

APPROVED: Ms. J SUBBAN
 EXECUTIVE DIRECTOR DEVELOPMENT
 EXECUTIVE PLANNING UNIT
 21 OCT 1999
 DATE: 1999 PER [Signature]

SHOULD WORK NOT HAVE COMMENCED THIS APPROVAL WILL EXPIRE ON ITS FIRST ANNIVERSARY DATE.

LAND USE MANAGEMENT
 CONSISTENT USE AUTHORITY
 GRANTED
 12 OCT 1999
 Signature: [Signature]
 Checked

It is noted that this plan has been approved on the basis of information thereon.

ENGINEERS DETAIL REQUIRED
 ROOF STRUCTURE TO BE TO "EMPIRICAL RULES" OR TO NATIONAL DESIGN COMPLYING WITH "DEEMED TO SATISFY RULE 88.4"

ELECTRICITY SERVICES
 Any person installing or maintaining electrical apparatus in accordance with this plan is required to obtain a permit from the Director of Electricity Services.
 The validity of the permit is subject to the conditions of the permit.
 For further information regarding the Electricity Act, please contact the Director of Electricity Services.

DEVIATION TO APPROVED PLAN
 No. 0340-06-97-4

[Signature]

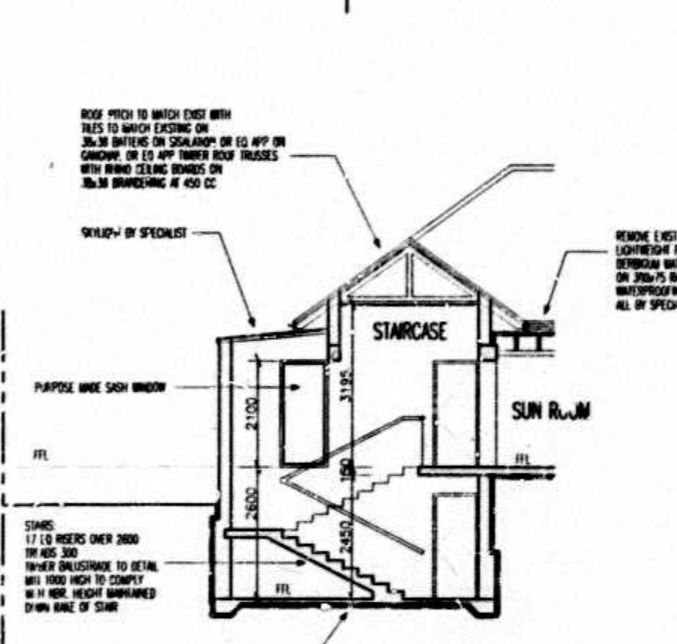
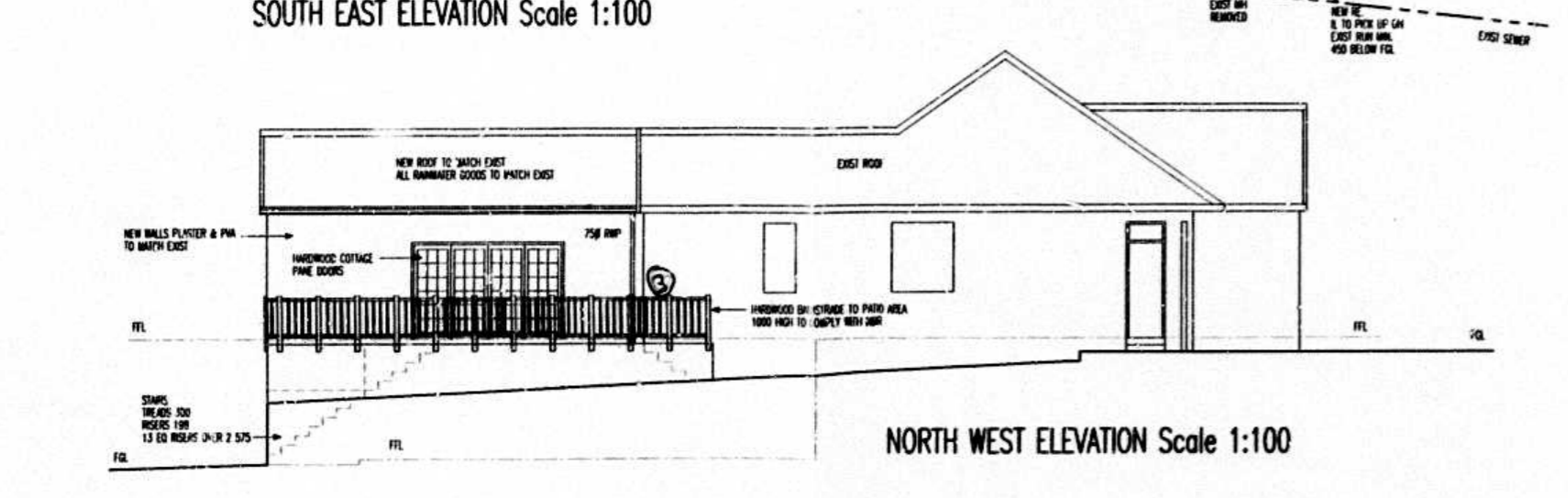
