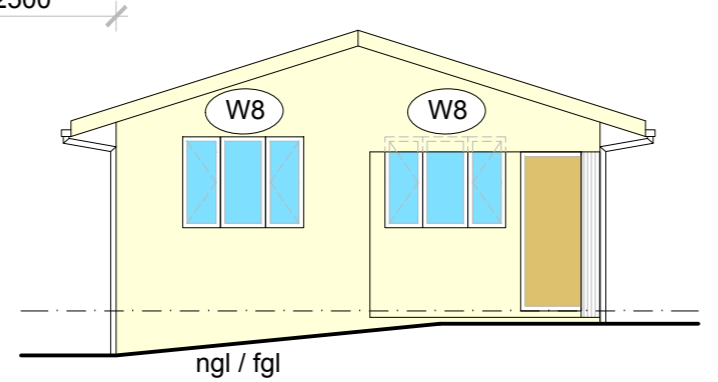


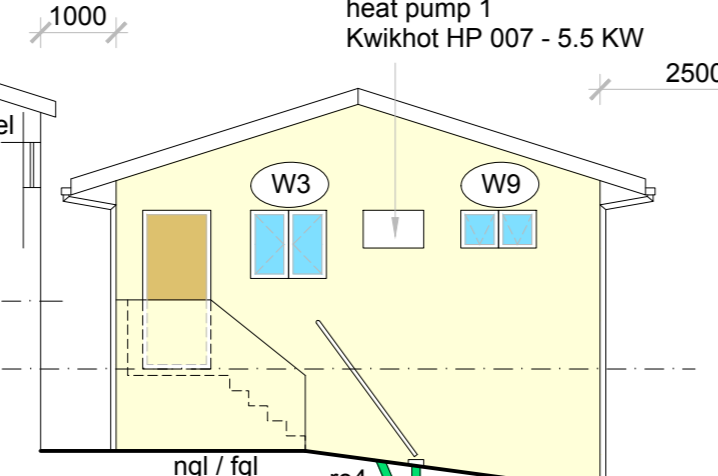
SW Elevation
Scale -1:100

Roof pitch at 17.5 degrees.
Concrete roof tiles to owner's choice.
All walls to be plastered and painted with 3 coats of pva paint of owner's choice.
All window frames to be powder coated aluminium with glazing fixed and supplied by AAAMSA registered specialist.
Colour to owner's choice.
75 dia. pvc rainwater downpipes.
All gutters to be pvc.
All ballustrades to be 1050mm high finished in galvanised mild steel. No openings/gaps to exceed 100mm in compliance with SANS 10400 part D.



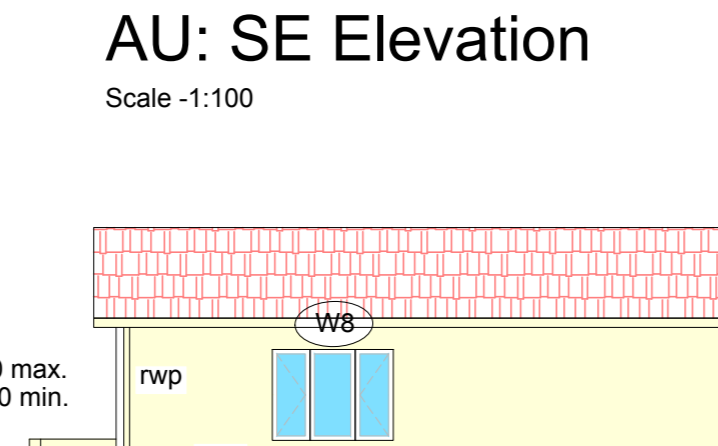
AU: NW Elevation
Scale -1:100

Roof pitch at 17.5 degrees.
Concrete roof tiles to owner's choice.
All walls to be plastered and painted with 3 coats of pva paint of owner's choice.
All window frames to be powder coated aluminium with glazing fixed and supplied by AAAMSA registered specialist.
Colour to owner's choice.
All RC columns and foundations to structural Engineers design and supervision.
75 dia. aluminium rainwater downpipes.
All gutters to be aluminium.



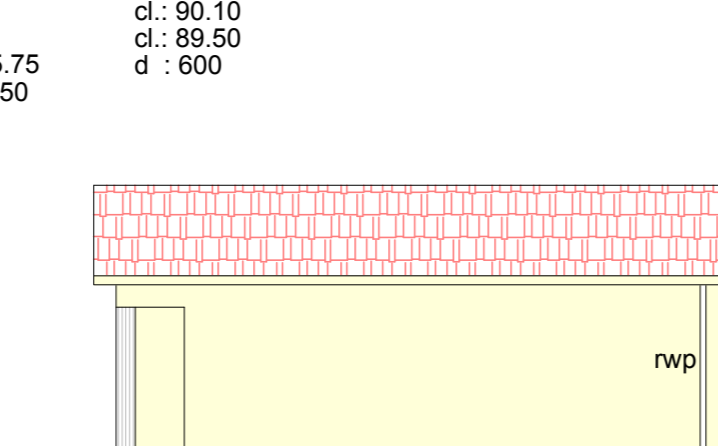
AU: NE Elevation
Scale -1:100

Roof pitch at 17.5 degrees.
Concrete roof tiles to owner's choice.
All walls to be plastered and painted with 3 coats of pva paint of owner's choice.
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Colour to owner's choice.
All RC columns and foundations to structural Engineers design and supervision.
75 dia. aluminium rainwater downpipes.
All gutters to be aluminium.



