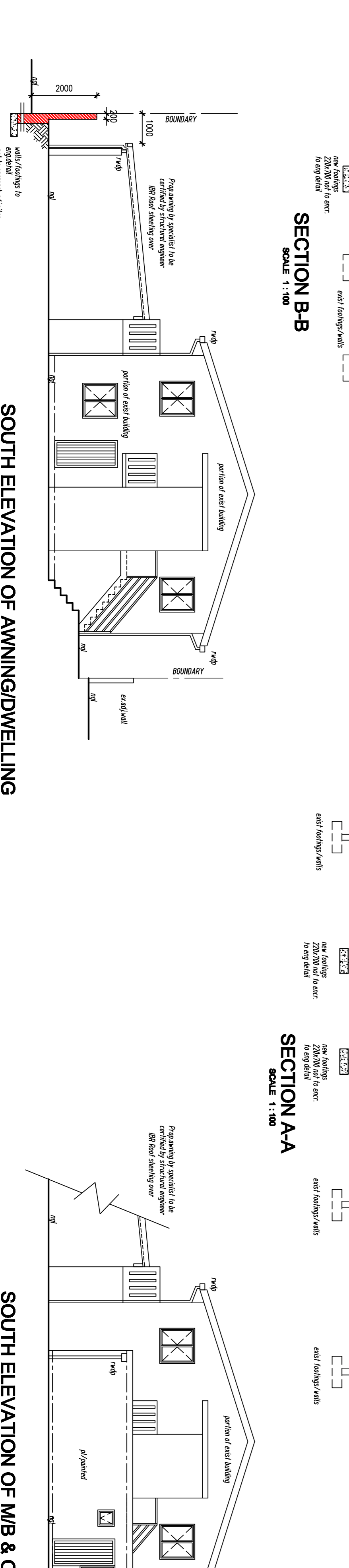
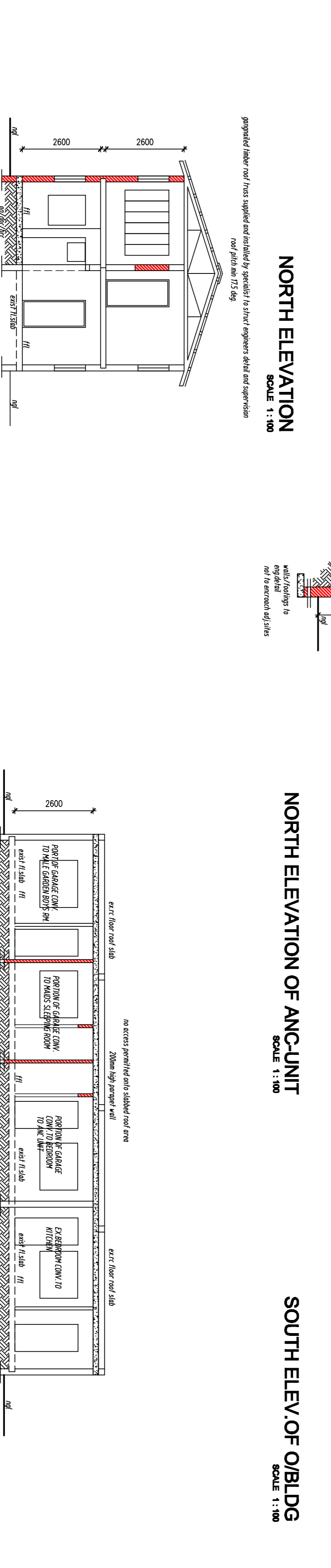