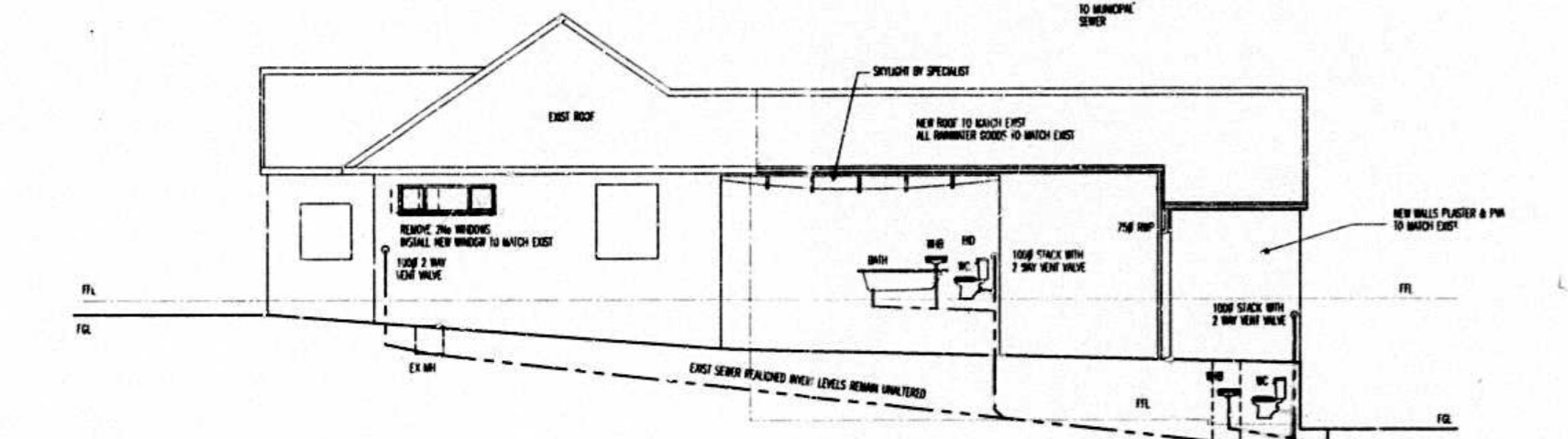
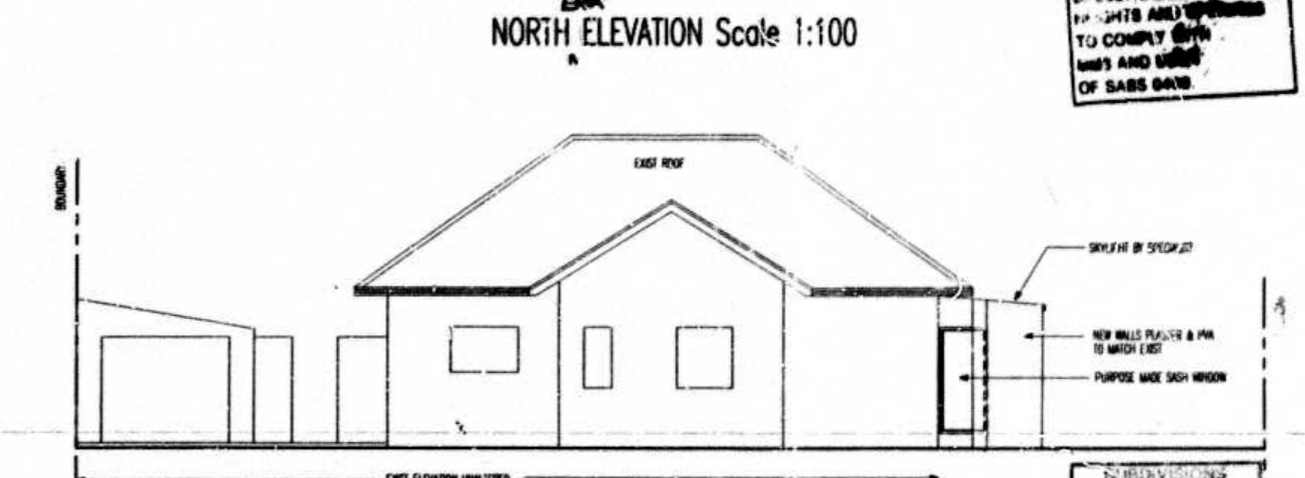
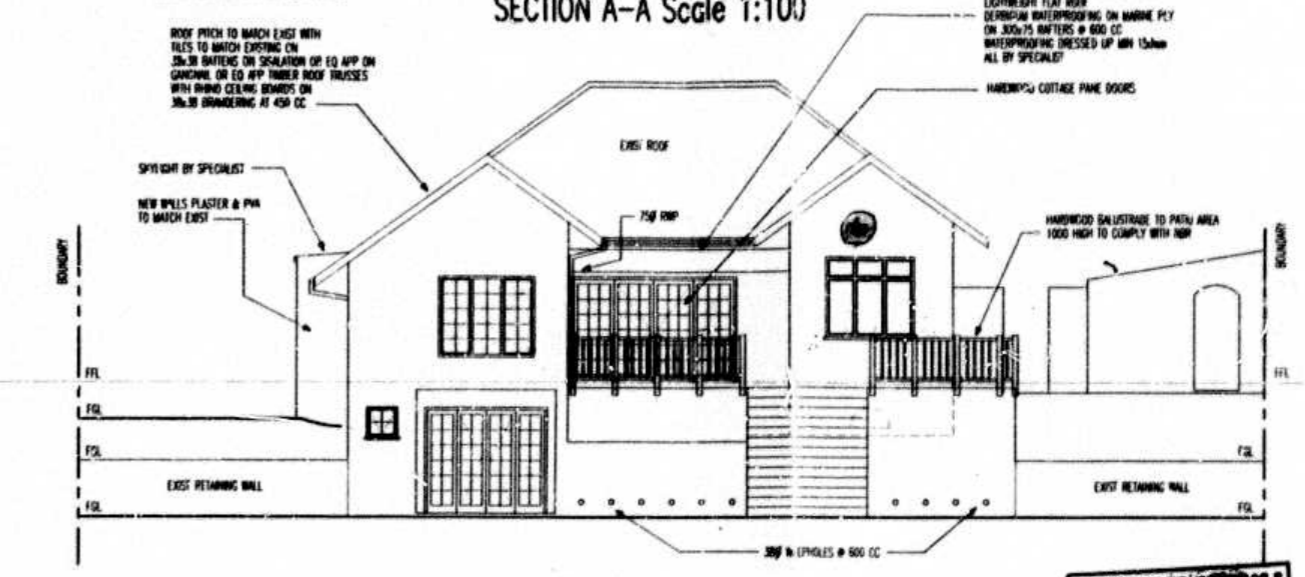
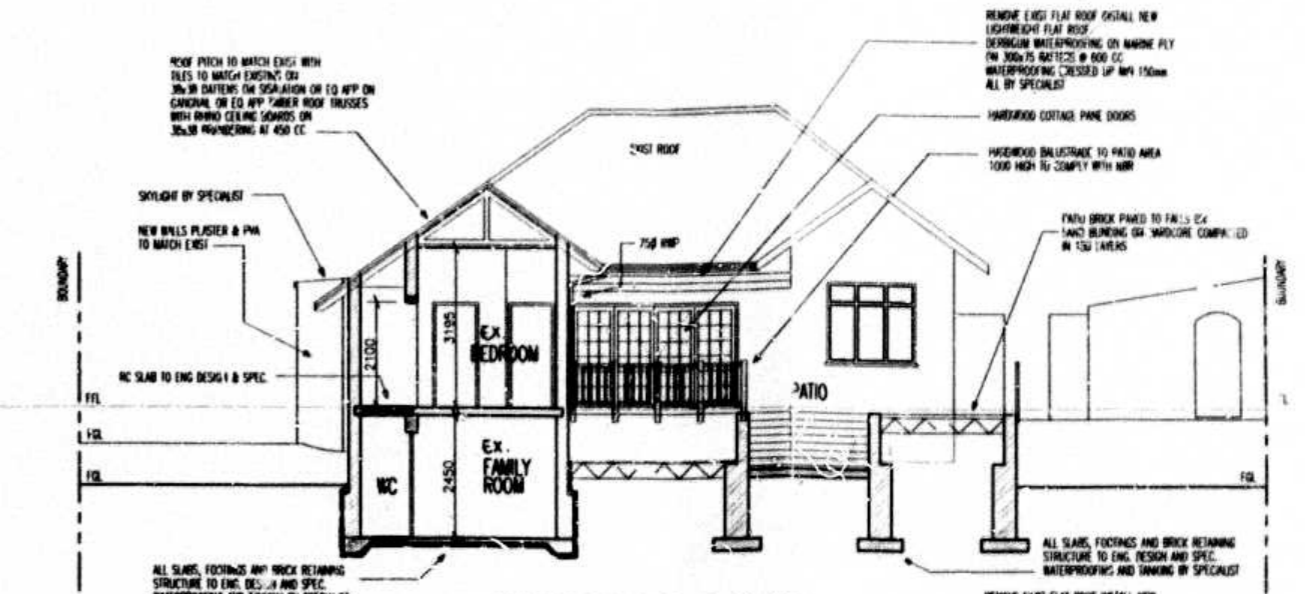
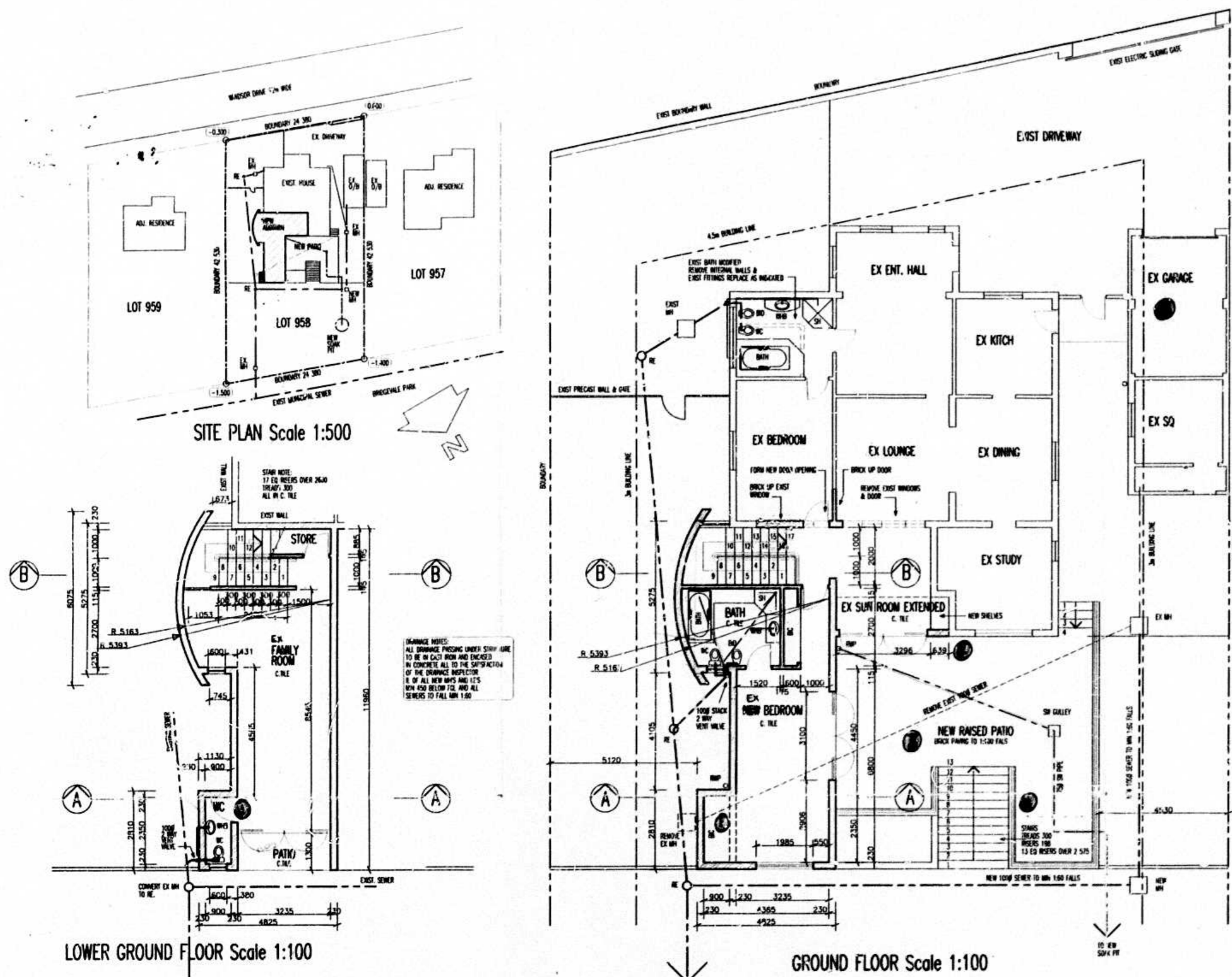
Mark Boothway
 Architects
 10 Toppa Avenue, Durban
 Durban, 4001
 Telephone: (031) 201 8444
 e-mail: mark@markboothway.co.za