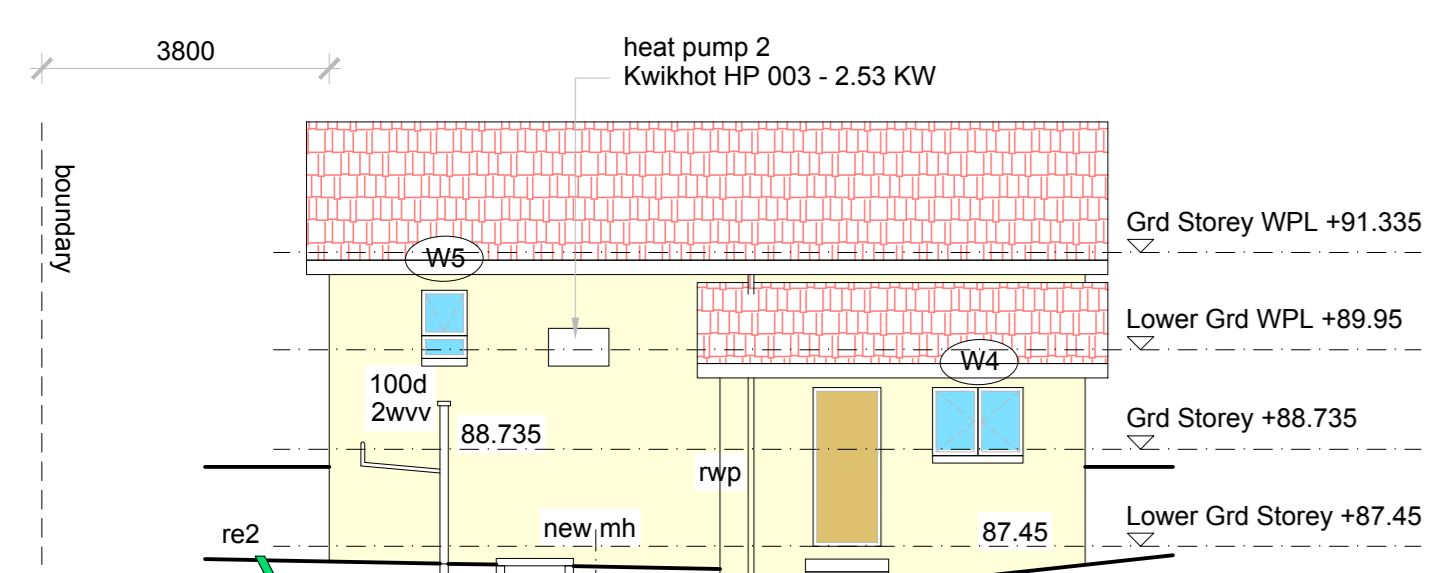
AU: SE Elevation
Scale -1:100

Roof pitch at 17.5 degrees.
Concrete roof tiles to owner's choice.
All walls to be plastered and painted with 3 coats of pva paint of owner's choice.
All window frames to be powder coated aluminium with glazing fixed and supplied by AAAMSA registered specialist.
Colour to owner's choice.
All RC columns and foundations to structural Engineers design and supervision.
75 dia. aluminium rainwater downpipes.
All gutters to be aluminium.



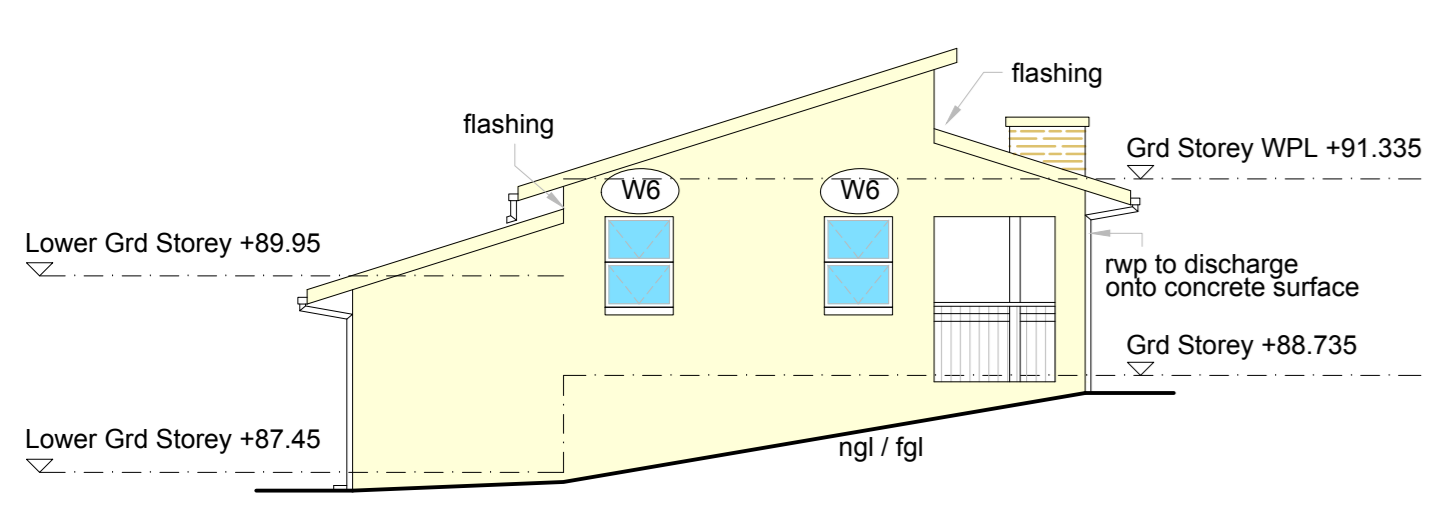
AU: SW Elevation
Scale -1:100

Roof pitch at 17.5 degrees.
Concrete roof tiles to owner's choice.
All walls to be plastered and painted with 3 coats of pva paint of owner's choice.
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75 dia. aluminium rainwater downpipes.
All gutters to be aluminium.



