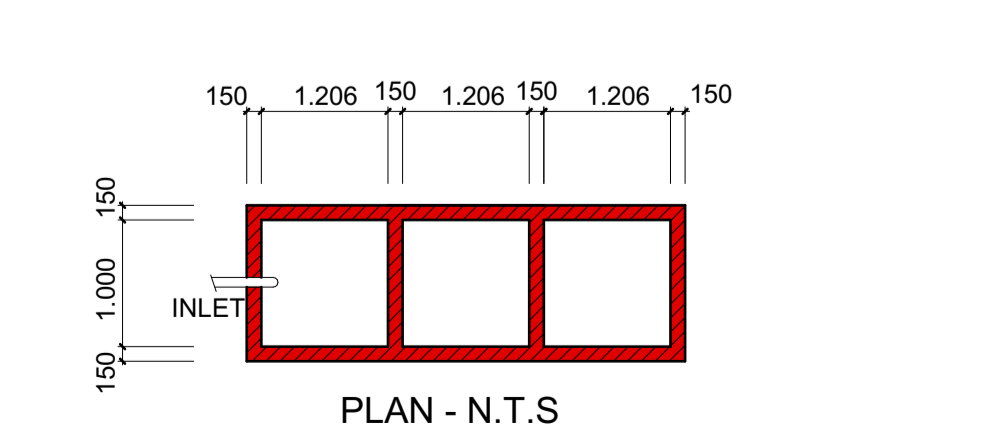
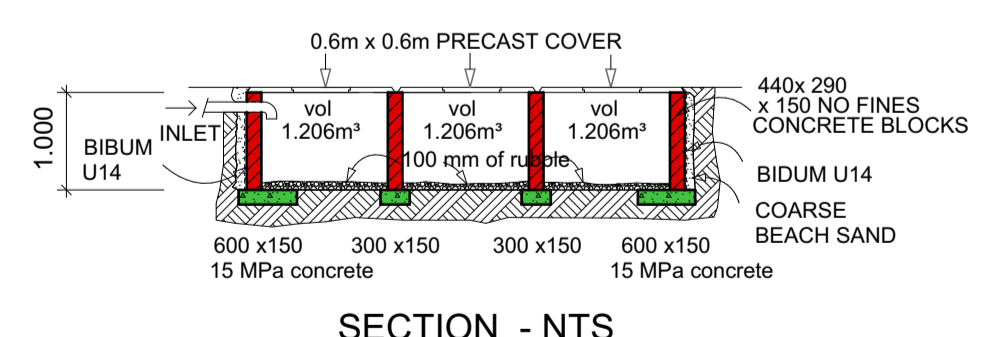


- A. ROOF:-**
1. Roof trusses to be designed and certified by engineer.
- B. WALLS:-**
1. Double course of brickwork to be reinforced with brickforce. Solid cement mortar joint below wallplate level, above window head level and below window sill level.
2. Unplastered external walls to be bagged and bitumen painted between skins.
3. All brickwork below ground level to be bricks recommended for the purpose by the manufacturer.
4. Galvanised wire ties to be built into all 230 cavity walls at 800 centres horizontally and every 6th course vertically.
5. Gundle 'brickgrip' DPC's to be provided over all slabs, under all cills, parapets and elsewhere as required by the local authority and in accordance with SANS and window systems.
6. Galvanised steel coil antguards, lapped and soldered at joints to be to local authority requirements.
7. Two vermin-proofed airbricks to be provided in the external walls of all habitable rooms.
8. Joints in facebrick to be pointed square 'raked' unless otherwise specified on drawing.
- C. SURFACE BEDS:-**
1. Surface beds to be 100mm concrete of mix not weaker than 1:3:6 by volume, reinforced with BRC mesh at 300 centres both directions.
2. Surface beds to be laid on Gundle UFS green membrane on ground poisoned by specialist to SABS requirements.
- D. SUSPENDED FLOORS AND R/CONCRETE:-**
1. To be built strictly in accordance with professional structural engineer's details under his supervision.
2. Finish to be plastered unless otherwise noted.

