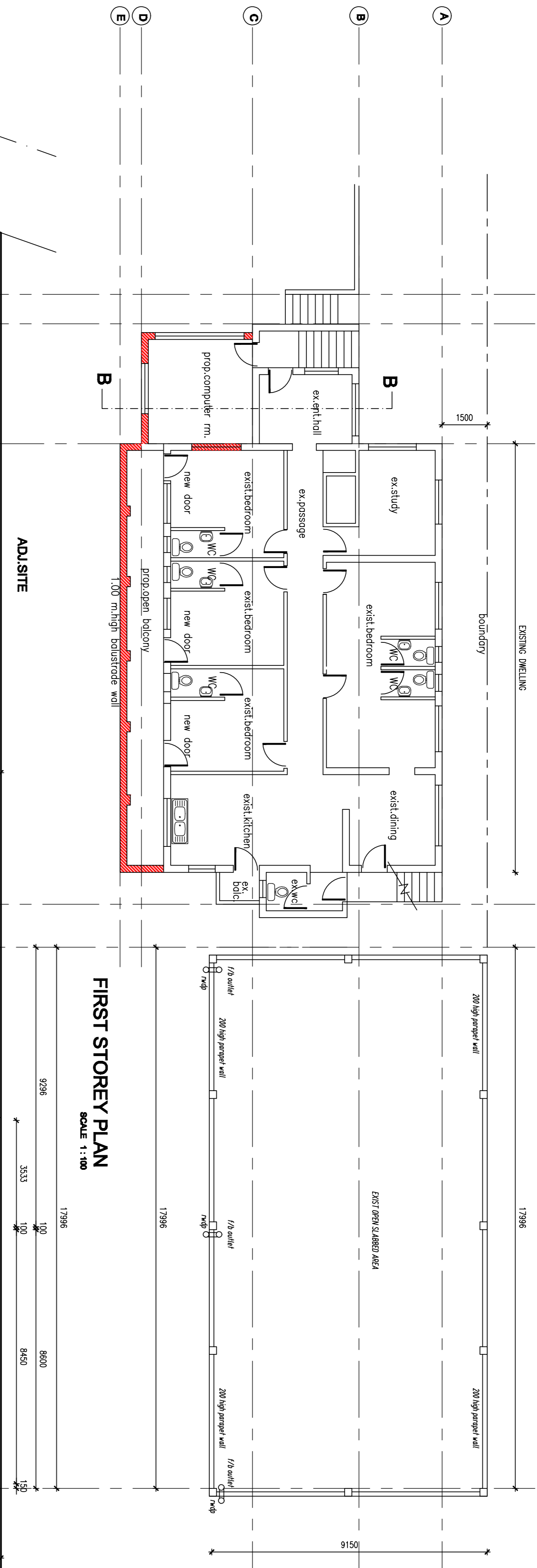
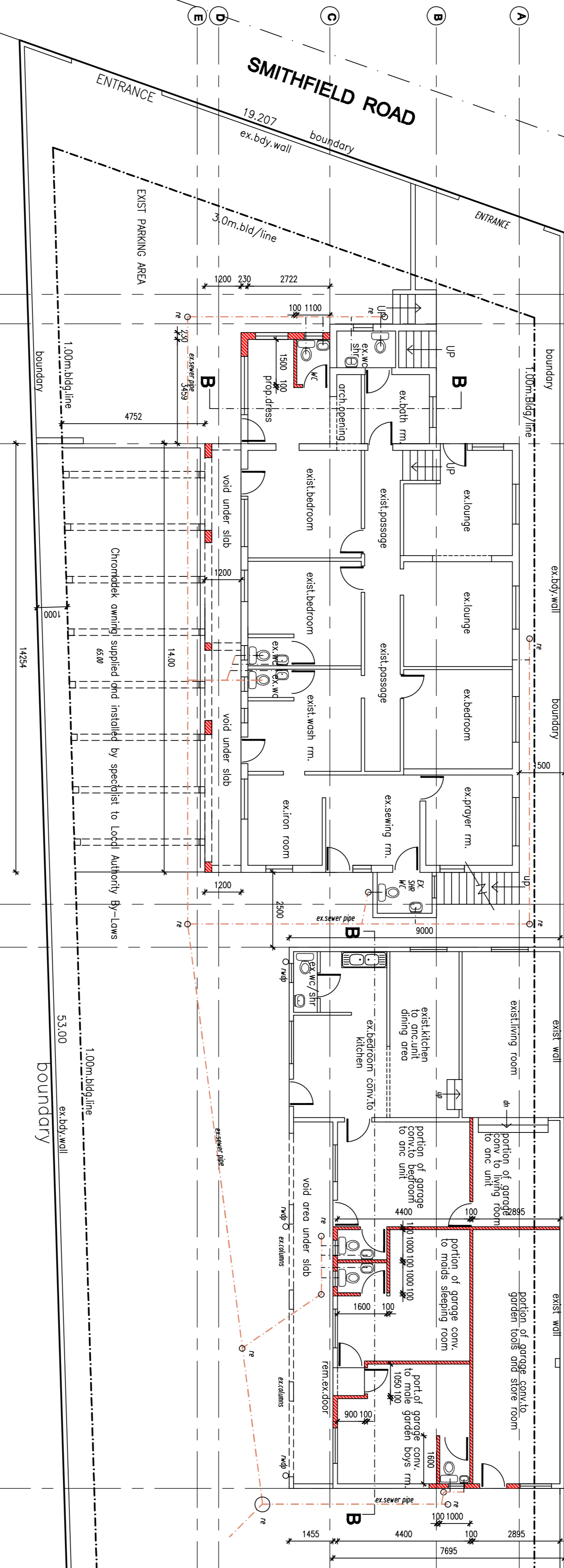