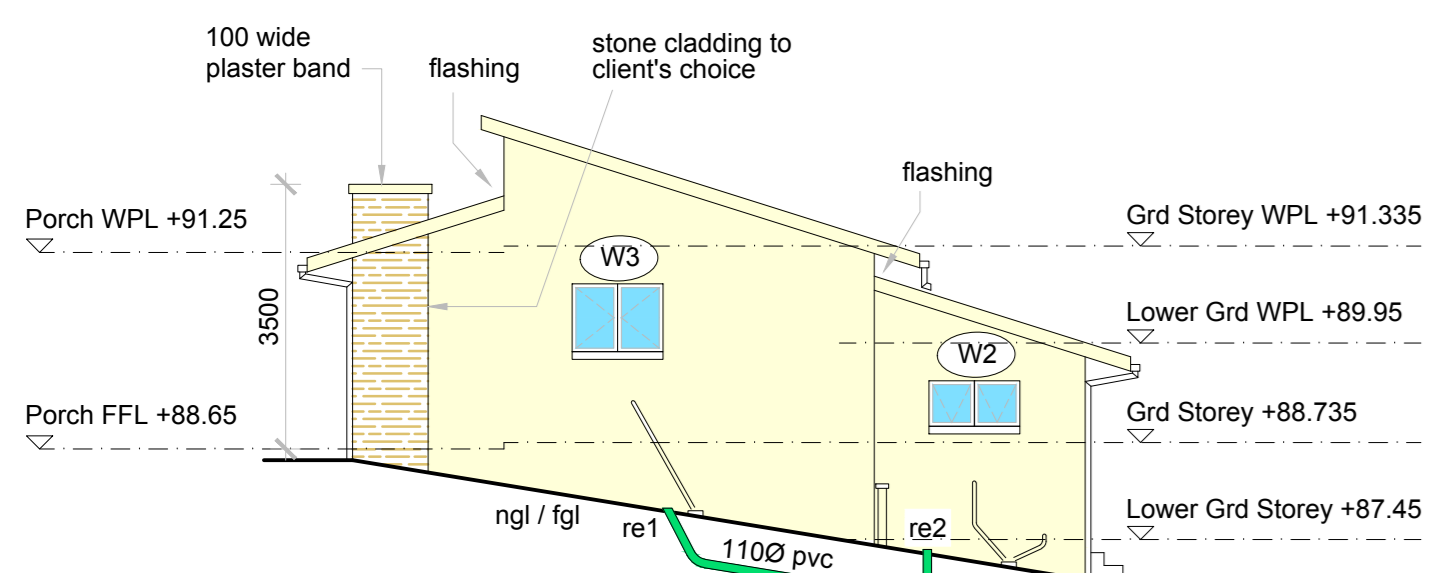
NE Elevation
Scale -1:100

Roof pitch at 17.5 degrees.
Concrete roof tiles to owner's choice.
All walls to be plastered and painted with 3 coats of pva paint of owner's choice.
All window frames to be powder coated aluminium with glazing fixed and supplied by AAAMSA registered specialist.
Colour to owner's choice.
75 dia. pvc rainwater downpipes.
All gutters to be pvc.



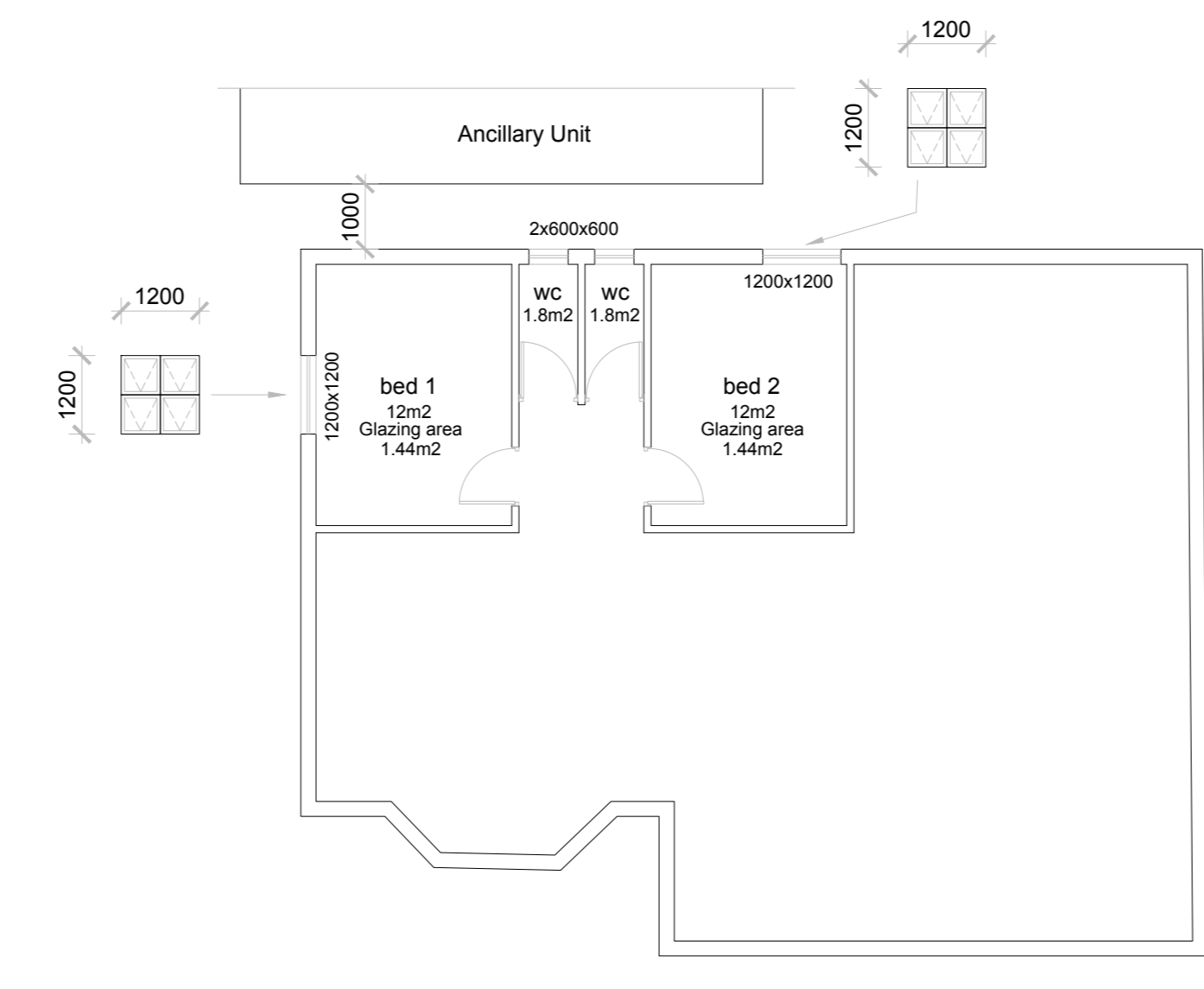
NW Elevation
Scale -1:100

Roof pitch at 17.5 degrees.
Concrete roof tiles to owner's choice.
All walls to be plastered and painted with 3 coats of pva paint of owner's choice.
All window frames to be powder coated aluminium with glazing fixed and supplied by AAAMSA registered specialist.
Colour to owner's choice.
75 dia. pvc rainwater downpipes.
All gutters to be pvc.
All ballustrades to be 1050mm high finished in galvanised mild steel. No openings/gaps to exceed 100mm in compliance with SANS 10400 part D.