PROJECT NAME & CLIENT INFORMATION
 AS BUILT DRAWING
 HOUSE ALTERATIONS AND ADDITIONS FOR DANIEL PLANAGAN
 SITE DESCRIPTION
 513 70 OF LOT 958 DURBAN NORTH
 25 WINDSOR DRIVE DURBAN NORTH

DRAWING DESCRIPTION
 PLANS SECTIONS AND ELEVATIONS

SECTION DRAWING

SCALE	DATE	BY	REVISION
1/100	19/08/99	MB	
PROJECT NO. - DRAWING NUMBER			
9701A/01			



INCORPORATING APPROVED PLAN AS BUILT
 29/10/97
 5/11/1999
 [Signature]

BUILT AREA INFO:

EXISTING HOUSE	128 sqm
EXISTING O/B	33 sqm
ADDED	138 sqm
TOTAL	269 sqm
SITE AREA	1000 sqm
COVERAGE ALLOWABLE	400 sqm (40%)
COVERAGE AS BUILT	214 sqm (21.4%)

- LIST OF DEVIATIONS:
1. NEW TOILET COMPARTMENT ADDED TO FAMILY BATH AND EXTENDED UP TO BEDROOM AS A CLOSET.
 2. THE SUNROOM ON THE GROUND FLOOR WAS BEING EXTENDED UP BY 600 MM.
 3. A CONCRETE PATIO HAS BEEN ADDED IN LIEU OF A TIMBER SUNSCREEN.
 4. THE STAIRWAY HAS BEEN REPERFORMED.
 5. THE EXISTING GARAGE HAS NOT BEEN EXTENDED TO A DOUBLE GARAGE.
 6. THE EXISTING WINDOW ON THE PATIO WAS NOT BEING REPLACED WITH HARDWOOD COTTAGE PANE DOORS.