5.4 The holder of the EA shall note that in terms of Section 19(1) of the National Water Act, 1998 (Act No. 36 of 1998), "An owner of the land, a person in control of land or a person who occupies or uses the land on which- (a) any activity or process is or was performed or undertaken; or (b) any other situation exists, which caused or is likely to cause pollution of a water source must take all reasonable measures to prevent any such pollution from occurring, continuing or recurring". Therefore any pollution incident(s) associated with the proposed project shall be reported to the relevant Regional Office of the Department of Water and Sanitation within 24 hours.

## 6. REPORTING TO THE DEPARTMENT

- 6.1 The holder of the EA must notify the Department, in writing and within 48 (forty eight) hours, if any condition of this EA cannot be or is not adhered to. Any notification in terms of this condition must be accompanied by reasons for the non-compliance. Non-compliance with a condition of this EA may result in criminal prosecution or other actions provided for in NEMA and the Regulations.



- 6.2 Fourteen (14) days written notice must be given to the Department that the activity's operational phase will commence. Commencement for the purposes of this condition includes site preparation.
- 6.3 The holder of the EA must notify the Department within thirty (30) days after the completion of the construction activities.
- 6.4 Any complaints received from the registered interested and affected parties (I&APs) during the construction and operational phase of the activity must be attended to as soon as possible and addressed to the satisfaction of all concerned I&APs.
- 6.5 The holder of the authorisation must ensure that an up to date emergency register is kept during the construction and operation of the project. This register must be made available upon request by the Department.

## 7. SITE CLOSURE AND DECOMMISSIONING

- 7.1 Should the activity ever cease or become redundant, the holder of EA shall undertake the required actions as prescribed by legislation at the time and comply with all relevant legal requirements administered by any relevant and competent authority at that time.