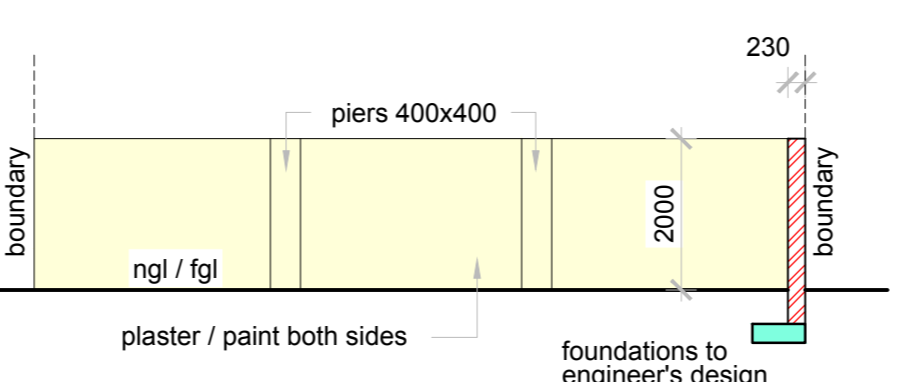


SE Elevation
Scale -1:100

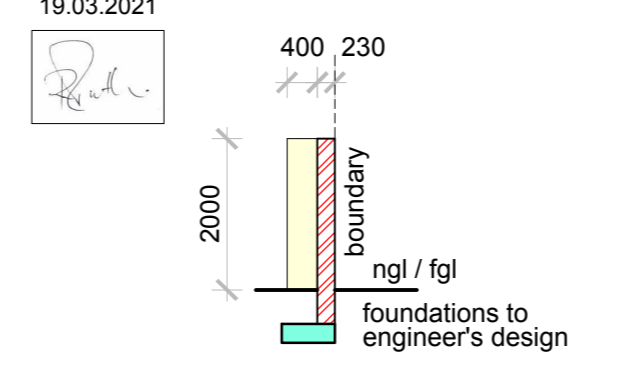
Roof pitch at 17.5 degrees.
Concrete roof tiles to owner's choice.
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All window frames to be powder coated aluminium with glazing fixed and supplied by AAAMSA registered specialist.
Colour to owner's choice.
75 dia. pvc rainwater downpipes.
All gutters to be pvc.