- A. ROOF:-**
1. Double Roman roof tiles on 38x38 battens on SABS approved PVC underlay on 114x35 SA pine trusses.
 2. External coverings to be treated with carbolineum.
 3. All rainwater goods, fascias and bargeboards to be galvanneal, aluminium or PVC-board and painted with covered cornices.
 4. Reinforced concrete roof to professional engineer's manufacturers recommendations.
 5. Reinforced concrete roof to professional engineer's manufacturers recommendations.
 6. 20mm of white gravel.
- B. WALLS:-**
1. Two courses of brickwork to be reinforced in with brick-below window level and below window sill level.
 2. Unplastered external walls to be bagged and blurren.
 3. All brickwork below ground level to be bricks recommended for the purpose by the manufacturer.
 4. Coloured concrete to be laid on all 250 cavity walls.
 5. Gulle 'brickgrip' DPC's to be provided over all slabs under all eaves, parapets and elsewhere as required by the local authority and in accordance with SABS.
 6. Galvanneal steel coil outwards, lapped and soldered.
 7. External walls of all habitable rooms.
 8. Joints in roadbrick to be pointed square 'raked' un-less otherwise specified on drawings.
- C. DRAINAGE:-**
1. The contractor is required to ensure that the local authority's drainage system is not overloaded.
 2. The contractor is responsible for ensuring that storm-water damage to the work in progress or the neighbouring properties does not occur during construction.
 3. All sanitary fittings to be trapped and/or vented to local authority requirements.
 4. All traps and junctions in drains to be provided with adequate access panels to be fitted in all ducts over inspection eyes.

