

STUDIO 3B

"PROGRESS BY DESIGN"

Est. 2019



AMAFA/HERITAGE KWAZULU NATAL

286 INNES ROAD | AMAFA DEMOLITION SITE DUE DILIGENCE
MORNINGSIDE | KWAZULU-NATAL | SOUTH AFRICA

Locality

Micro Context Regional Location

The suburb is a middle income area of Durban located about 2 kilometres (2,5 Kilometers) inland from the Indian Ocean coast, on the south bank of the Umgeni River. Its neighboring suburbs are Puntans Hill to the west, Essenwood to the south west, Windermere to the south and Stamford Hill to the east.

The Morningside area contains classical examples of large Edwardian and Victorian style homes with tin roofs and wide verandas, including the State President's residence (when at home). Around Florida Road in the suburb's southwest is a nightlife area consisting of shops, restaurants, pubs and bistros. It is the closest residential suburb to the Moses Mabida Stadium (in Stamford Hill), which was completed in 2009 on the grounds of the Kings Park Sports Ground.

Propkey	1131931
Farmallotc	A
Regioncode	FU
Farmtownna	DURBAN
Farmallotn	0085
Erf	659
Portion	1
Rem	
Par	
Docref	SG 2889/1963
Areasg	3831sqm
Strnum	286
Strname	INNES
Strtype	ROAD
Suburb	MORNINGSIDE
District	DURBAN
Splitpar	00
Propertyid	N0FU00850000065900001
Gp	
Status	REGISTERED
Lbltxt	1/659
Suburb	MORNINGSIDE
Suburb Id	389
District	DURBAN