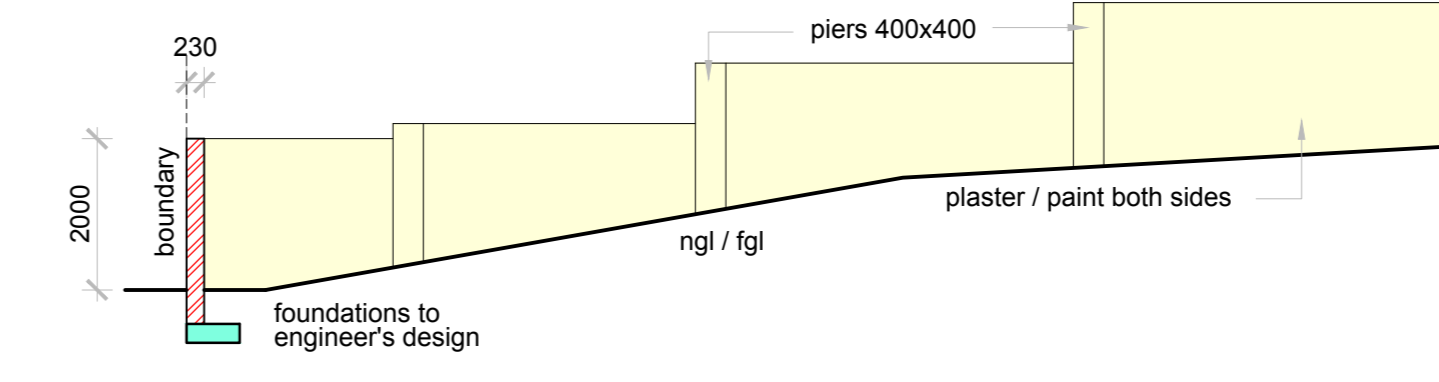
Part Plan: Main Dwelling
Scale -1:100



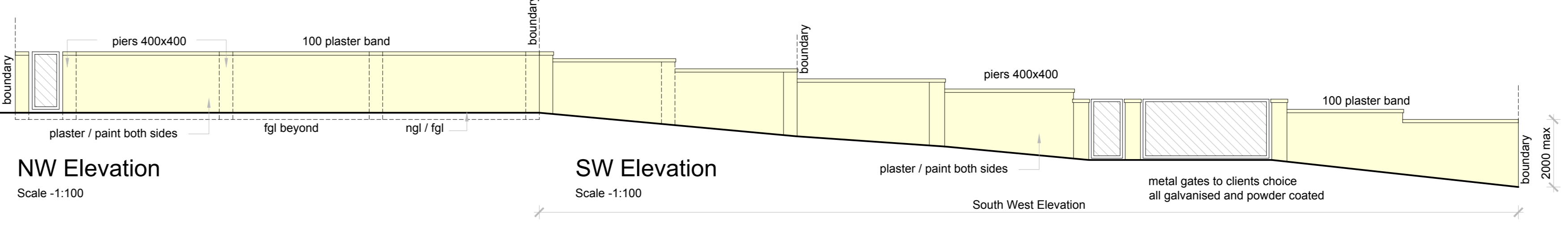
Section C-C
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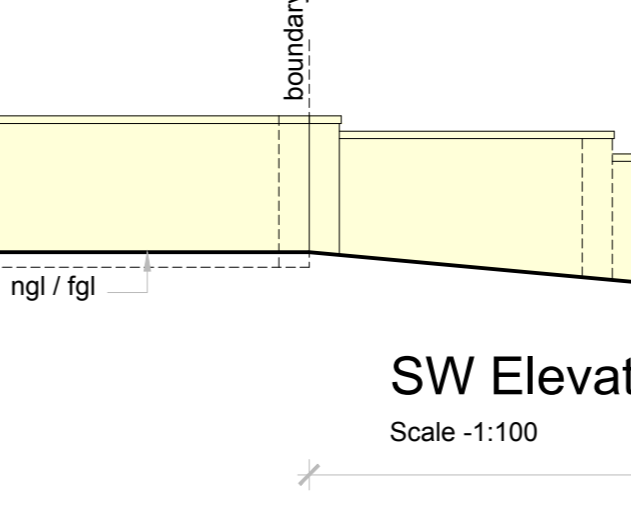
Section C-C
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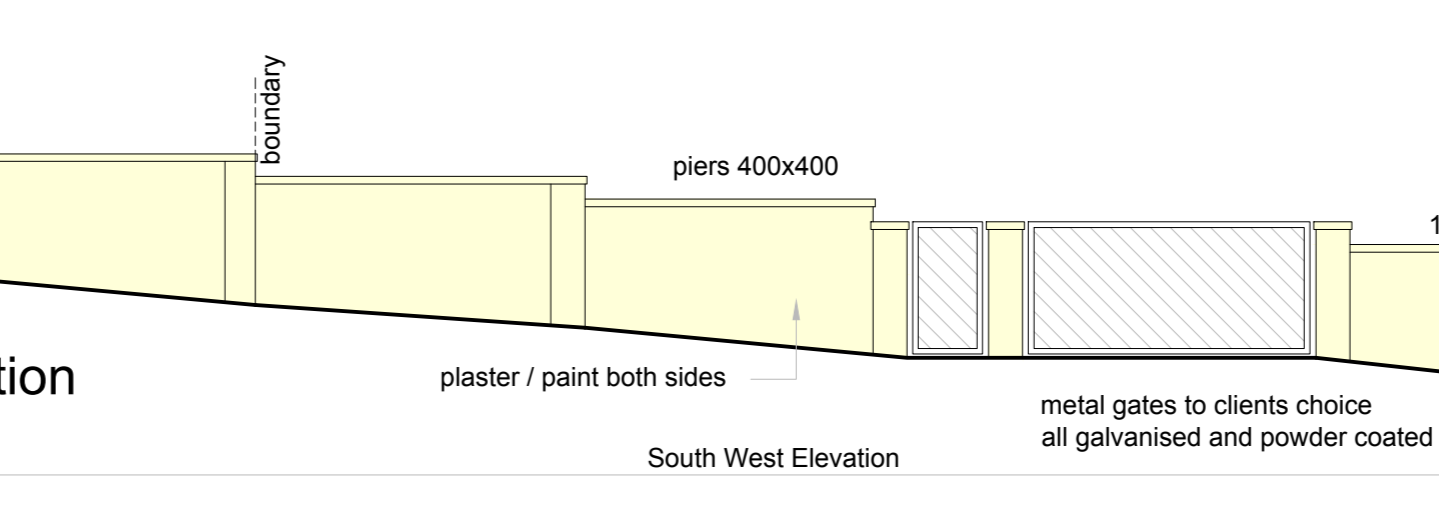
NW Elevation
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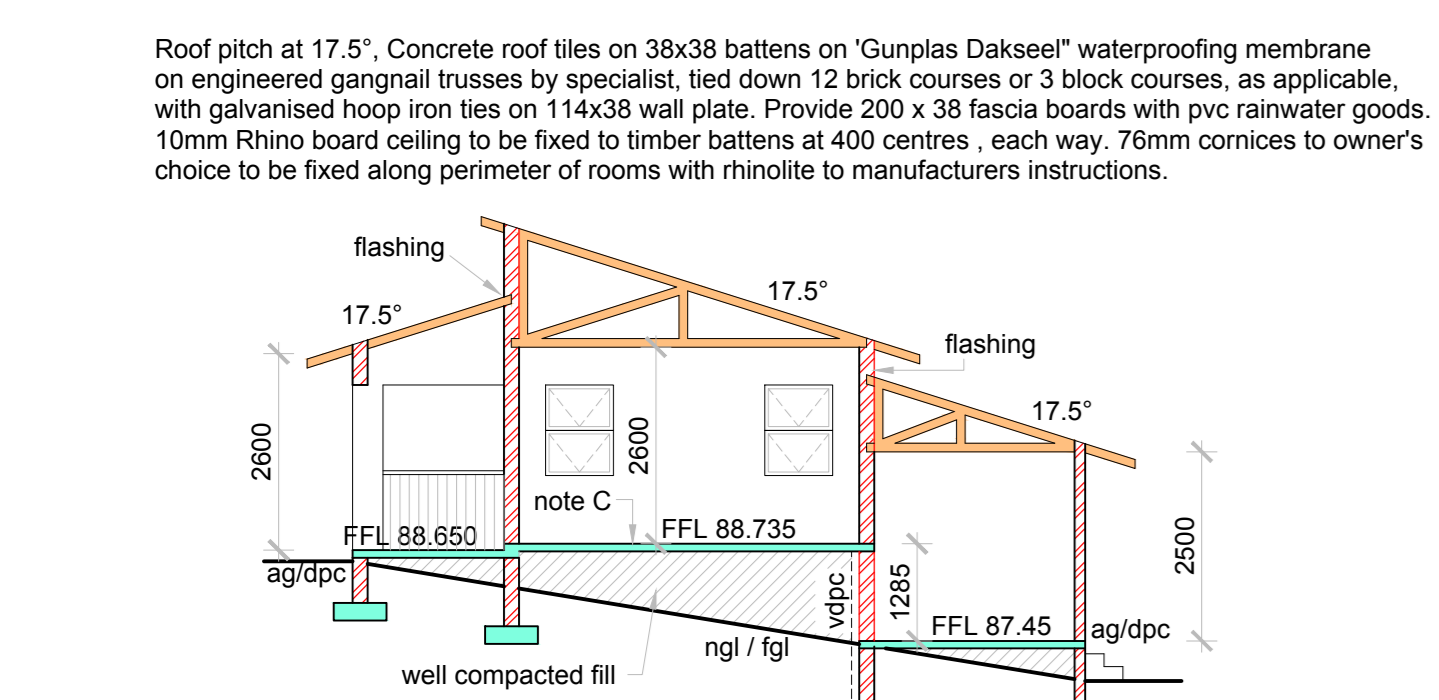
South West Elevation
Scale -1:100



