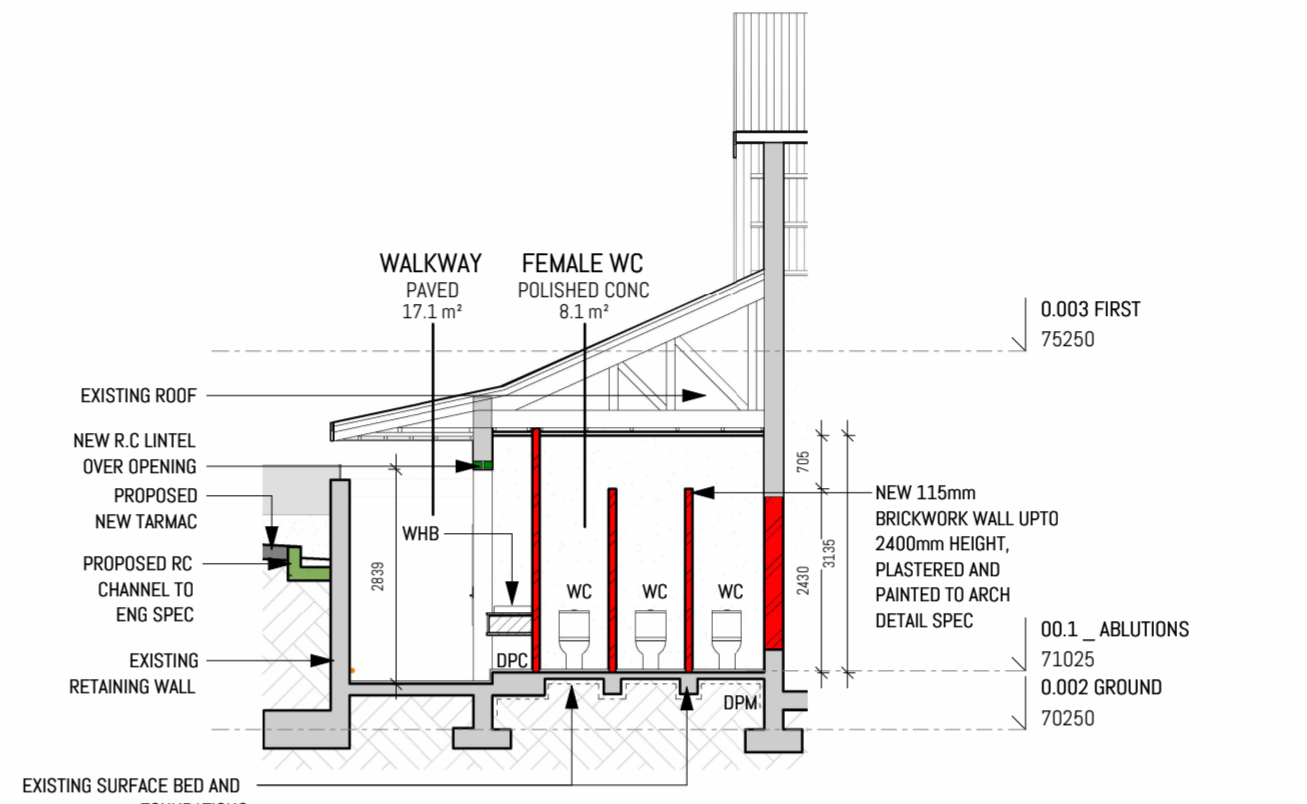


CS_ABLUTIONS_GF - WATER

1:100

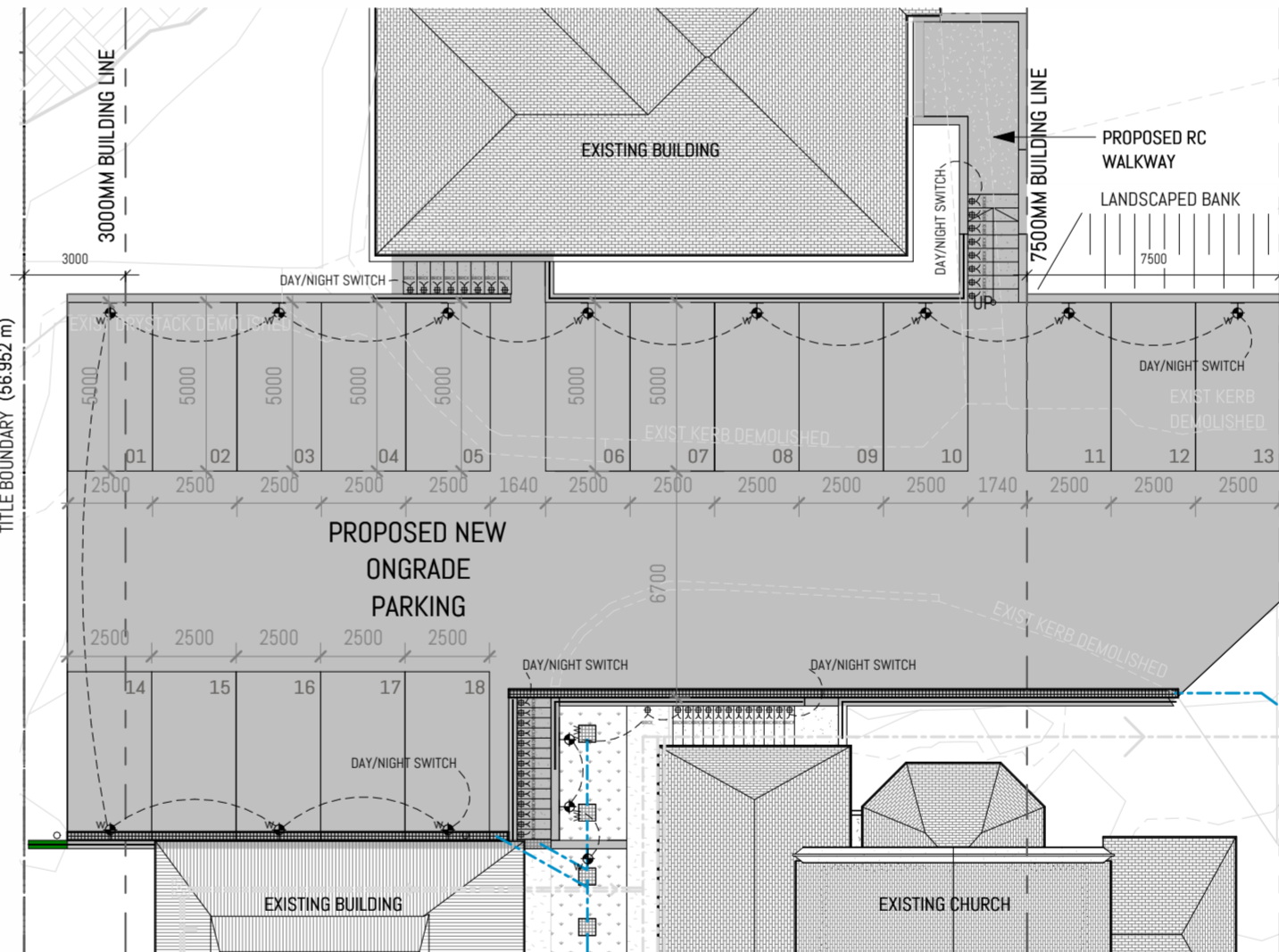
CS_ABLUTIONS_GF - ELEC

1:100



SECTION 01 - ABLUTIONS

1:100



S4_PARKING_LEVEL_ELEC

1:200

Electrical Legend

- Single Switch
- Two way Switch
- Dimmer Switch
- Recessed Downlight
- Ceiling Bulkhead Light
- Pendant
- Internal wall light
- External wall light (waterproof)
- Garden light
- Recessed Brick Light
- New Dbl Plug
- New Waterproof Plug
- Fluorescent dbl light
- Fluorescent Sngl light
- LED Vertical strip Lights
- Solar LED Ground Lights
- Distribution Board
- LED STRIP LT
- LED STRIP LIGHT STAIR

