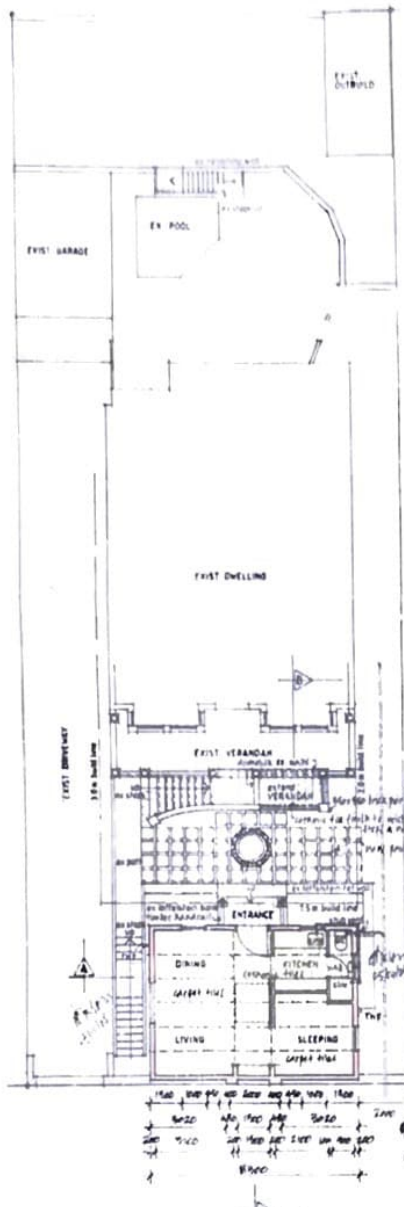


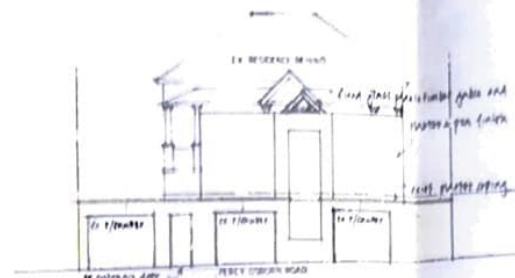
14 3
82 07 05
197



NOTE: CHECK ALL DIMENSIONS AND LEVELS ON SITE BEFORE COMMENCEMENT OF ANY WORK



1/100
UPPER GROUND FLOOR PLAN

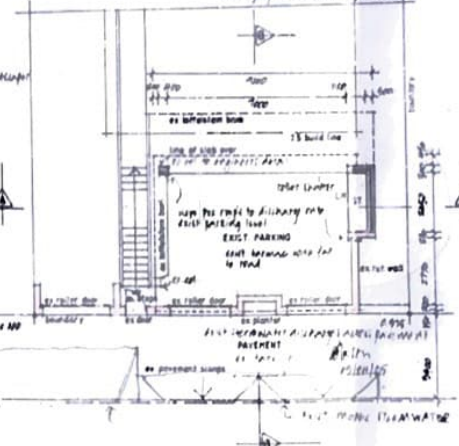


EAST ELEVATION

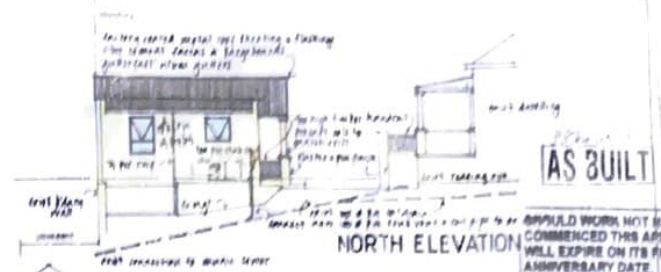


SECTION AA

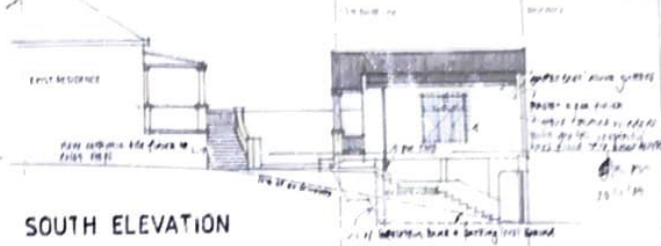
NOTE: So. of 00. north-south line from curb at (corner) = 240
100 of 00. (50) connection from the
to extend to end of the (link) vent to remain
to exist. 200 of 00. building
existing level to 00. (corner) = 240