SW Elevation
Scale -1:100

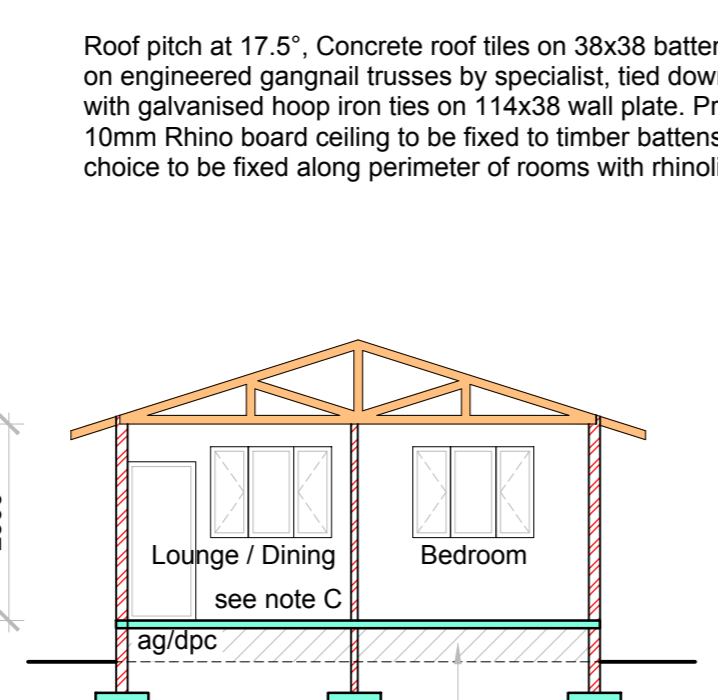


NW Elevation
Scale -1:100



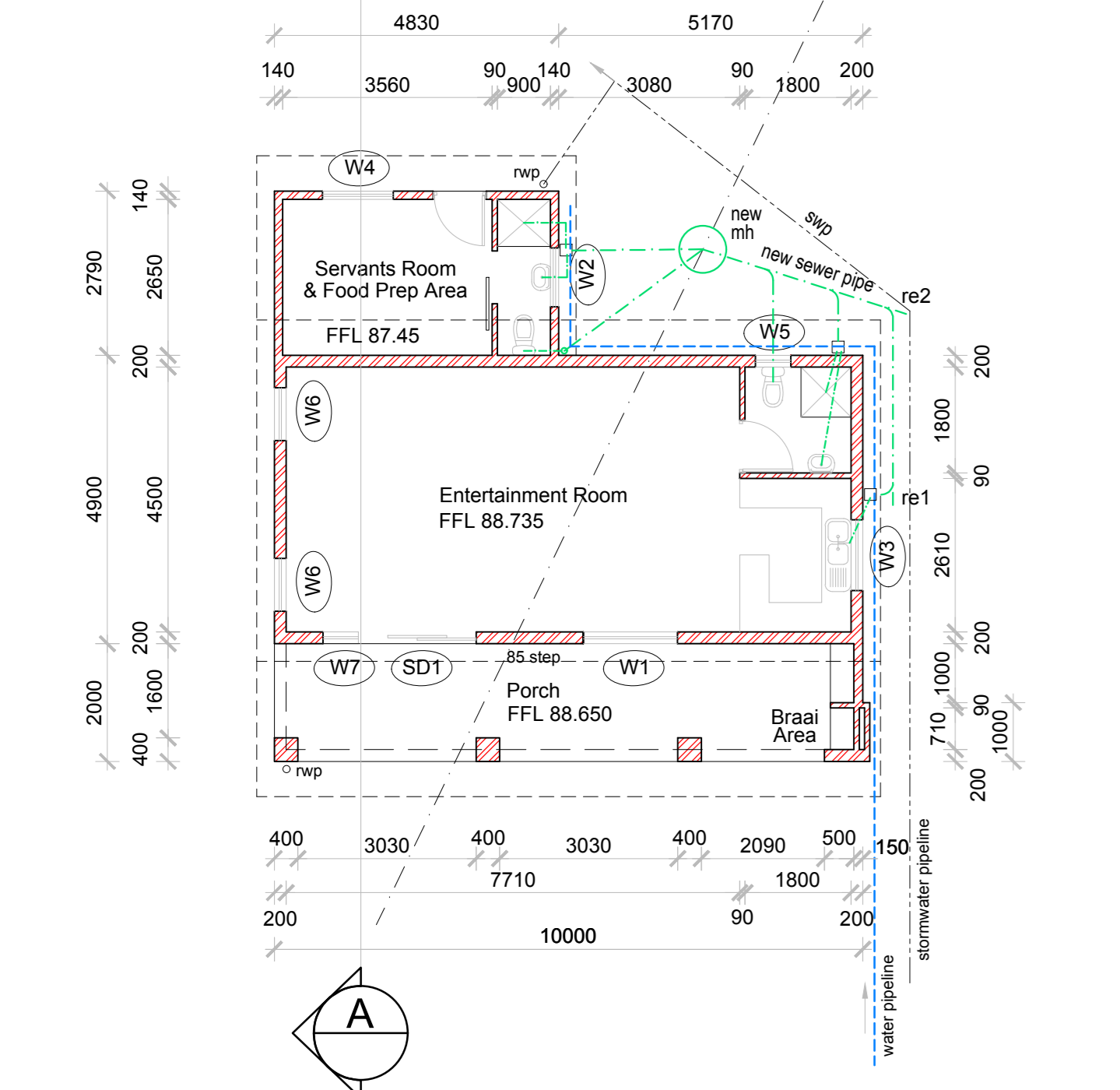
Section A-A
Scale -1:100

Roof pitch at 17.5°. Concrete roof tiles on 38x38 battens on 'Gumpies Daksaal' waterproofing membrane on engineered gangnail trusses by specialist. Tied down 12 brick courses or 4 block courses, as applicable, with galvanised hoop iron ties on 114x38 wall plate. Provide 200 x 38 fascia boards with pvc rainwater goods. 10mm Rhino board ceiling to be fixed to timber battens at 400 centres. each way. 75mm cornice to owner's choice to be fixed along perimeter of rooms with minipile to manufacturers instructions.

