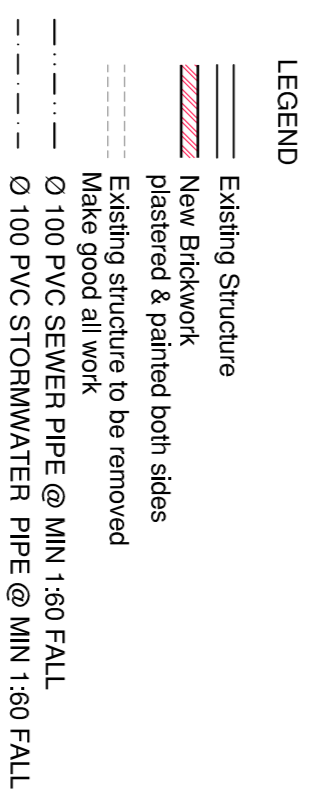
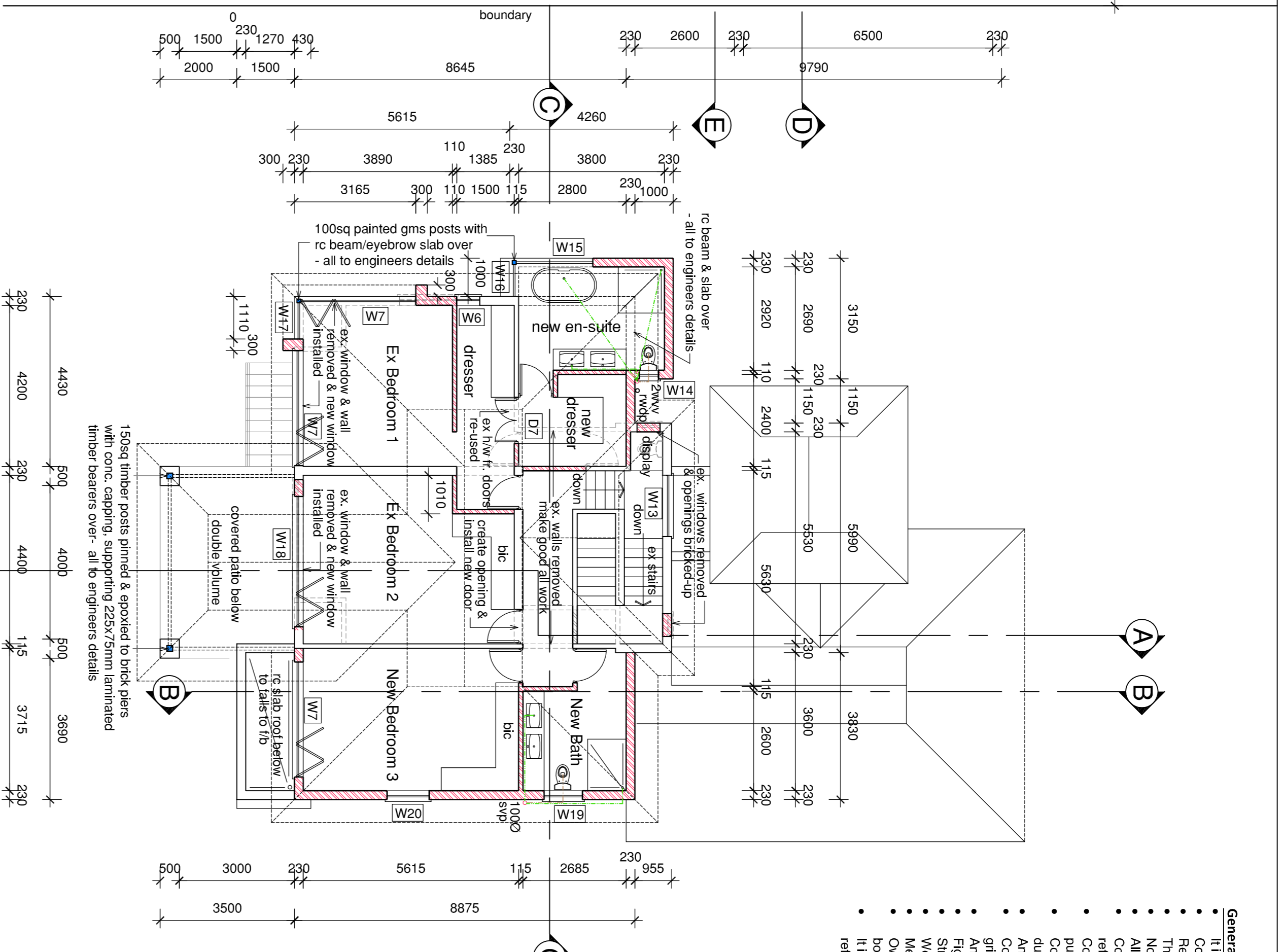