286 Innes Road

Site Due Diligence | Amafa Demolition Application

Morningside | KwaZulu-Natal | South Africa – 286 Innes Road



Locality

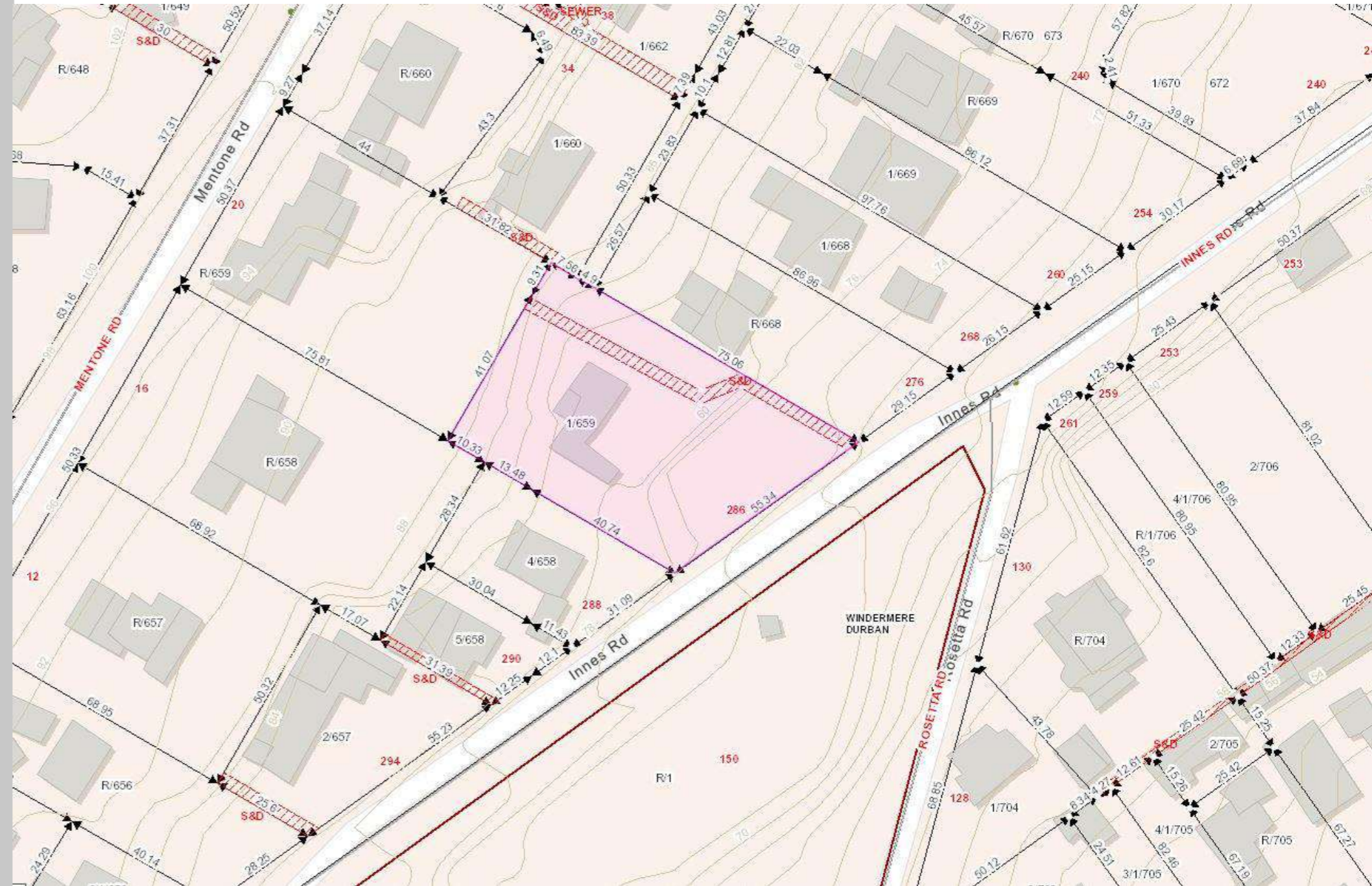
Regional Location

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Morningside | KwaZulu-Natal | South Africa – 286 Innes Road



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286 Innes Road

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Site SG Diagram

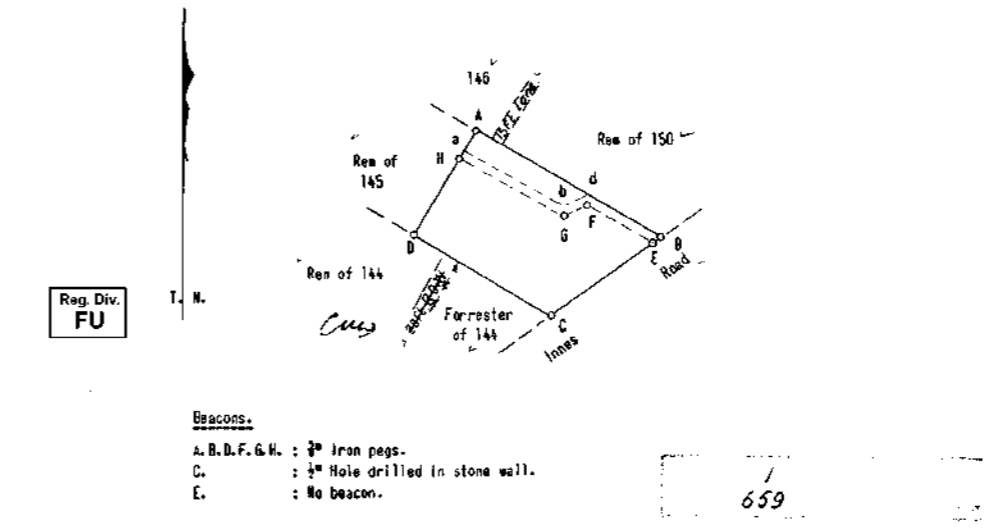
SUB-DIVISIONAL DIAGRAM

System Lo 31⁰ S.G. COPY. S.G.No. 2889/1963

SIDES ENGLISH FEET	ANGLES OF DIRECTION	CO-ORDINATES	
		Y	X
	Constant		+10,820,000.00
AB 287 . 13	300° . 10' . 30"	A - 5264 . 22	+ 8960 . 28
BC 181 . 56	54 . 35 . 20	B - 5512 . 92	+ 8804 . 61
CD 211 . 81	120 . 11 . 00	C - 5364 . 94	+ 8909 . 81
DA 165 . 30	270 . 04 . 50	D - 5181 . 85	+ 8803 . 32
BE 10 . 98	54 . 35 . 20	E - 5503 . 97	+ 8810 . 97
EF 100 . 00	120 . 10 . 30	F - 5417 . 52	+ 8760 . 71
FG 35 . 73	67 . 53 . 10	G - 5384 . 42	+ 8774 . 16
GH 160 . 73	118 . 29 . 20	H - 5243 . 15	+ 8897 . 49
HA 43 . 00	210 . 04 . 50		

Approved
CA Wood
Surveyor General
29. 1. 1964

The figure B.E.F.G.H.a.b.d. represents a Sewer and Drain Servitude 10 ft. wide.