KEYNOTE CODES & DESCRIPTIONS

CATEGORY	PLUMBING - SANITARY - DRAINAGE
CODE	DESCRIPTION
WC	WATER CLOSET - WC 110mm Ø uPVC WP - WALL MOUNTED CISTERN - GEBERIT CONCEALED CISTERN WITH FLUSH PLATE ACCESS
WHB	WASH HAND BASIN - WHB 50mm Ø uPVC WP - VANITY MOUNTED
VAN-01	WALL MOUNTING VANITY: MARBLE / GRANITE COUNTERTOP AT 700MM ABOVE FFL WHB MOUNTED ONTO SURFACE. TAP MOUNTED ONTO WHB
SS	STUB STACK 110mm Ø uPVC STUB STACK TO PLUMBING SPECIALIST DETAIL
RWDP	RAINWATER DOWNPIPE: 100mm DIA uPVC CIRCULAR DOWNPIPE TO PLUMBING SPECIALIST SPEC. UNLESS OTHERWISE SPECIFIED
SRS	STORMWATER RETICULATION SYSTEM: 100mm DIA uPVC PIPE TO PLUMBING SPECIALIST SPEC. UNLESS OTHERWISE SPECIFIED
FB-01	FLUORE OUTLET
ACP-01	ACCESS PANEL: 300mm X 300mm

SANS NBR ALL WORKS TO COMPLY WITH SANS NBR 10400

PIPING LEGEND

COLD WATER MAIN	COLD >
COLD WATER - SUPPLY	COLD >
HOT WATER MAIN	HOT >
HOT WATER - SUPPLY	HOT >
WASTEWATER - 50mm DIA uPVC PIPE	WASTEWATER >
SEWERAGE - 110mm DIA uPVC PIPE TO SS AND MAIN SEWERAGE LINE	SEWERAGE >
SEWERAGE - 110mm DIA uPVC PIPE LAD TO MIN 1:40 FALL TO WATER TREATMENT PLANT	SEWERAGE >
STORMWATER - 110mm DIA uPVC PIPE LAD AT MIN 1:40 TO DISCHARGE TO GARDEN	STORMWATER >
GAS SUPPLY: 20mm DIA uPVC FLEX PIPE LAD BY SPECIALIST	GAS >

PART T - FIRE PROTECTION

- Section T4.17 - New space to be provided with escape doors to comply
- Section T4.29 - New signage to be installed to comply
- Section T4.30 - Emergency lighting to be provided in new sections as required
- Section T4.37 - Portable fire extinguishers to be provided at a rate as noted in Table 10

PART S - ACCESSIBILITY

- Note the requirements for Part S form part of Parts D, M & T
- Section S4.1 - All new parts are to comply
- Section S4.2 - All new areas to comply with signage (signage is existing)
- Section S4.4 - New accessible route will be provided, S4.4.2 & S4.4.3
- Section S4.5 - New ground and floor finishes in spaces to comply
- Section S4.6 - New doorways and doors to comply
- Section S4.7 - All new areas to comply with regards changes in level
- Section S4.8 - New ramp to comply at maximum gradient of 1:12
- Section S4.9 - New steps to comply
- Section S4.10 - Handrails to be provided
- Section S4.12 - Access WC is provided as existing

FENESTRATION

- Natural Environmental Controls:
- Aggregate Conductance & Solar Heat Gain (SHGC) of the Glazing Shall not Exceed the Values Obtained through the Implementation of Table 5 as per SANS 204 Section 4.3.4.1.2
 - Aggregate Conductance & SHGC of Glazing to be Calculated in Accordance with SANS 204 Section 4.3.4.1.3
 - Worst-Case Whole Glazing Element Performance Values to be Used in Calculations in Accordance with Table 6 or Provided by Glazing Manufacturer as per SANS 204 Section 4.3.4.1.4
 - Aggregate Air-Conditioning Energy Value Attributable to the Value Shall not Exceed the Allowance Obtained through the Implementation of Table 7 as per SANS 204 Section 4.3.4.2.2
 - Aggregate Air Conditioning Energy Value to be Calculated in Accordance with SANS 204 Section 4.3.4.2.3

SHADING

- All Values Obtained from Shading Elements of Glazing Shall be in Accordance with SANS 204 Section 4.3.5.1 (a)(1)(2), (b)(1)(2) & Glazing 4.3.5.2

ROOF ASSEMBLIES

- Roof Assemblies are to Achieve a Min. R-value of 2.7m²·K/W with a Downward Heat Flow as per Table 8 in Accordance with SANS204 Section 4.3.6.1.1