- E. DRAINAGE**
1. The contractor is required to ensure that he installs necessary stormwater and/or sewer connections before drainage work commences. It is thereafter the contractors responsibility to ensure adequate falls to these connections.
2. Approval for the siting of septic tank and/or soakpits together with any percolation tests which may be required is to be obtained from the local authority by the contractor before commencing any building work.
3. The contractor is responsible for ensuring that stormwater damage to the work in progress or the neighbouring properties does not occur during construction and that the surface water drainage is adequate.
4. All sanitary fittings to be trapped and/or vented to local authority requirements.
5. All bends and junctions in drains to be provided with inspection eyes at 25m centres.
- F. WINDOWS:-**
1. Window frames to be white powder coated aluminium
- G. DOORS AND FRAMES:-**
1. External frames to be white powder coated aluminium
2. Internal frames to be hardwood.
3. External doors to be solid hardwood. (60 min. fire rated where specified)
4. Internal doors to be flush panel semi hollow core faced in where specified.
5. Doors in timber to be provided with 1 pair(internal) and 1.5 pairs(external) 100mm brass butt hinges and lockset.
- H. GLAZING:-**
1. All glazing is to be in accordance with SANS 10400. PART N
2. Glazing to bathrooms and WC's to be in obscure glass.
- I SITING AND EXCAVATIONS:-**
1. All boundary beacons are to be flagged by a registered land surveyor and the contractor is to obtain a certificate stating that the work has been correctly set out before proceeding with excavations.
2. Contractor is to check all dimensions and levels before commencing work and report any discrepancies to MP Building Designs.
3. Contractor is to confirm and ensure correctness of floor and entrance levels physically on site with local authority inspector before commencing work
4. If the site is found to contain clay, shale, ground water or any other suspect soil condition, then all foundations are to be to professional engineer's details and built under his supervision.
5. All foundations are to be taken to hard, virgin ground. No back filling over excavated areas will be permitted. Foundation depths to be determined on site.
- J. LOCAL AUTHORITY:-**
1. The owner is responsible for all local authority notices and fees.
2. The owner is required to obtain all necessary connections to services.
3. Where local authority or government regulations require more stringent specification than shown herein, they are to be followed with prior consent of the owner.
4. The contractor is to inspect the official approved copies of the drawing to ensure that all amendments have been taken into account.
5. All SANS standards and specifications are to be adhered to as a minimum standard and good construction principles.
6. All levels are approximate.

STORMWATER CALCULATIONS
SITE AREA - 910m²
40% OF SITE AREA = 364m²
TOTAL BUILDING AREA - 392.48m²
TOTAL HARDENED SURFACE AREA - 368.04m²
TOTAL AREA - 743.14m²
760.52m² - 364m² = 396.52/40 = 9.91m³
PROVIDED: 2 x 5250L JOJO TANK & 1 X 1000L SLIM LINE TANK (10.50m³)
11.50m³ / 1.67 = 6.29m³
9.91m³ - 6.29m³ = 3.620m³ SOAK PIT REQUIRED
PROVIDED: 1 x 3.620m³ SOAK PIT

DETAILS OF SOAKPITS
3.620m³. FOR ROOF & NEW HARDENED SURFACE WATER DISPOSAL



NOTE - 3m FROM BOUNDARY OR BUILDINGS
1m³ FOR 40m² ROOF AREA & HARDENED SURFACES

- K. NOTES TO OWNER:-**
1. The attention of the owner is drawn to the fact that changes to the plan and/or specifications after official approval are likely to invalidate that approval.
- L. ADDITIONAL STANDARD RECOMMENDED SPEC:-**
1. All foundations reinforced and compacted hardcore to 99% MOD AASHTO.
2. All brickwork to be cross-bonded every 4 courses vertically, namely Plastered and painted houses.
3. Skirting to be 100mm Meranti with quadrant.
4. External cills to be glazed with drip (250 Micron DPC under).
5. Internal cills must be meranti with trim.
6. All window heads to have drip groove.
7. All flashing and waterproofing to be guaranteed for 10 years.
8. All walls to have coping with drip fall away from face with drip mould on soffit.
- SANS PART 'P' DRAINAGE**
1. All joints to comply with P4.2 & 4.6.
2. All sanitary fixtures to be in accordance with P4.3.
3. All drainage to comply with the relevant portions of P4.15, depending on type of system utilized.
4. All discharge & ventilation pipes to be installed in compliance with P4.18.
5. Drains to be accessible in accordance with P4.19.
6. All sanitary fixtures to have traps in accordance with P4.20.
7. Gully to comply with requirements of P4.21.
8. All drains to be laid in accordance with P4.22.