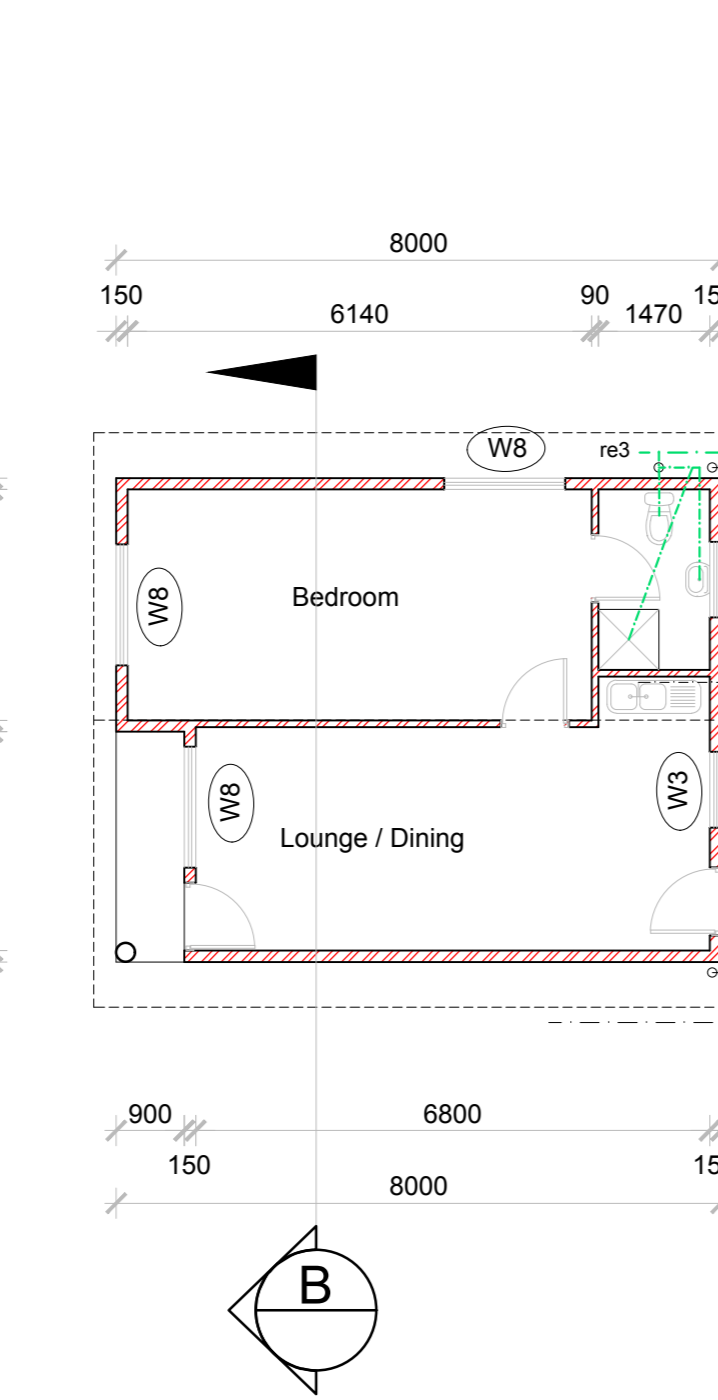


Section B-B
Scale -1:100

Roof pitch at 17.5°. Concrete roof tiles on 38x38 battens on 'Gumpies Daksaal' waterproofing membrane on engineered gangnail trusses by specialist. Tied down 3 block courses, as applicable, with galvanised hoop iron ties on 114x38 wall plate. Provide 200 x 38 fascia boards with pvc rainwater goods. 10mm Rhino board ceiling to be fixed to timber battens at 400 centres. each way. 75mm cornice to owner's choice to be fixed along perimeter of rooms with minipile to manufacturers instructions.