PART A: GENERAL PRINCIPALS & REQUIREMENTS

- Section A1(1) - All planning, designing & supervision of erection of the building to be undertaken by a Registered Professional & is subject to any laws pertaining to the Architectural Profession Act 2000 (Act 44 of 2000)
- Section A1(3) - All structural work to be approved & signed off by a Professional Engineer
- Section A1(5) - Building Work is only to commence on approval by the relevant Building Control Officer
- Section A2 - All plans to be submitted to Local Authority & are to be aligned with Section A5, A6, A7, & A8
- Section A4 - All additional information required by the Local Authority to be submitted as instructed
- Section A13 - All building materials & tests conducted to materials are to be approved by a Recognised Body. Certified by the SANS, & are to satisfy the requirements of Building Material Standards Set
- Section A14(2) - Structural systems of any building are not to be compromised at any stage of construction and any concerns or queries to be directed to the Architect/Eng immediately
- Section A18 - All plumbing work to be carried out by an Approved Plumber
- Section A22 - Notice of Intention to Commence Erection or Demolition of a Building & Notices of Inspection are to be submitted to the Local Authority
- Section A25 - Whereby any Persons is found to deviate from the Approved Plans & disregard the Application of SANS 10400 shall be subject to any actions taken by the Local Authority or Enforcement Officer
- Section B4 - The Appointed Builder shall be a Registered Competent Builder in accordance with the Housing Consumers Protection Act, 1998

PART B: STRUCTURAL DESIGN

- All structural systems/elements are to be Rationally Designed by an Approved Registered Professional Structural/Civil Engineer prior to commencement on site

PART C: DIMENSIONS

- Section C3.1 - New ceiling heights will be more than 2.4m AFFL in any habitable room & more than 2.1m AFFL in any bathroom, laundry or room containing a toilet pan, with reference to Table 2

PART D: PUBLIC SAFETY

- Section D.1 - All new barriers to comply
- Section D.2.1 - All balustrades or walls provided to protect against change in level
- Section D.2.2 - Any unprotected change in level that is 1m above the adjacent floor level will be fitted with a balustrade or parapet wall not less than 1.2m in height
- Section D.2.4 - Balustrades are not to have openings that permit the passage of a 100mm dia. ball
- Section D.3 - New ramps to be used by pedestrians shall be in accordance with requirements in Part S
- Section D.4.4 - Construction of any steel fence or gate to comply with SANS 1390

PART E: DEMOLITION WORK

- Section E1(1) - All demolition work to be approved, in writing, by the Local Authority
- Section E1 (2)(3)(4) - Demolition work to be in accordance with all safety requirement standards &, if further instructed by the Local Authority.

PART F: SITE OPERATIONS

- Section 4.2.1 & 4.2.2 - Sanitary facilities are to be provided on site, maintained & removed
- Soil poisoning to be implemented, where required, in accordance with SANS 10124 or Provide a suitable Termite Barrier/Management Measures in accordance with the Provisions of an Agreement Certificate, as per SANS 10400 Part F Section F5
- All Stormwater Disposal During the Construction Period to Comply with SANS 10400 Part R, as per SANS 10400 Part F Section 4.4
- Any Works of Demolition or Construction of a Building that could cause Danger or Inconvenience to the Public, May Require a Fence, Hoarding or Barricade to be Provided in Accordance with SANS 10400 Part F Section F1
- Prior to Commencement of Building Work, the Area on which the Building is to be Erected shall be Completely Cleared in Accordance with SANS 10400 Part F Section F4(1)
- All Sites that Face Water Hazards such as but not Restricted to, Saturation or Water that Drains Naturally towards the Building, shall be Provided with Drainage away from the Site through a Means of a Safe Approved Manner, as per SANS 10400 Part F Section F4(2)
- Precautions are to be Taken to Limit the Amount of Dust & Noise Levels Arising from Construction that could Affect the Surrounding Areas as Stated in Accordance with SANS 10400 Part F Section F6
- All Waste Material on Site to be Adequately & Frequently Removed as per SANS 10400 Part F Section F9
- Builders Sheds on Site to be in Compliance with SANS 10400 Part F Section F10

PART G: EXCAVATIONS

- Section 4.2 - Temporary and permanent Excavations to Existing or New Work

PART H: FOUNDATIONS

- Foundations are to be Rationally Designed by Approved Registered Professional Structural/Civil Eng. Prior to Commencement