- GENERAL:**
1. The contractor shall ensure that all materials & workmanship shall comply with the National Building Regulations. He should also comply with part E (demolition work) & part F (site operations).
2. All work not detailed on the drawings shall comply with the relevant regulations. In this regard the following should be noted:
- Soil poisoning shall be provided under all internal surface beds and certificate issued.
- Foundations shall be min. 690 x 230mm under 230mm & min 600x200 for 115mm walls as per SANS 10400 part H.
- Under-floor membranes shall be provided under internal surface beds in accordance with part J of SANS 10400 & damp proof courses in walls as per SANS 10400 part K 4.5.3
- All rooms shall be provided with artificial lighting in accordance with SANS 10400 part O.
3. All reinforced concrete work shall be built to engineer's specifications.
4. Top of foundations to be a minimum of 400mm below natural ground level.
5. Foundations to be backfilled.
6. Top of RC surface bed to be a minimum of 150mm above finished ground level.
7. Brickforce to every second course to plinth walls. Embossed UPVC DPC to external plinth walls at slab level.
8. DPC to window sills and between floor slabs and external walls.
9. Brickforce to every second course over door/window head, & every fourth course to all walls generally. Wire ties for roof to be well bedded into exterior walls at truss centres - to door head height depth.
10. SABS approved safety glass to areas in excess of 1.5sq.m, within 500mm from finished slab floor levels, directly above bath tubs, shower cubicles, glass balustrades and all sliding doors to comply with SANS part N
11. P.C. lintols to engineers details.
12. All banks cut or filled at maximum 26 degrees.
- WATER SUPPLY NOTES**
1. Existing municipal water connections to be used.
2. Water pressure to be tested at existing FHR to determine if water tanks are required for fire hose reels.
3. All water supply pipes above ground with a diameter of 38mm, or less, are to be copper class 460/0. All pipes in chases to be spiral wrapped with KRATTEX building paper.
4. No pipes are to be installed below surface beds.
5. Pipes in ground to be in UPVC or glazed earthenware installed to manufacturers' specification.
6. All galvanised pipes used in ground shall be DENSO-protected in strict accordance with manufacturers' specification.
7. Fire hose reels and extinguishers to be SABS approved.
8. Variation to pipe layout, design, sizes, etc must be approved by the architect prior to installation.
- GENERAL SEWER NOTES:**
1. Cleaning facilities shall be provided at all changes in gradient and direction and elsewhere where required.
2. All levels and directions to be checked on site and any discrepancies to be on site and any discrepancies to be reported to the architect immediately before commencing with any work.
3. All work to be executed in strict accordance to the drawings and local authority requirements.
4. All SANS applicable specifications and Codes of Practice to be used.
5. All upvc pipes shall be installed according to SANS and other relevant requirements including those of the local authority.
6. All pipe fittings shall be inspected and approved before pipe laying commences.
7. No section of drain shall be backfilled without the written approval of the engineer.
8. A ball 5mm (smaller than the internal dia. of the drain shall pass freely along the length of the drain and shall be carried out in the presence of the engineer.
9. All existing services in the area where construction is to take place shall be located and opened before proposed drainage work is commenced.
10. Access shall be provided to drains at every change of gradient and direction and at least 25m intervals by means of a cleaning eye or manhole.
11. The maximum bend on any single fitting shall be 45 degrees with the exception of the ventilation pipe where up to 90 degrees may be used.
12. All traps up to and including 50mm dia shall be of deep seal (75mm) reseal type.
13. All groups of wash hand basins and sinks shall be connected to a 50 - 100mm internal dia waste pipe.
14. All pipes shall be laid to falls as indicated on the drawings.