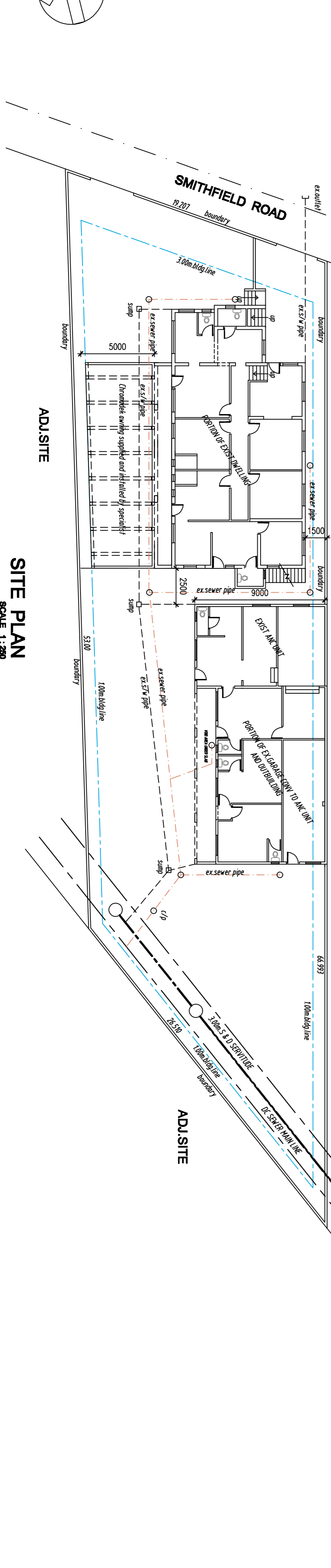
FIRST STOREY PLAN
SCALE 1:100



GROUND STOREY PLAN
SCALE 1:100



SITE PLAN
SCALE 1:200



- M. GENERAL:-**
1. This drawing is to be read in conjunction with the engineer's drawings, and Geotechnical report & Glazing Schedule.
 2. The contractor is to ensure that the design is in accordance with the relevant codes of practice.
 3. The contractor is to ensure that the design is in accordance with the relevant codes of practice.
 4. The contractor is to ensure that the design is in accordance with the relevant codes of practice.
 5. All levels are approximate.
- N. NOTES TO OWNER:-**
1. The attention to the owner is drawn to the fact that changes to the plan and/or specifications after official approval are likely to invalidate that approval for any deviations done after official approval.
- K. SITING AND EXCAVATIONS:-**
1. Contractor is to check all dimensions and levels before commencing work and report any discrepancies to drawing service.
 2. Floor and entrance levels physically on site with local authority inspector before commencing work.
 3. All foundations to be taken to hard, virgin ground. No back filling over excavated areas will be permitted. Foundation depths to be determined on site.

- L. LOCAL AUTHORITY:-**
1. The owner is responsible for all local authority connections to services; governmental regulations require more stringent specifications than shown herein, they are to be followed with prior consent of the owner.
 2. The contractor is to ensure that the design is in accordance with the relevant codes of practice.
 3. The contractor is to ensure that the design is in accordance with the relevant codes of practice.
 4. The contractor is to ensure that the design is in accordance with the relevant codes of practice.
 5. All levels are approximate.
- J. GLAZING:-**
1. All glazing is to be in accordance with NBR 0400.
 2. Glazing to bedrooms and WCs to be in obscure glass.
- I. SUSPENDED FLOORS AND R/CONCRETE:-**
1. To be built strictly in accordance with professional structural engineer's details under his supervision.
 2. Finish to be plastered unless otherwise noted.
- H. SURFACE BEDS:-**
1. Surface to be 100mm concrete of min. not weaker than 1:3:6 by volume, reinforced with BRC mesh at 300 centres both directions or surface beds to be laid on Gundle UFS green membrane on ground prepared by specialist to SABS requirements.
- D. SUSPENDED FLOORS AND R/CONCRETE:-**
1. To be built strictly in accordance with professional structural engineer's details under his supervision.
 2. Finish to be plastered unless otherwise noted.

SCHEDULE OF AREAS

| Area | Area (sq.m) |
|------------------------------|-------------|
| SITE AREA (Cov. perm. < 50%) | 1084 sq.m |
| EXISTING FAR | 412.00 |
| EXISTING COVERAGE | 284.00 |
| PROP FAR | 24.80 |
| PROP COVERAGE | 87.35 |
| TOTAL FAR | 438.80 |
| TOTAL COVERAGE | 371.35 |

PROP ALTS./ADDS./AMING & ANC UNIT TO DWG. AT 287 SMITHFIELD ROAD - SITUATE ON LOT 288 OF KENVILLE FOR SDOOKEN

P.S. DESIGN STUDIO
ARCHITECTURAL & TOWNPLANNING CONSULTANT
Scapp Reg.-Pr. Arch. Tech.
MITAT (S.A)
13 PLUMWOOD PLACE - WOODVIEW - DURBAN-4068
TEL/FAX: (031) 5059943 CELL: 082 0713597
EMAIL: PS@PSCH2010@gmail.com

AMAFA PERMIT APPLICATION
DRAWING TITLE: CAD REF:
SCALE: 1:100
DATE: Nov. 2022
DESIGNED: PHS
DRAWN: PHS
REV: B-2