PART J: FLOORS

- Section 4.1(c) - Slabs Supported by the Ground are to be Rationally Designed in Accordance with SANS 10400 Part B
- Section 4.4.1(a) - Floors Supported by the Ground Shall be Designed by a Competent Person in Accordance with SANS 10109.1
- Section 4.4.3 - Floors Supported by the Ground Shall not Exceed a Slope of more than 4mm:1m
- Section 4.4.5 - Filling beneath floors to contain little to no organic material and no stone larger than 75mm
- Section 4.4.6 - Filling Beneath Floors are to be Moistened before Application at a Max. of 100mm Layers for Hand Compaction & 150mm Layers for Compaction through Mechanical Means. Layers are to be Compacted before the next Layer is added.
- Section 4.4.7 - All Fill Exceeding 400mm in Depth Shall be Designed & Inspected by a Competent Person

PART K: WALLS

- Section 4.2, 4.4, 4.5, & 4.6 - Walls are to satisfy, where relevant on plans or otherwise noted below, as per SANS 10400 Part K Section 4.1(b)
- Section 4.2.1.1 (a)(4) - Hollow & solid masonry units, in a single storey building, or the upper floor of a double storey unit, are to have an average compressive strength of no less than 3.0 MPa & 4.0 MPa respectively
- Section 4.2.1.1(a)(5), 4.2.1.1(b)(8) & 4.2.1.1(g)(2) - Mortar is to be class II mortar
- Section 4.2.1.1(d)(1) - Where free standing, retaining, parapet & balustrade walls are constructed of hollow & masonry units, the average compressive strength shall be not less than 3.0 MPa & 5.0 MPa respectively
- Section 4.2.1.2 - Construction of all walls to comply with SANS2001-CM1. Rod reinforcement shall comprise hard drawn wires that have a proof stress of 485MPa.
- Section 4.2.1.4(a) - Metal wall ties are to have a min. thickness of galvanizing of 750 g/m².
- New precast prestressed conc. lintels over openings are to be designed & approved by Professional Eng.

PART L - ROOFS

- New roof to rational design by competent professional
- Section L4.1 - Roof assembly to comply with general requirements
- Section L4.2 - All waterproofing and coverings to comply, in particular with L4.2.2, L4.2.4, L4.2.6,
- Section L4.5 - Any roof and ceiling to comply with fire safety requirements
- Section L4.6 - Lightweight steel structures to comply.

PART M - STAIRWAYS

- Section M4.1 - All new steps to comply with general requirements
- Section M4.2 - All dimensions and head heights for new steps to comply
- Section M4.3 - All new steps to be provided with prevention against falling handrails

PART N - GLAZING

- Section N4.1 - All new glazing to comply with general requirements
- Section N4.2 - All new glazing to comply with requirements for glazing installations
- Section N4.3 - All new glazing to comply with transparent glazing requirements
- Section N4.4 - All new glazing to comply with safety glazing requirements

PART O - LIGHTING & VENTILATION

- Section O4.1 - All new lighting & ventilation to comply with general requirements
- Section O4.2.1.8 & O4.2.2 - All new lighting to comply with requirements for natural & artificial ventilation
- Section O4.3.1 - All new rooms are to be provided with natural ventilation
- Section O4.3.2 - If required new rooms to be provided with artificial ventilation

PART P: DRAINAGE

- Section P4.1 - All new plumbing & drainage to comply with general requirements
- Section P4.2 - All new drainage pipes to comply.
- Section P4.3.1 - All new sanitary fixtures to comply.

PART Q: DRAINAGE (CONTINUED)

- Section P4.14 - All new discharge pipes to comply.
- Section P4.15 - All new drains to comply.
- Section P4.19 - All new drains to be accessible
- Section P4.20 - New traps to be provided
- Note: all toilets & whb are existing
- New plumbing from kitchen sink to be connected to existing sewer pipe
- All new work to be carried out by a registered plumber

PART R - STORMWATER DISPOSAL

- Stormwater disposal subject to a rational design
- Section R4.1 - New stormwater disposal to comply with general requirements.
- Section R4.2 - New stormwater system to provide control and disposal as required
- Section R4.3 - New gutters and downpipes to comply
- Note: new rainwater downpipes to be connected to existing stormwater system

PART S - ACCESSIBILITY

- Note the requirements for Part S form part of Parts D, M & T
- Section S4.1 - All new parts are to comply
- Section S4.2 - All new areas to comply with signage (signage is existing)
- Section S4.4 - New accessible route will be provided, S4.4.2 & S4.4.3
- Section S4.5 - New ground and floor finishes in spaces to comply
- Section S4.6 - New doorways and doors to comply
- Section S4.7 - All new areas to comply with regards changes in level
- Section S4.8 - New ramp to comply at maximum gradient of 1:12
- Section S4.9 - New steps to comply
- Section S4.10 - Handrails to be provided
- Section S4.12 - Access WC is provided as existing