ground storey plan
Scale 1:100



- GENERAL CONSTRUCTION NOTES**
- ROOF:-**
- Concrete roof floor on 38x38 battens on SABS approved sitation on 11x438 SA pipe trusses, 220x50 loose rafters to be SA pipe and treated.
 - External overhangs to be treated with carbolinum.
 - All rainwater goods, fascias and bargeboards to be Reacement, aluminium or PVC.
 - Ceilings to be 6.4mm gypsum board and painted with covod cornices.
 - Reinforced concrete roof to professional engineer's details and topped with insulating screed to hills and covered with waterproofing in accordance with manufacturers recommendations.
 - Waterproofing to be covered with 50mm layer of 20mm of white gravel.
- WALLS:-**
- Two courses of brickwork to be reinforced in with brick-force. Solid cement mortar joint below waplable level, above window head level and below window sill level.
 - Unplastered external walls to be bagged and bitumen painted with skins.
 - All brickwork below ground level to be bricks recommended for the purpose by the manufacturer.
 - Galvanised wire ties to be built into all 230 cavity walls at 800 centres horizontally and every 4 courses vertically.
 - Concrete GPC's to be provided over all sills, under all sills, parapets and elsewhere as required by the local authority and in accordance with NBR and window systems.
 - Galvanised steel coil cutguards, lapped and soldered at joints to be to local authority requirements.