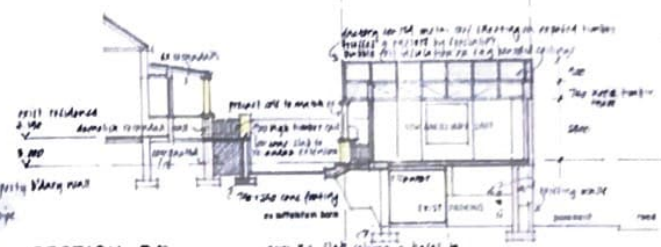
1/100
LOWER GROUND FLOOR PLAN



NORTH ELEVATION



SOUTH ELEVATION



SECTION BB

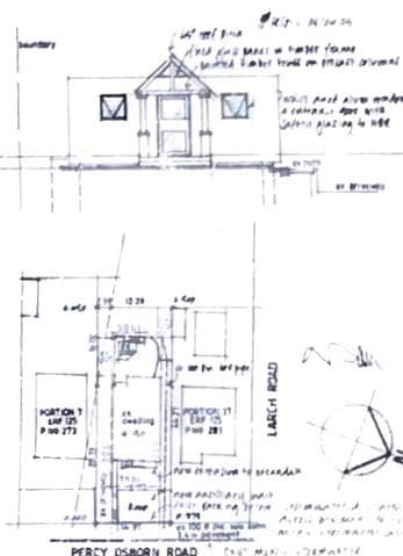


WEST ELEVATION

SCHEDULE OF AREAS SQ M

EXIST DWELLING	121.5
EXIST OUTSIDE DINING	15.0
EXIST BARBERS	24.0
TOTAL EXISTING	160.5
NEW ANEXILLA UNIT	201.1
TOTAL FOOTPRINT	361.6

DATE NO 0301 7092 000 / 001
1:500 SITE PLAN
PORTION 18 OF FRP 125
PORTION 1E OF 1 OF FRP 125



AS BUILT

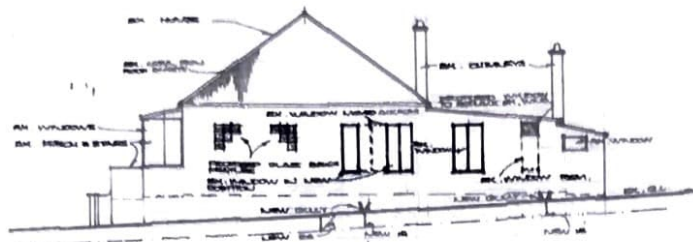
SHOULD WORK NOT HAVE COMMENCED THIS APPROVAL WILL EXPIRE ON ITS FIRST ANNIVERSARY DATE

GRANTED

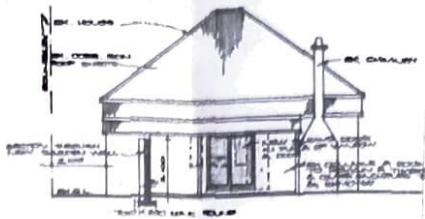
ELECTRICAL SERVICES
275 PERCY OSBORN ROAD
279 PERCY OSBORN ROAD
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283 PERCY OSBORN ROAD
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- 295 PERCY OSBORN ROAD

ALAN J. FALLSON
NEW ZEALAND UNIT
A FALLSON FIRM NZ F.A.
301 PERCY OSBORN ROAD
MILTON (NEW ZEALAND)
TELEPHONE (07) 836 1111
FAX (07) 836 1112
MOBILE (027) 422 1111
EMAIL: alan@fallson.co.nz
www.fallson.co.nz