PART T - FIRE PROTECTION

- Section T4.1 - All new spaces to comply with general requirements
- Section T4.2 - All new spaces to comply with relevant safety distances
- Section T4.5 - All new spaces/materials to comply with relevant fire performance
- Section T4.7 - All new structural elements to comply so that relevant fire stability is achieved
- Section T4.12 - All new roof assemblies to comply with relevant parts
- Section T4.13 - All new ceilings to comply
- Section T4.14 - All new floor finishes to comply
- Section T4.16 - At least one escape route to be provided

ARCHITECTS SIGNATURE

CLIENT AUTHORIZATION

STATUS
SUBMISSION

BOSHOFF ARCHITECTS

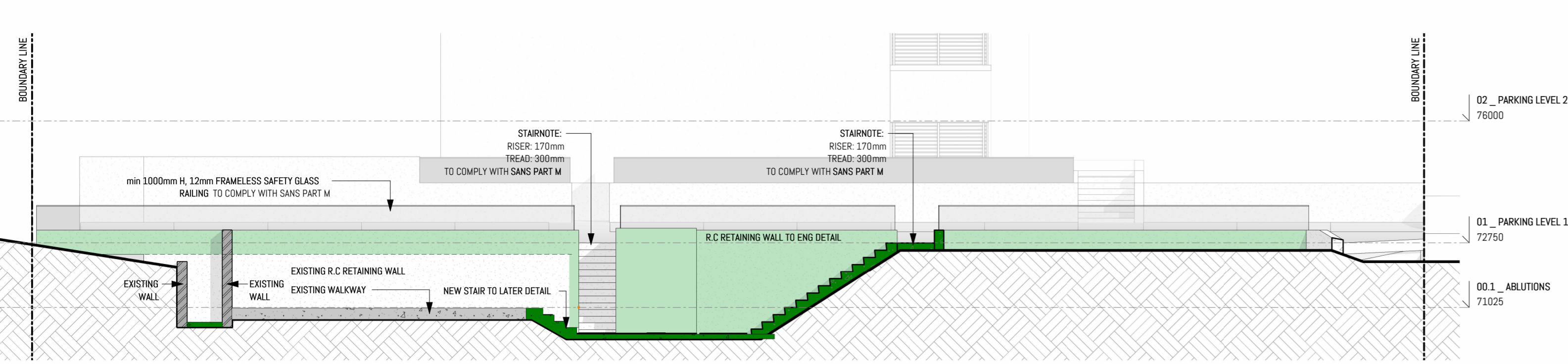
ADDRESS
3 MILLAR ROAD, WINDERMERE, 4001
LOUIS@BOSHOFFARCHITECTS.COM
+27 83 304 9277
SACAP REG.
CIPRO.
PRAC NO.

284 FLORIDA RD - INCITE BALCONY

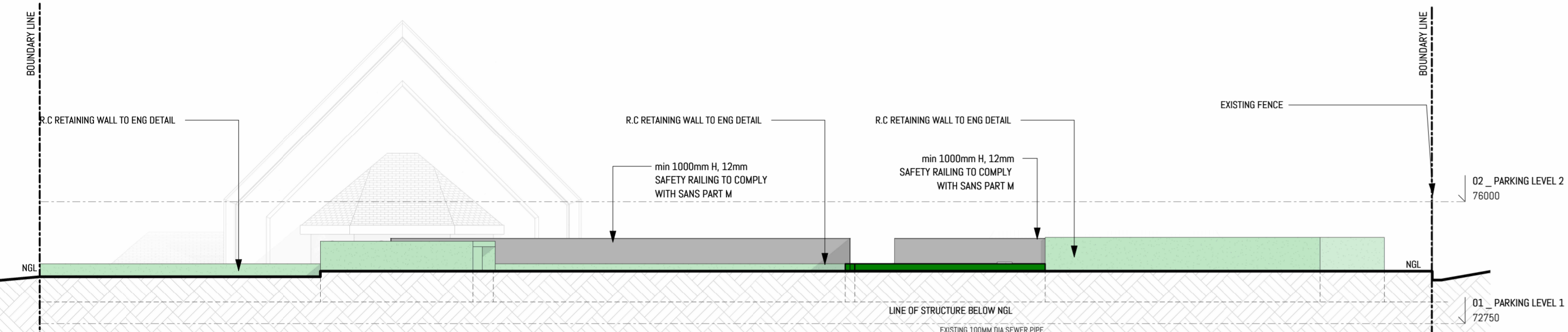
PROJECT NAME
PROPOSED ADDITIONS AND ALTERATIONS
TO ERF/687, NEW ONGRADE PARKING,
ABLUTIONS AND BALCONY
ERF NO.
LOCATION
288 FLORIDA ROAD, DURBAN
CLIENT
NORR CHURCH