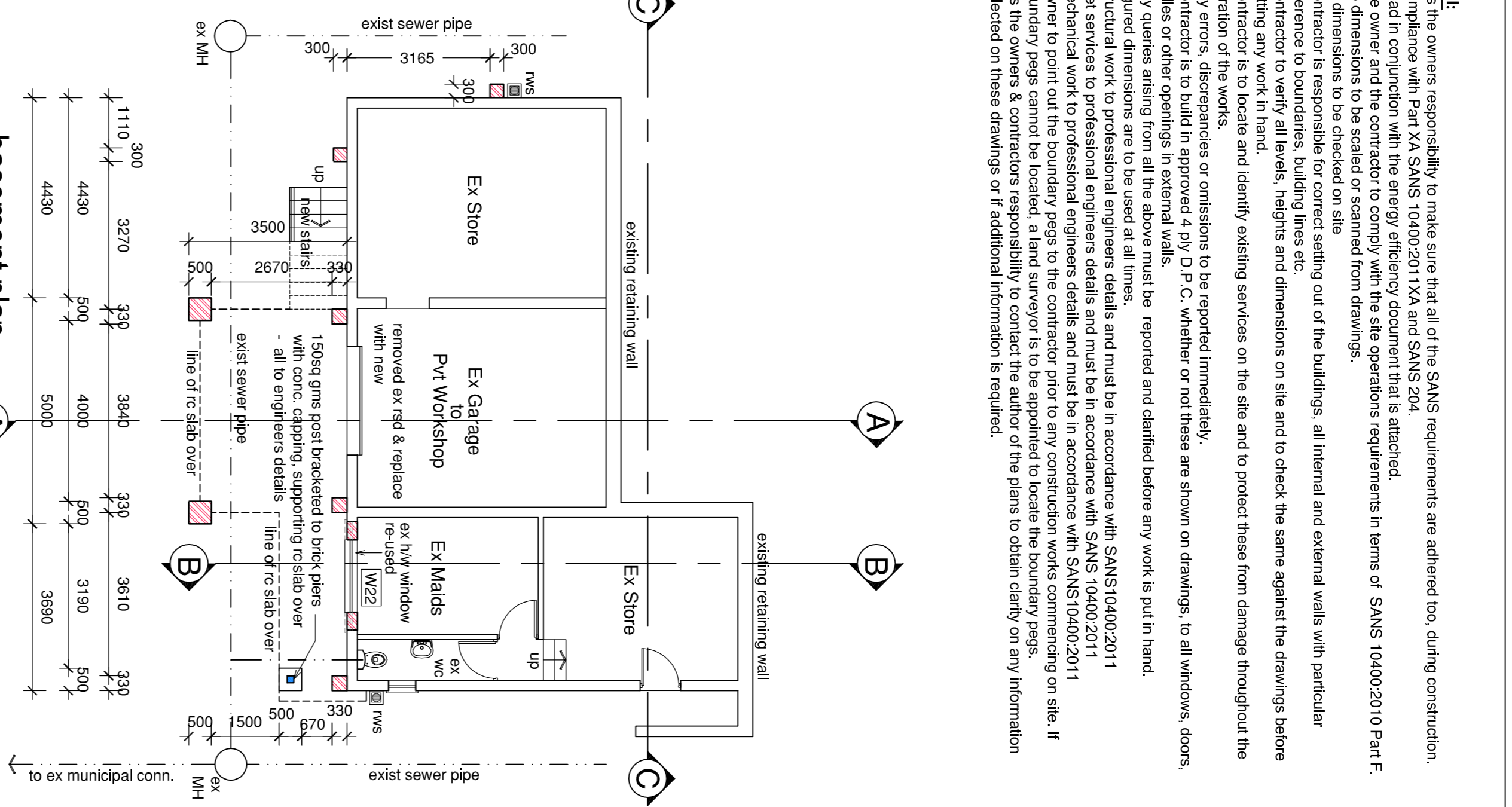


first storey plan
Scale 1:100

SCHEDULE OF AREAS
Zoning : Special Residential 900

Site Area	Permitted Coverage (50%)	Existing Coverage	Proposed Coverage	Total Coverage
1 071.00 m ²	535.50 m ²	122.16 m ²	143.22 m ²	265.38 m ²
	91.63 m ²	122.16 m ²	76.92 m ²	104.57 m ²
	51.89 m ²	51.89 m ²	32.00 m ²	32.00 m ²
	479.17 m ²			
Total Area				188.46 m²

- BOUNDARY WALLS:-**
- No part of boundary walls or their foundations are to project beyond the property boundaries.
 - Walls spanning servitudes to be built on FC ground beams to professional engineer's details.
 - Boundary wall footings parallel with servitude must not project more than 370mm into servitude.
- RETAINING WALLS:-**
- To be built strictly in accordance with professional structural engineer's details.
 - Vertical sanding behind all retaining walls to be the Guide, Hyparlastic, 500micron membrane installed under manufacturers supervision.
 - All retaining walls to be provided with agricultural drains behind and below slab level, graded to fall to surface water disposal system.
- SUSPENDED FLOORS AND CONCRETE:-**
- To be built strictly in accordance with professional structural engineer's details under his supervision.
 - Finish to be plastered unless otherwise noted.
- DRAINAGE:-**
- The contractor is required to ensure that the local authority installs necessary stormwater and/or sewer connections before drainage work commences. It is thereafter the contractors responsibility to ensure adequate falls to these connections.
 - Approval for the siting of septic tank and/or soakpits together with any percolation tests which may be required is to be obtained from the local authority by the contractor before commencing any building work.
 - The contractor is responsible for ensuring that stormwater drainage to the work in progress or the neighbouring properties does not occur during construction and that the surface water drainage is adequate.
 - All berms and junctions in drains to be provided with inspection eyes at 25m centres.
 - Adadequate access panels to be fitted in all ducts over inspection eyes.
- WINDOWS:-**
- Windows to be powder coated aluminium and silicone sealed.
 - Timber to be primed and painted.



basement plan
Scale 1:100

ENERGY EFFICIENCY

- occupancy classification = H3
- climatic zones 5 = subtropical coastal
- orientation and shading = north to south
- external walls
- external wall to have min. r-value of 0.35
- 7-140mm thick with 20mm plaster internally and externally.
- roof assemblies
- approved insulation shall be installed so that all joints, overlaps adjoining insulation or is sealed and shall be installed in accordance with the manufacturers instructions.
- roof assemblies to have min. r-value of 2.7
- tiled roof assemblies:
- 5.2.1 direction of heat flow - down
- 5.2.2 r-value of roof covering material = 0.48
- 5.2.3 r-value of approved insulation = 2.17
- 5.2.4 r-value of ceiling = 0.05