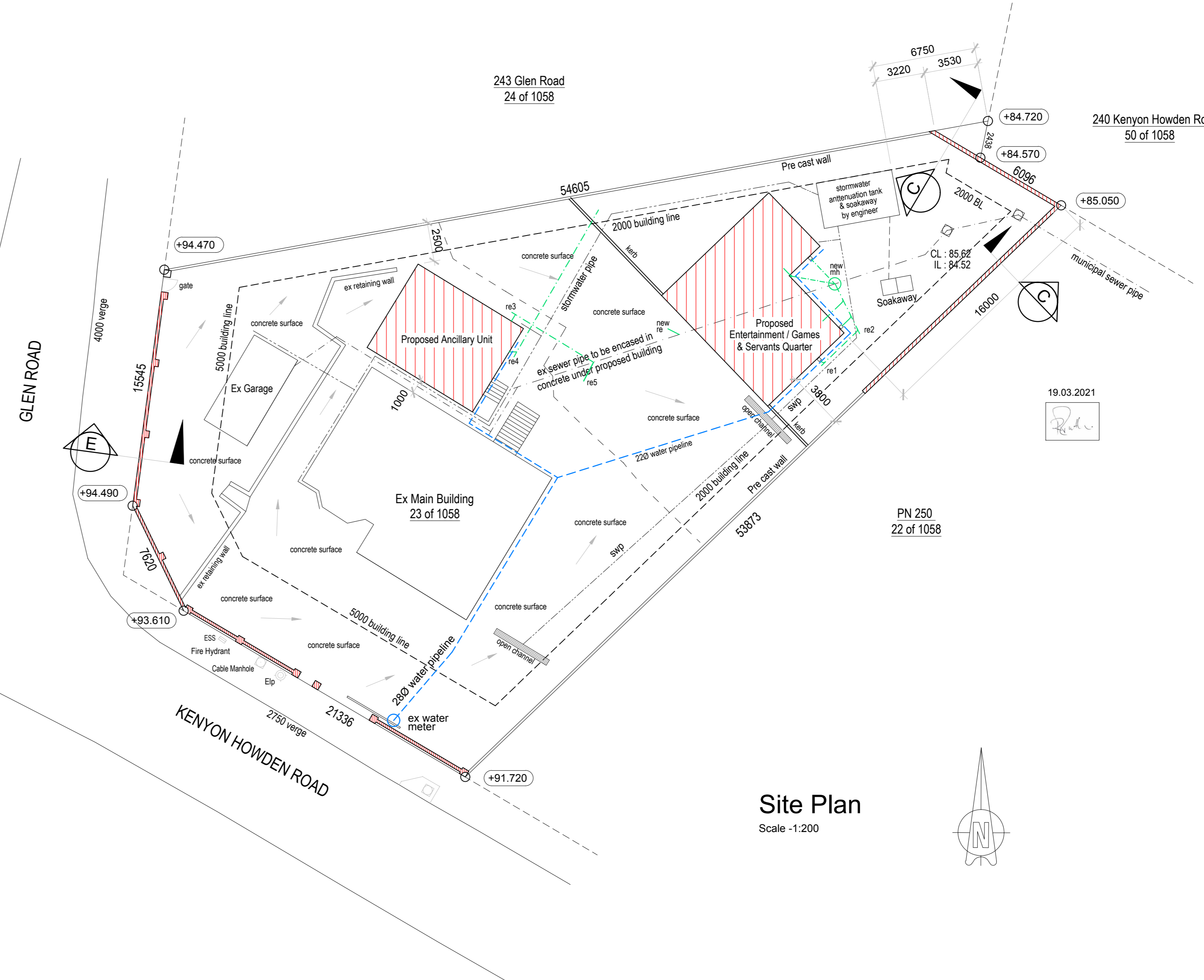


Ground Storey Plan: Entertainment / Games & Servant's Quarter
Scale -1:100



Ground Storey Plan: Ancillary Unit
Scale -1:100

Roof pitch at 17.5°. Concrete roof tiles to owner's choice.
All walls to be plastered and painted with 3 coats of pva paint of owner's choice.
All window frames to be powder coated aluminium with glazing fixed and supplied by AAAMSA registered specialist.
Colour to owner's choice.
All RC columns and foundations to structural Engineers design and supervision.
75 dia. aluminium rainwater downpipes.
All gutters to be aluminium.



Site Plan
Scale -1:200

Schedule Of Areas	Sqm
Site Area	1404.00
Permissible coverage (50 %)	702.00
Coverage	
Existing	140.36
Proposed	133.80
Total Coverage	274.16
Floor Areas	
Existing Dwelling	121.71
Ex. garage	18.65
Existing Total	140.36
Proposed ancillary unit	51.20
Proposed entertainment / servant's quarter	82.60
Proposed Total	133.80

A Roof
Roof Pitch @ 17.5 degrees. Concrete roof tiles forest green in colour on 38x38 battens on 250 micron 'Gumpies Daksaal' waterproofing membrane on gangnail trusses by SPECIALIST. Tied down 12 brick courses or 4 block courses, as applicable, with galvanised hoop iron ties on 114x38 wall plate. Provide 200x38 fascia & barge boards with pvc rainwater goods. 10mm thick Rhino board ceiling to be fixed to battens at 400 centres each way.

B Walls
All walls to be constructed with 14 MPa load bearing Coromax 90 clay masonry CMU Y reinforced with brickface every 2 courses and at sill & wall plate levels. Provide 2 airbricks to external walls of all rooms.

C Floors
100 thick rc surfaced BRC mesh reinforced on 'Hyperlastic' 250 micron waterproofing membrane on well compacted soil positioned with 2 % Pentachlorophenol solution to NBR. All foundations to be taken down to a minimum depth of 700 mm below ngl. Top of surfaced to be 170 mm minimum above surrounding fgl.

D Retaining and Boundary Walls
All retaining walls to be built in strict accordance with ENGINEERS details. Provide 500 micron 'Hyperlastic' vertical waterproofing membrane behind all bitumen painted internal retaining walls. Foundations not to encroach boundaries.

E Drainage
All existing drainage fittings to be replaced.
All boundary beams to be exposed & flagged before commencing construction.
All sewer pipes to be 110 diameter. Provide anchor blocks where gradients exceeds 1:5. 2m to be 100 dia. Waste pipes to be 50 dia. Stormwater pipes to be 110 dia. Provide let's to all bends & junctions. All work to comply with NBR.

F General
Figured dimensions to be used instead of scaling.
All boundary beams to be exposed & flagged before commencing construction.
The CONTRACTOR is to check all dimensions & levels before commencing any bulk or trench excavation or building works. Discrepancies are to be reported to the ARCHITECT immediately.

The CONTRACTOR is to confirm entrance & floor levels physically on site with local authority inspector & ensure that driveway gradient & garage floor levels are correct before commencing work. All foundations are to be taken down to virgin ground. Where local authority or NBR require more stringent requirements than is shown on this drawing they are to be complied with after obtaining consent from the owner or notify the AUTHOR immediately.
All NBR codes of building practice & SANS standards are to be complied with where applicable.
All rc slabs, beams, columns & foundations, etc. are to be constructed in strict accordance with the ENGINEERS details under his supervision.
No construction is to commence prior to approval
The contractor is to inspect the official LOCAL AUTHORITY approved drawing for any amendments or imposed conditions of approval prior to commencing construction.
The contractor is to carry out regular checks on site during construction to ensure conditions of municipal relations and NRS approval are always met.
All conditions of variances and discrepancies are to be reported to the ARCHITECT immediately.

Project
Proposed Ancillary Unit, Servants Quarter, Entertainment Room & Boundary Walls at

Cad Description
Portion 23 of Erf 1058 Seaview

Client
PILMO INVESTMENTS (PTY) LTD
256 Kenyon Howden Road
Montclair

Signature P.O.A Date 3.09.2020

Drawn
EAC DESIGN STUDIO
Architectural Consultants
P/ArchTech. Reg No. 10075

8 Garfield Road Tel: 031-401 4212
Silverglen Cell: 082-213 7892
4092
Signature Date 3.09.2020

Scale: 1:100 Designed: Ravi R

Drawing Number
A0/2020/103/01