IF SITE IS FOUND TO CONTAIN CLAY, SHALE, GROUND WATER OR ANY OTHER SUSPECT SOIL CONDITIONS, THEN ALL FOUNDATIONS ARE TO BE TO PROFESSIONAL ENGINEERS DETAILS AND BUILT UNDER HIS SUPERVISION.
ALL FOUNDATIONS TO BE TAKEN TO HARD, VIRGIN GROUND.
ALL GLAZING TO COMPLY WITH PART N OF SANS 10400.
ALL BANKS TO BE MINIMUM 26
THIS DRAWING IS SUBJECT TO COPYRIGHT AND MAY NOT BE REPRODUCED IN WHOLE OR PART OR IN ANY MANNER WHATSOEVER WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT.

This drawing is not to be scaled. Use figured dimensions only. All heights and dimensions to be checked on site & any discrepancy shall be reported to the architect immediately. All level heights or plinths, depths or excavations and number of steps to be finally checked by the contractor on site. These Architectural drawings are to be read in conjunction The Contractor is responsible for all site visits by local inspectors and pay all fees in connection therewith.

WINDOW & DOOR SCHEDULE

SHOWER CUBICLES - 5mm TOUGHENED SAFETY GLAZING TO COMPLY WITH SANS 10400 PART N:2012

WINDOW HEAD HGT.	W1	W2	W3
2,500	550	1,100	1,000
FFL	400	400	400
	1,100	1,100	800
	550 550		500 500

QUANTITY	1 OFF	1 OFF	1 OFF
GLAZING	4mm SINGLE CLEAR MONOLITHIC ANNEALED GLASS	4mm FROSTED TOUGHENED SAFETY GLASS	
FRAME	WHITE POWDER COATED ALUMINIUM		

NEIGHBOURS CONSENT

NAME	ADDRESS
ROGER JOHN WILSON	242 ZK MATTHEWS ROAD
TELEPHONE	I.D. NO. SIGNATURE
082 4176 751	5711245089088

NAME	ADDRESS
TELEPHONE	I.D. NO. SIGNATURE

SCHEDULE OF AREAS

SITE AREA	- 910m ²
PERMISSIBLE F.A.R	- N/A
PERMISSIBLE COVERAGE (50%)	- 455m ²
EXISTING F.A.R	- N/A
EXISTING COVERAGE	- 316.81m ²
PROPOSED F.A.R	- N/A
PROPOSED COVERAGE	- 75.67m ²
NEW F.A.R	- N/A
NEW COVERAGE	- 392.48m ²
F.A.R IN HAND	- N/A
COVERAGE IN HAND	- 62.52m ²
ADDITIONS	
GROUND STOREY	- 8.65m ²
TOTAL AWNINGS	- 67.02m ²
NEW AWNING	- 35.84m ²
EXISTING AWNING	- 31.18m ²
TOTAL NEW	- 75.67m ²

ZONING : SPECIAL RESIDENTIAL 400
OCCUPATION CLASSIFICATION : H3

DRAWING TITLE
PROPOSED ADDITIONS & ALTERATIONS TO DWELLING, NEW AWNING & SWIMMING POOL AT 238 Z K MATTHEWS ROAD, GLENWOOD ON ERF 5767 OF DURBAN

OWNER
P. T. & L. M. A. DENNY

P. T. & L. M. A. Denny

26.09.22

OWNER'S SIGNATURE DATE

DRAWING TITLE
SUBMISSION DRAWINGS: SITE PLAN / GROUND STOREY PLAN, SECTION & ELEVATIONS

DESIGNER
MD BUILDING DESIGNS

Principal agent: Mahen Padayachee
SACAP Registration: ST 1061
75 Lenasia Grove, Arena Park, Chatsworth, 4092
Cell: 082 667 0899 Office: 031 404 8492
Email: mahen@saoi.com

DATE 21.09.2022 **SCALE** AS SHOWN
DRAWING NO. MPBD 472 **SHEET SIZE** A1
SHEET NO. 1 OF 3