TOTAL = 2.7

- GLAZING:-**
- All glazing is to be accordance with SANS 10400 - N.
 - Clear float safety glazing to be used throughout residence.
 - Glazing to bathrooms and WC's to be in obscure glass.
 - Glazing to conform to SANS 10400 - N, all AAMAUSA and SACGA requirements.
 - 4mm glass (less than 1.5sqm)
 - 5mm glass (between 1.5-2.5sqm)
 - all glazing to be clear except bathroom/wc (osc)
 - all glazing between 0-500mm of the floor level to be 6.3mm safety glass, armour plated or stormproof safety glass
 - glazing to stower enclosures to be 6mm toughened safety glass
- HEALTH NOTES:-**
- Artificial lighting & ventilation to comply with SANS 10400-O
- Note: Certificates of Stability to be issued on completion.
- Note: Foundations are not to encroach servitudes and/or boundaries.
- Note: 3pc lintels to all non beam openings
- Note: 4 off shutter conc. to be cleaned and rubbed down

- GENERAL NOTES:**
- All work to comply with SANS 10400 and Local Municipal By-Laws.
 - Boundary bearings to be exposed and checked, prior to the commencement of work.
 - All dimensions, angles and levels to be checked on site before work is put in hand.
 - Drawings are not to be scaled. Figured dimensions to be used only. All dimensions are, unless otherwise specified, in millimeters.
 - Drawings are to be read in conjunction with Structural, Civil drawings.
 - All glazing to comply with NBR SANS 10400-N 2010 3RD Edition.
 - All safety glazing to be minimum one meter high and to comply with the requirements of SANS 10400-N.
 - All slabs to comply with SANS 10400-M.
 - All slabs to be in accordance with SABS 0124.
- STRUCTURAL NOTES:**
- The following to Professional Structural Engineer's Detail:
 - Soil Exploration and Filling
 - Foundations, RC floor Slabs, Beams and Columns
 - Note: Foundations are not to encroach servitudes and/or boundaries.

- General:**
- It is the owners responsibility to make sure that all of the SANS requirements are achieved too, during construction.
 - Compliance with Part XA SANS 10400:2011 XA and SANS 204.
 - Read in conjunction with the energy efficiency document that is attached.
 - The drawings must comply with the site operators requirements in terms of SANS 10400:2010 Part F.
 - No dimensions to be scaled or assumed from drawings.
 - All dimensions to be checked on site.
 - Contractor is responsible for correct setting out of the buildings, all internal and external walls with particular reference to boundaries, building lines etc.
 - Contractor to verify all levels, heights and dimensions on site and to check the same against the drawings before putting any work in hand.
 - Contractor is to locate and identify existing services on the site and to protect these from damage throughout the duration of the works.
 - Any errors, discrepancies or omissions to be reported immediately.
 - Contractor is to build in approved 4 Ply D.P.C. whether or not these are shown on drawings, to all windows, doors, gilles or other openings in external walls.
 - Any queries arising from all the above must be reported and clarified before any work is put in hand.
 - Figured dimensions are to be used at all times.
 - Structural work to professional engineer's details and must be in accordance with SANS 10400:2011
 - Mechanical work to professional engineers details and must be in accordance with SANS 10400:2011
 - Owner to point out the boundary pegs to the contractor prior to any construction works commencing on site. If boundary pegs cannot be located, a land surveyor is to be appointed to locate the boundary pegs.
 - It is the owners & contractors responsibility to contact the author of the plans to obtain clarity on any information reflected on these drawings or if additional information is required.

CLIENT / OWNER DETAILS
L. Pillay & S. Soobratni

CLIENT'S OWNERS SIGNATURE

CONTRACTANT
H-K-Y-A
s h a i l i c o r o s s
m o d e l : 0 8 4 0 8 7 8 6 4
h a r o o n k a d e r
e m a i l : h e n r i c k . a d e r @ m a i l . c o m
a f c h i . t e c h
s t a t e : P R S A D T s t 1 0 0 3 2 7

PROJECT TITLE:
Proposed Additions & Alterations to Existing Dwelling, Gazebo & Swimming Pool on Lot 2038 Durban North at 23 Dorrington Crescent

CONTRACTANT
Occupancy : H4

DRAWING TITLE:
Submission Drawing

DRAWING DESCRIPTION:
Floor Plans

SCALE:
1:100 (A1)

PROJECT NO.:
23_010_01

REVISION:
HK

ISSUED DATE:
28-09-2023