GROUND FLOOR PLAN

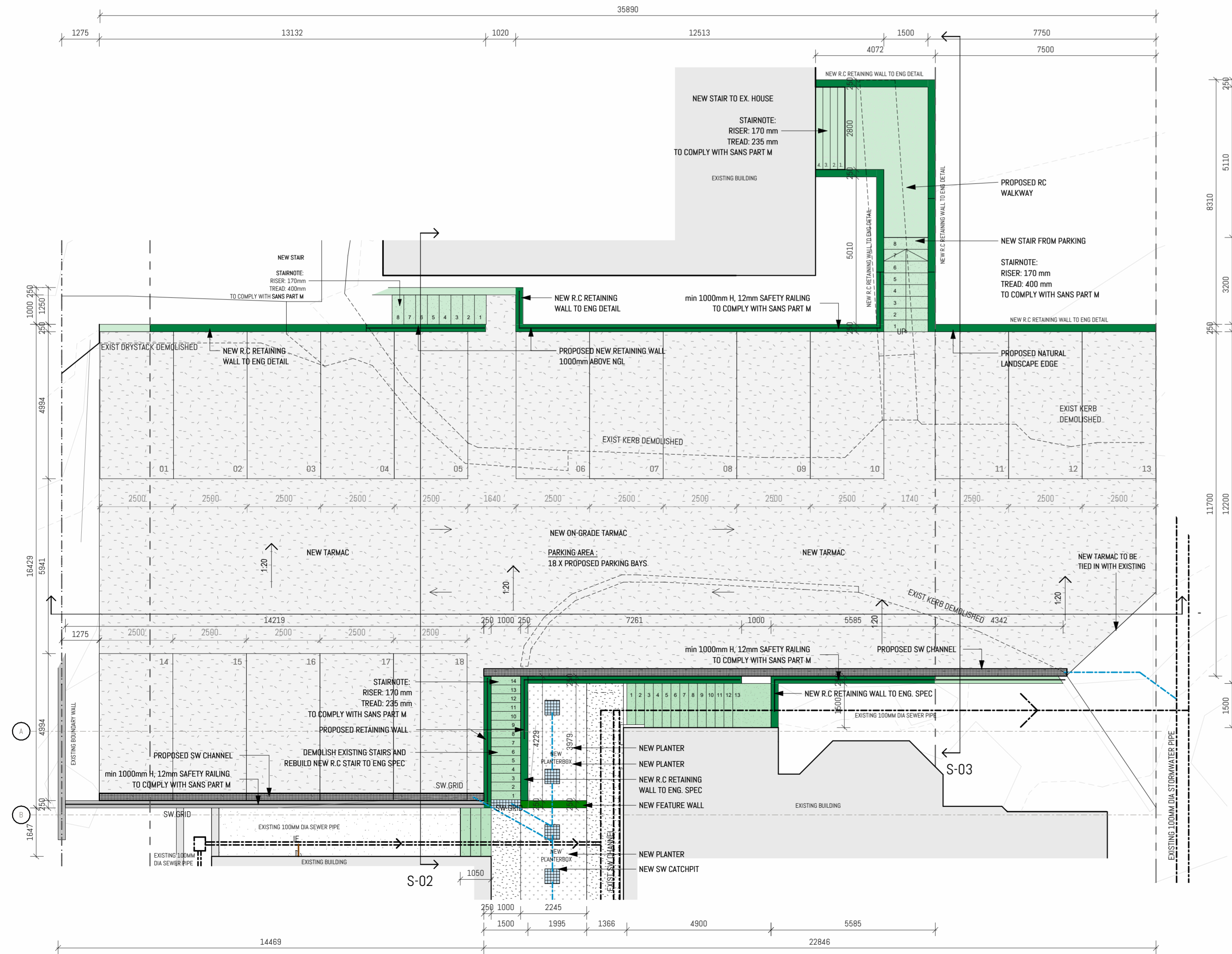
SCALE (A1)
A4: 100:1
DRAWING NO.
24_100:1
DATE
20/05/2023
DRAWN BY
UP
CHECKED BY
UP
SIGNED BY
UP
PROJECT NUMBER
241001-01
WORK STAGE
SUBMISSION
REVISION