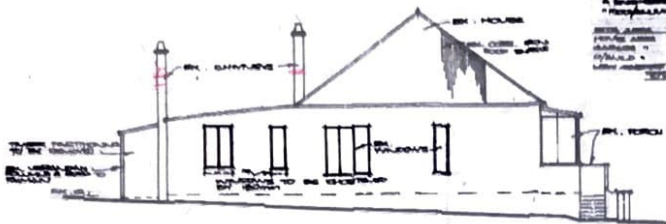
NORTH ELEVATION



WEST ELEVATION



ELEVATION RETAINING WALL

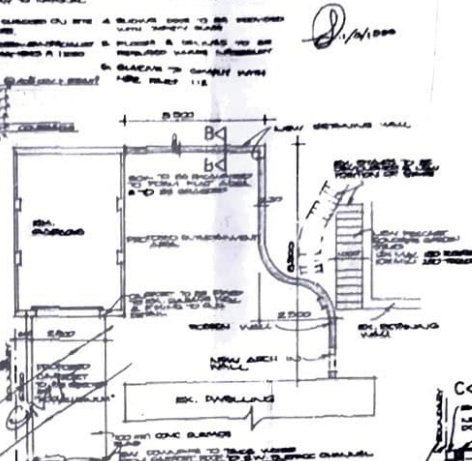


SOUTH ELEVATION

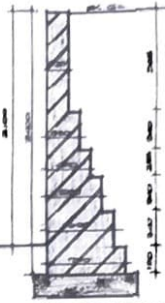
NOTES

1. ALL WORK IS TO BE DONE TO SATISFACTORY STANDARDS.
2. ALL DIMENSIONS TO BE GIVEN ON SITE & SHALL BE TO BE GIVEN WITH TYPICAL WALLS.
3. CHIMNEY TO BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL AUTHORITY.
4. ROOF TO BE COVERED WITH SLATES.
5. GABLES TO BE SHARP POINTED.

SCALE: 1/4" = 1'-0"
 DATE: 1/1/1988



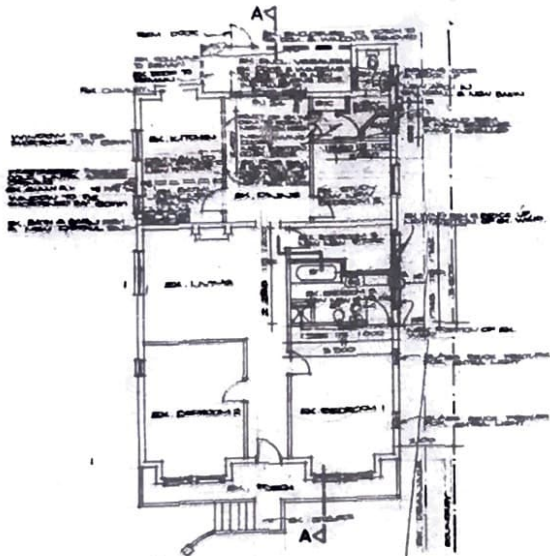
PLAN



SECTION BB 1:25

NOTES

1. FOUNDATION TO BE CONSTRUCTED TO THE FULL DEPTH OF THE FOUNDATION.
2. FOUNDATION TO BE CONSTRUCTED WITH REINFORCED CONCRETE.
3. FOUNDATION TO BE CONSTRUCTED WITH REINFORCED CONCRETE.
4. FOUNDATION TO BE CONSTRUCTED WITH REINFORCED CONCRETE.
5. FOUNDATION TO BE CONSTRUCTED WITH REINFORCED CONCRETE.

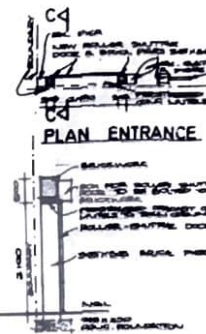


PLAN

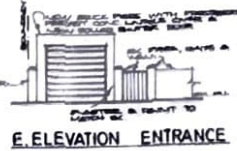


E. ELEVATION CARPORT

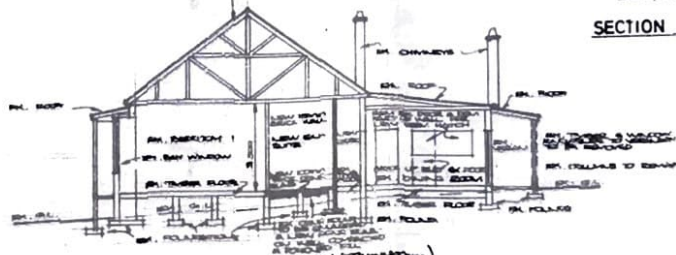
N. ELEVATION CARPORT



PLAN ENTRANCE

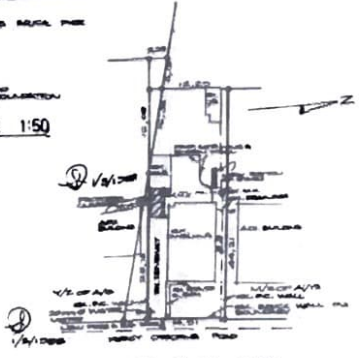


E. ELEVATION ENTRANCE



SECTION AA 1/4"=1'-0"

SECTION C C 1:50



SITE PLAN 1:500

"It should be noted that this plan has been approved in the form of information thereon."