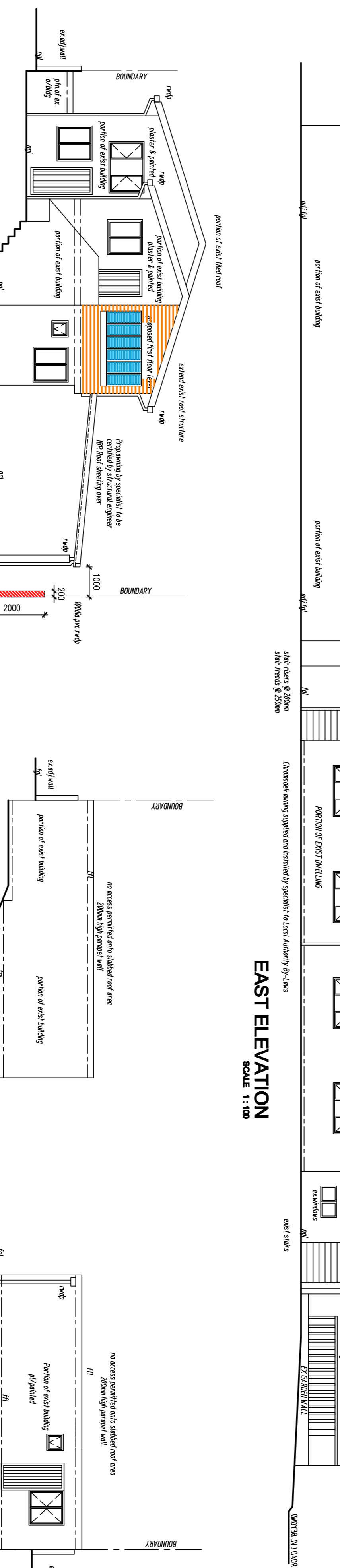
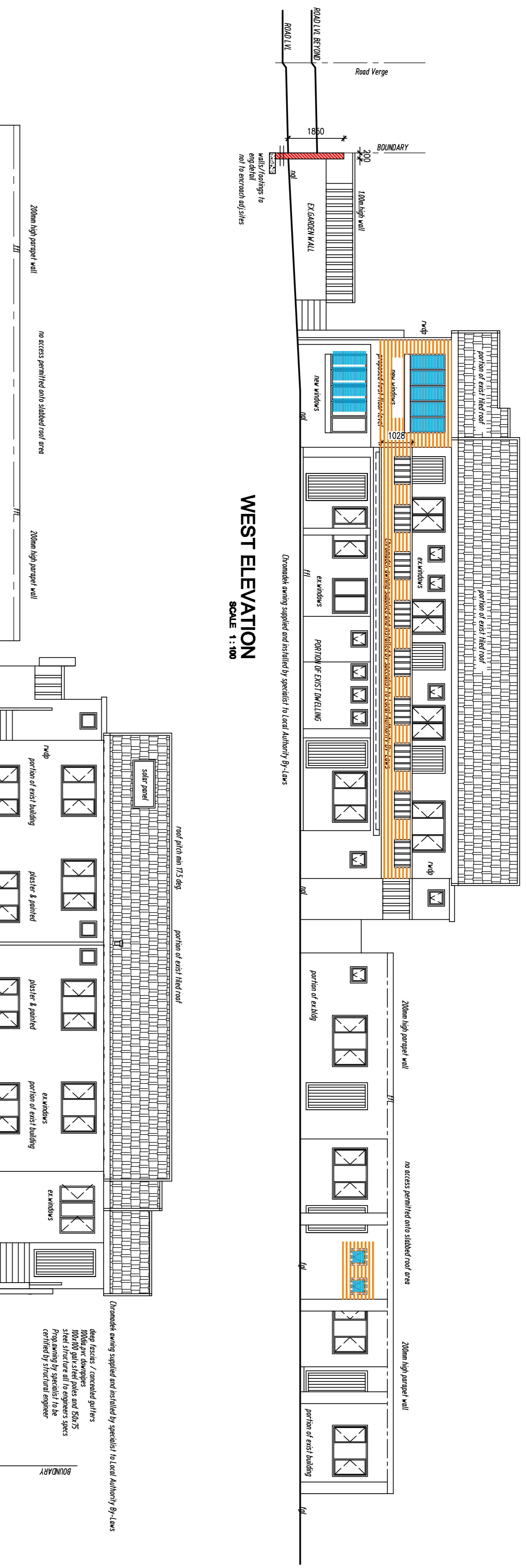