SCALE 1 : 2000

The figure A.B.C.D. represents 41241 Square Feet of land being SUB A OF LOT 145 BLOCK D OF THE TOWN LANDS OF DURBAN NO. 1737 situate in the City of Durban, Province of Natal Surveyed in June and September, 1963, by me *M King* Land Surveyor

This Diagram relates to No. 4931/1964. Registrar of Deeds	The original diagram is S.V. No. 104 Fol. 20 relating to Deed of <i>Transfer</i> No. 359/1963	File No. 1737/1963 Survey Records 722/63 Compilation No. 047.547 Degree Sheet 58 Tracing General Plan Dhr 76
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Morningside | KwaZulu-Natal | South Africa – 286 Innes Road

Zoning Certificate – Special Residential 1200

ZONE: SPECIAL RESIDENTIAL 1200						
<p>SCHEME INTENTION: To provide, preserve, use land or buildings for:</p> <ul style="list-style-type: none"> • Single residential use in a form of a dwelling house and ancillary uses, and caters for multiple unit development and various building typologies. • Protection of the quality and character of residential neighbourhood and the well-being of its residents. • Limiting multiple uses of buildings to minimize adverse impact on the residential environment. • Business that comply with residential amenity such as a Bed and Breakfast Establishment and Home Business at the discretion of the eThekweni Municipality (see Section 1.14 - Exemptions). <p>MAP COLOUR REFERENCE: Yellow with Orange cross hatch MAP REFERENCE:</p>						
PRIMARY		SPECIAL CONSENT		PRECLUDED		
<ul style="list-style-type: none"> • Dwelling House • Multiple Unit Development 		<ul style="list-style-type: none"> • Agriculture Land • Base Telecommunications Transmission Station • Boarding House • Crèche • *Health & Beauty Clinic • Educational Establishment • *Institution • Place of Public Worship • *Retirement Centre • Special Building • Uses authorised in terms of Sub-sections (1.13.3 – 1.13.8) • Any other use authorised in terms of Section 9.4 (Important Buildings and Objects) 		<ul style="list-style-type: none"> • All other uses not indicated in the Primary and Special Consent columns 		
ADDITIONAL CONTROLS – LAND USE						
<p>1. *Health and Beauty Clinic: The principles of Home Business shall apply to the development of a Health and Beauty Clinic.</p> <p>2. *Institution: The minimum Erf size for an Institution shall be 900m².</p> <p>3. *Place of Public Worship: The minimum Erf size for a Place of Worship shall be 900m².</p>						
DEVELOPMENT PARAMETERS						
SPACE ABOUT BUILDINGS		DWELLING UNITS PER HECTARE	MINIMUM SUBDIVISION (m ²)	HEIGHT	COVERAGE	FLOOR AREA RATIO
BUILDING LINE	SIDE AND REAR SPACE	One dwelling house for every 1200m ²	1200	2	40%	N/A
5m	2.0m					

SITE CONTROLS

Site Area – 3831sqm

Coverage – 40%

Height Restriction – 2 Storeys

F.A.R – N/A



Macro Context Analysis

Regional Location

The suburb is a middle income area of Durban located about 2 kilometres (2,5 Kilometers) inland from the Indian Ocean coast, on the south bank of the Umgeni River. Its neighboring suburbs are Puntans Hill to the west, Essenwood to the south west, Windermere to the south and Stamford Hill to the east.