SHEET 1/1 COPY 3
CITY OF DURBAN
 PLAN NUMBER 0270/12/1988
 APPROVED: D. C. MACLEOD
 CITY ENGINEER
 1988. 4. 29
 DATE

AS BUILT
 2/1/89

Any person undertaking building operations in accordance with this plan is required to ascertain from the City Engineer the location of underground cables in the vicinity of the proposed works prior to the commencement thereof.

ENGINEER'S DETAILS OF RETAINING WALL REQUIRED

- As per the provisions of the Code of Practice for Retaining Walls.
- As per the provisions of the Code of Practice for Retaining Walls.
- As per the provisions of the Code of Practice for Retaining Walls.
- As per the provisions of the Code of Practice for Retaining Walls.
- As per the provisions of the Code of Practice for Retaining Walls.

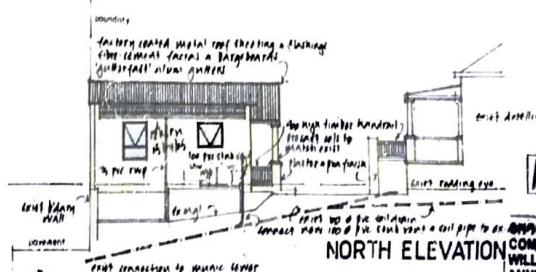
TOWN PLANNING BRANCH
APPROVED
 1988-03-14
 Checked: [Signature]

PROPOSED ADDITION AND ALTERATION TO DWELLING ON N. OF Z OF A/13 OF A TOWNLANDS DURBAN AT 277 PERCY OSBORNE ROAD FOR MR S. SMITH

DATE: 16/1/1988
 SCALE: 1:50 1:25 1:50 1:100
 DRAWN BY: S. J. J.
 CHECKED BY: [Signature]

[Handwritten signature]

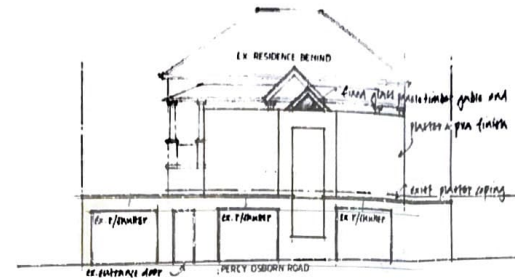
NOTE: CHECK ALL DIMENSIONS AND LEVELS ON SITE BEFORE COMMENCEMENT OF ANY WORK



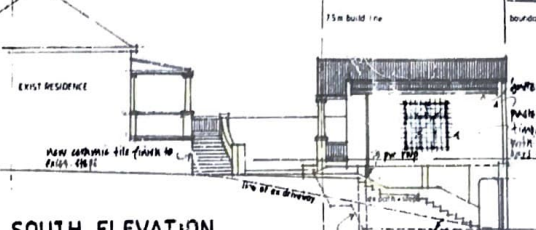
NORTH ELEVATION

AS BUILT

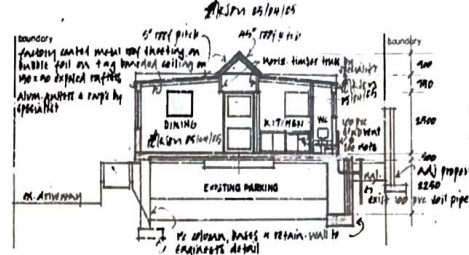
WORK NOT HAVE COMMENCED THIS APPROVAL WILL EXPIRE ON ITS FIRST ANNIVERSARY DATE.