FOR OFFICIAL USE ONLY



- A. ROOF:-**
1. Double Roman roof tiles on 38x38 battens on SABS approved P/C underlay on 14x35 SA pine trusses.
 2. External Coverings to be treated with cadmatium.
 3. All rainwater goods, fascias and bargeboards to be Clebram, aluminium or P/C board and painted with covered cornices.
 4. Clebram, aluminium or P/C board and painted with covered cornices.
 5. Reinforced concrete roof to professional engineer's recommendation. All roof surfaces to be waterproofed in accordance with manufacturers recommendations.
 6. 20mm of white gravel.

- B. WALLS:-**
1. The courses of brickwork to be reinforced in with brick-gable windows, lintels and below window sill level.
 2. Unplastered external walls to be bagged and blumen.
 3. All brickwork below ground level to be bricks recommended for the purpose by the manufacturer.
 4. Coloured concrete to be laid on all 230 cavity walls. 100mm concrete to be laid on every 5th course vertically.
 5. Gulle 'brick'ing' OPC's to be provided over all slabs, under all eaves, parapets and elsewhere as required by the local authority and in accordance with SABS.
 6. Galvanized steel coil outwards, lapped and soldered at joints to be acceptable requirements.
 7. External walls to be finished with plastered with the external walls of all habitable rooms.
 8. Joints in roadbrick to be pointed square 'raked' unless otherwise specified on drawings.

- C. DRAINAGE:-**
1. The contractor is required to ensure that the local authority is notified of all drainage connections before drainage work commences. It is the contractor's responsibility to ensure.
 2. The contractor is responsible for ensuring that storm-water damage to the work in progress or the neighbouring properties does not occur during construction.
 3. All sanitary fittings to be trapped and/or vented to local authority requirements.
 4. All vents and purifiers in drains to be provided with inspection eyes.
 5. Adequate access panels to be fitted in all ducts over inspection eyes.

- D. SURFACE BEDS:-**
1. Surface beds to be 100mm concrete of mix not weaker than 1:3:6 by volume, reinforced with BRC mesh at 300 centres both directions or
 2. Surface beds to be laid on Gundle UFS green membrane on ground prepared by specialist to SABS requirements.

- E. SUSPENDED FLOORS AND R/CONCRETE:-**
1. To be built strictly in accordance with professional structural engineer's details under his supervision.
 2. Finish to be plastered unless otherwise noted.

- F. GLAZING:-**
1. All glazing is to be in accordance with NBR 0400.
 2. Glazing to bedrooms and WCs to be in obscure glass.

- G. LOCAL AUTHORITY:-**
1. The owner is responsible for all local authority connections to services.
 2. The owner is required to obtain all necessary connections to services.
 3. more stringent specifications than shown herein, they are to be followed with prior consent of the owner.
 4. The contractor is to temper the official approval copies taken into account.
 5. All levels are approximate.

- H. GENERAL:-**
1. This drawing is to read in conjunction with the engineer's drawings, and Geotechnical Report & Glazing Schedule.

- I. NOTES TO OWNER:-**
1. The attention to the owner is drawn to the fact that changes to the plan and/or specifications after official approval are likely to invalidate that approval. Any deviations done after official approval.

- J. SITING AND EXCAVATIONS:-**
1. All boundary beacons are to be located & flagged prior to commencing any excavation on site.
 2. Contractor is to check all dimensions and levels before service.
 3. Contractor is to confirm and ensure correctness of authority inspector before commencing work.
 4. If the site is found to contain clay, silt, or ground water or any other suspect soil condition, then all foundations under the engineer's details and shall be supervised.
 5. All foundations are to be taken to hard, virgin ground. No Foundation depths to be determined on site.

SCHEDULE OF AREAS				
SITE AREA	1094 sq.m.			
EXISTING FAR	412.00			
PROP FAR	284.00	add to 04g		
PROP COVERAGE	87.35	Aming & Bldg.		
TOTAL FAR	438.80			
TOTAL COVERAGE	97.35			

AAFA PERMIT APPLICATION				
SCALE	DATE	DESIGNED	DRAWN	DRS
1:100	Sep 2014	Pohn		

P.S. DESIGN STUDIO	
ARCHITECTURAL & TOWNPLANNING CONSULTANT	
Socap Reg.-Pr. Arch. Tech.	
M I A T (S A)	
13, PLUMWOOD PLACE - WOODMEW - DURBAN-4068	TEL/FAX: - (031) 3029945/3029945
EMAIL: - PS@PSM2010@gmail.com	

Description:	
PROP ALTS./ADDS. AMING & ANC. JUNT TO DWG.	
AT 287 SITHFIELD ROAD - SITUATE ON LOT	
288 OF KENWILLE FOR S.DOOKEN	