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Morningside | KwaZulu-Natal | South Africa – 286 Innes Road



Urban Context Analysis

Adjacent Site

20 Mentone Road
Morningside, Durban

New Residential Development

Adjacent Site

16 Mentone Road
Morningside, Durban

New Residential Development

286 Innes Road

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Morningside | KwaZulu-Natal | South Africa – Mentone Road



Urban Context Analysis

Adjacent Site

332 Innes Road
Morningside, Durban

Additions and Alterations to Existing

Adjacent Site

288 Innes Road
Morningside, Durban

Additions and Alterations to Existing

286 Innes Road

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Morningside | KwaZulu-Natal | South Africa – Innes Road



Urban Context Analysis

1 Kilometre Radius

173-165 Lambert Road
Morningside, Durban

New Residential Development

1 Kilometre Radius

181 Lambert Road
Morningside, Durban

New Residential Development

286 Innes Road

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Morningside | KwaZulu-Natal | South Africa – Lambert Road



Urban Context Analysis

1 Kilometre Radius

716 – 712 Musgrave Road
Morningside, Durban

Upmarket Residential Development

1 Kilometre Radius

748 Musgrave Road
Morningside, Durban

New Residential Development

286 Innes Road

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Urban Context Analysis

1 Kilometre Radius

275 -269 Montpelier Road
Morningside, Durban

Upmarket Residential Development

1 Kilometre Radius

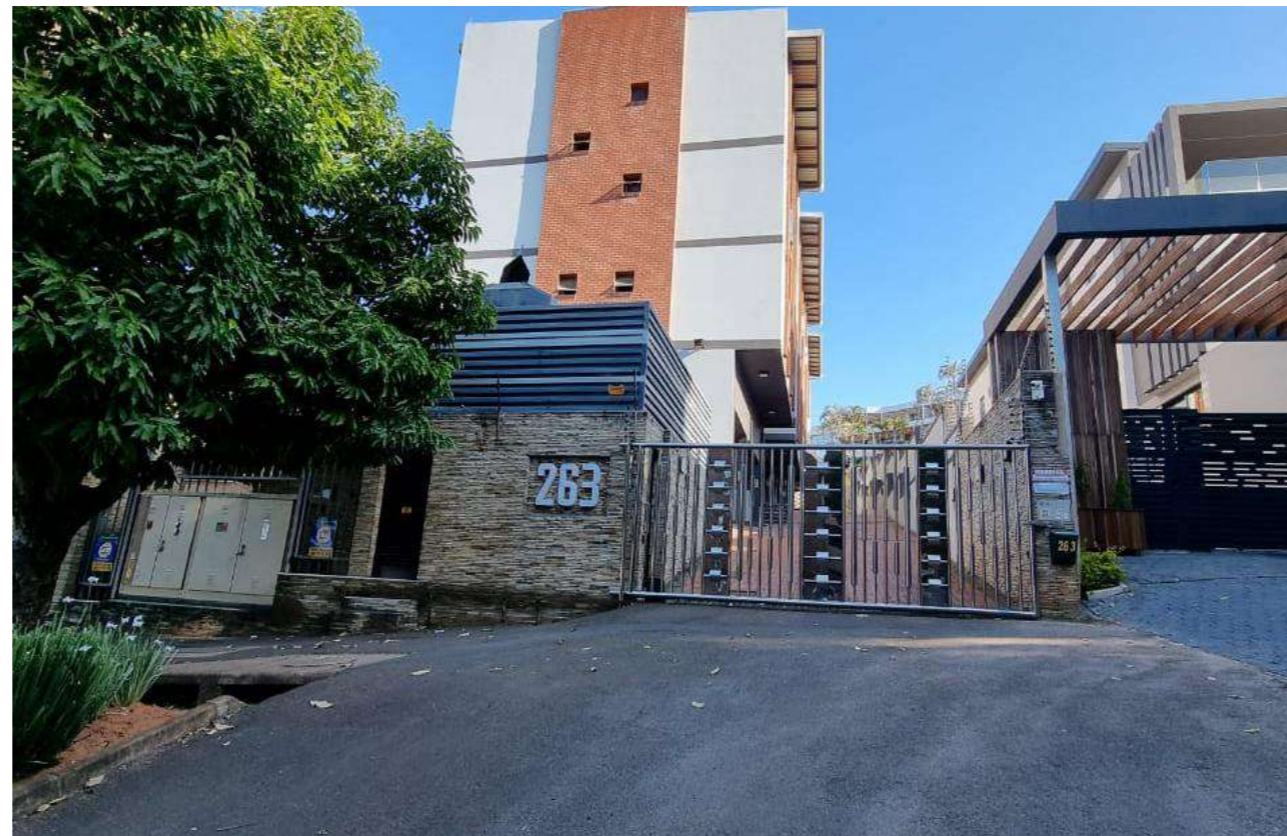
263 Montpelier Road
Morningside, Durban

Upmarket Residential Development

286 Innes Road

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Morningside | KwaZulu-Natal | South Africa – Montpelier Road