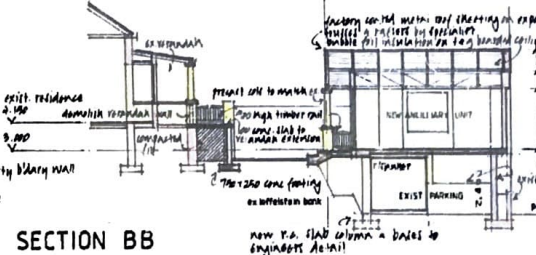
EAST ELEVATION



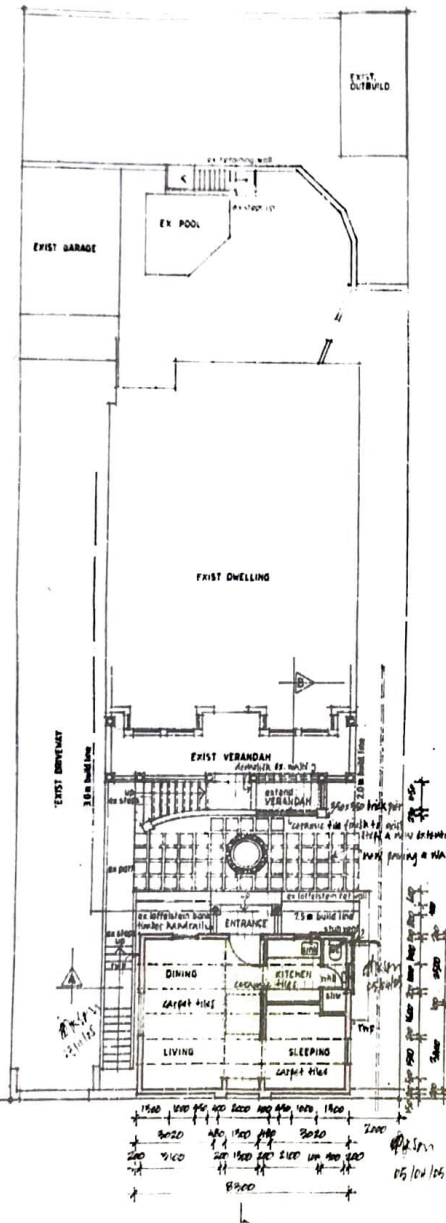
SOUTH ELEVATION



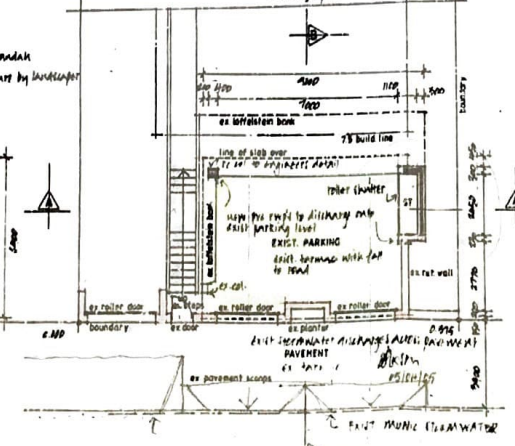
SECTION A-A



SECTION B-B

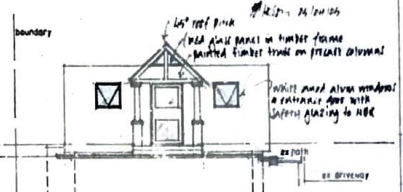


UPPER GROUND FLOOR PLAN



LOWER GROUND FLOOR PLAN

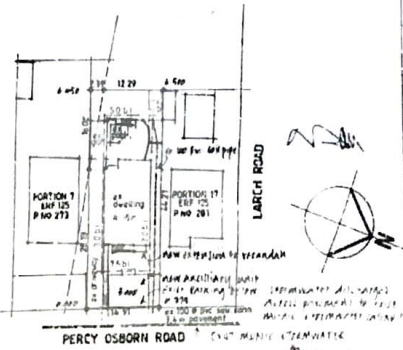
WEST ELEVATION



SCHEDULE OF AREAS

	SQ M
SITE AREA	8814.0
DEVELOPABLE OVERLAND AREA	251.6
EXIST DWELLING	182.5
EXIST OUTBUILDING	15.6
EXIST GARAGE	58.6
TOTAL EXISTING	256.7
NEW ANCELLIA Y UNIT	48.1
TOTAL COVERAGE	304.8

NOTE: NO CHANGE TO EXISTING WATER MAINS
RATE NO. 0301 7092 000 / 001
1:500 SITE PLAN
PORTION 1B OF ERF 125
PORTION 1C OF 1 OF ERF 125



11
3
1117
92/02/05
APPROVED in terms of The National Building Regulations and Building Standards Act 1977
- 4 MAY 2005
This Plan is approved on the basis of the information submitted by the applicant and does not constitute an endorsement.

GRANTED
Signature
Date
1:100

ELECTRICITY SERVICES
A FALKSON DILLARD & CO
777 PERCY OSBORN ROAD
DUBLIN 15
TEL: 00353 1 452 4444
FAX: 00353 1 452 4445

- SIGNED M A FALKSON
M A FALKSON
SIGNED M A FALKSON
275 PERCY OSBORN ROAD
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NEW ANCILLIARY UNIT
A FALKSON DILLARD & CO
777 PERCY OSBORN ROAD
DUBLIN 15
TEL: 00353 1 452 4444
FAX: 00353 1 452 4445
SIGNED M A FALKSON
M A FALKSON
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