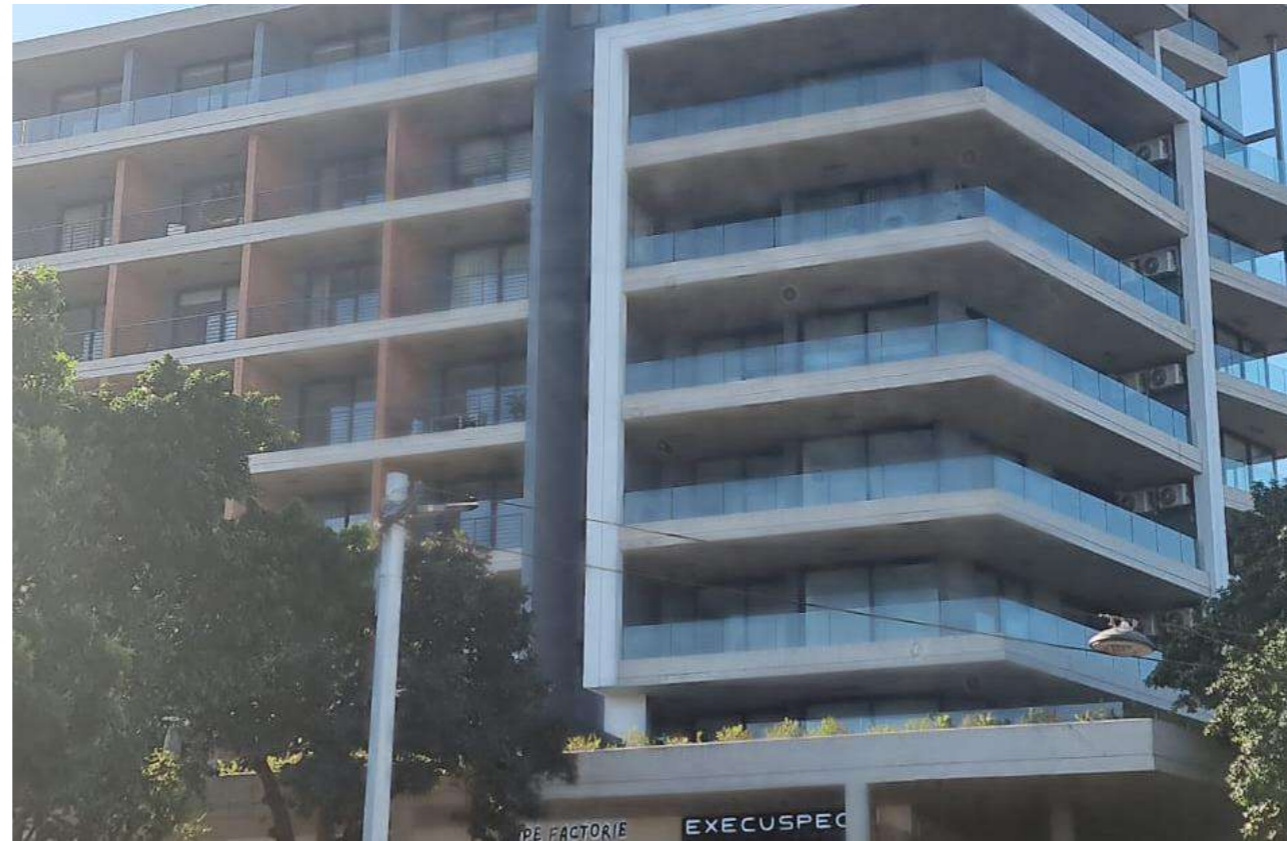
Urban Context Analysis

1 Kilometre Radius

262 Florida Road

Mixed-Use Residential Development

Morningside | KwaZulu-Natal | South Africa – Florida Road













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286 Innes Road
Site Due Diligence | Amafa Demolition Application

Existing House Images

Adjacent site 288 Innes Road

Building works is encroaching the Site boundary



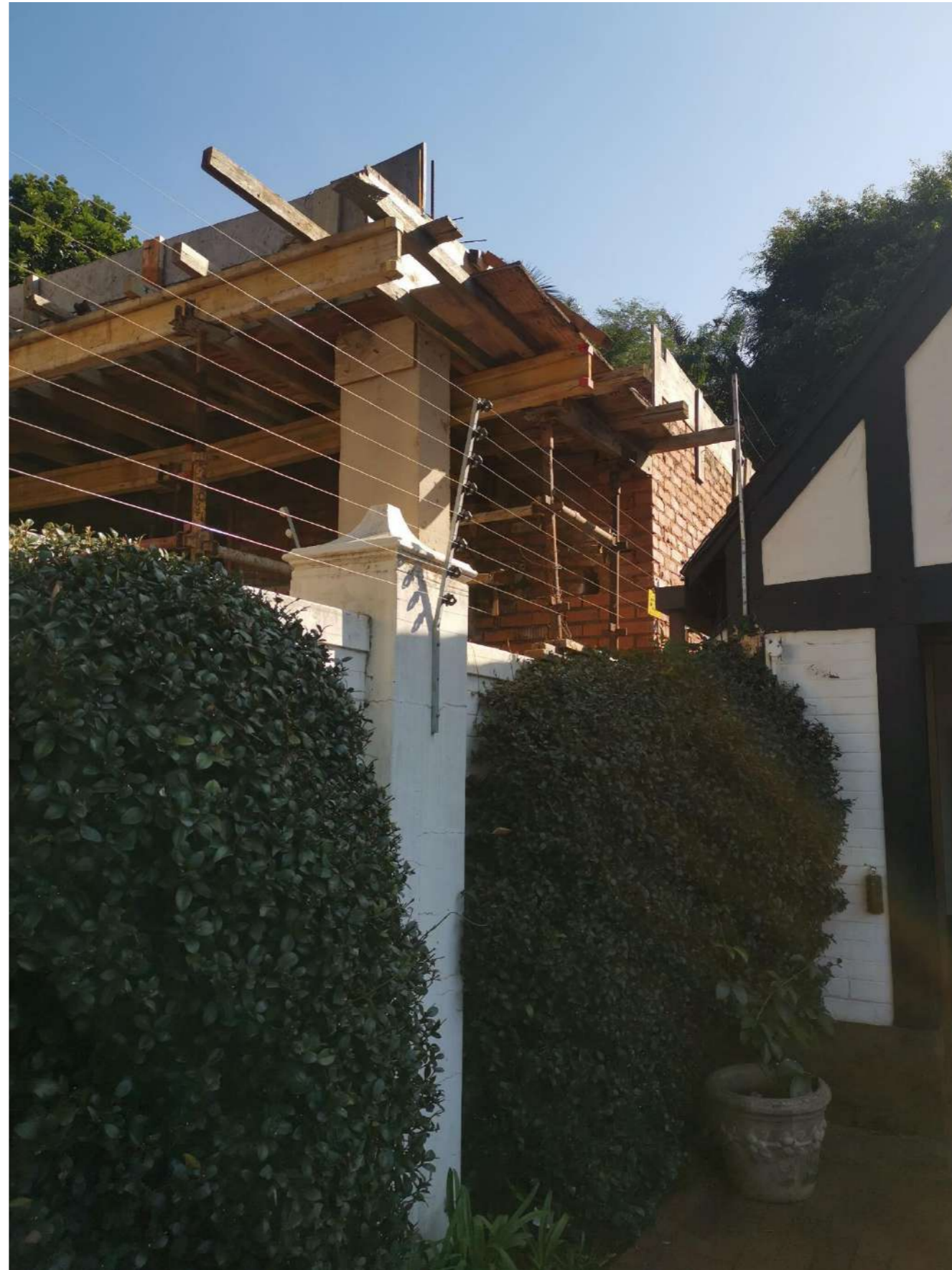
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Existing House Images

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Existing House Images

Adjacent site 16 Mentone Road

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Existing House Images

Adjacent site 20 Mentone Road

Building works is encroaching the Site boundary



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GET IN TOUCH

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