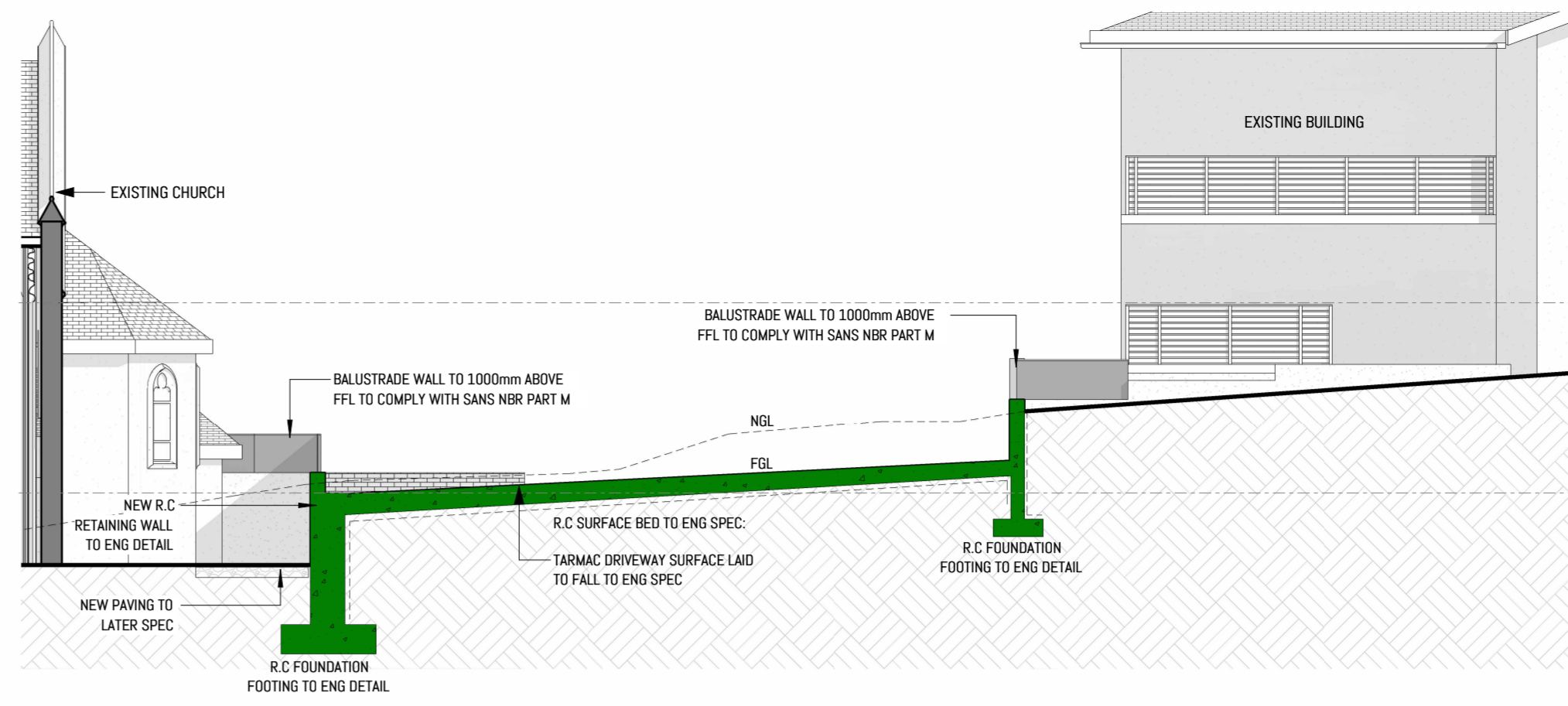
5 | SOUTH ELEVATION
1:100



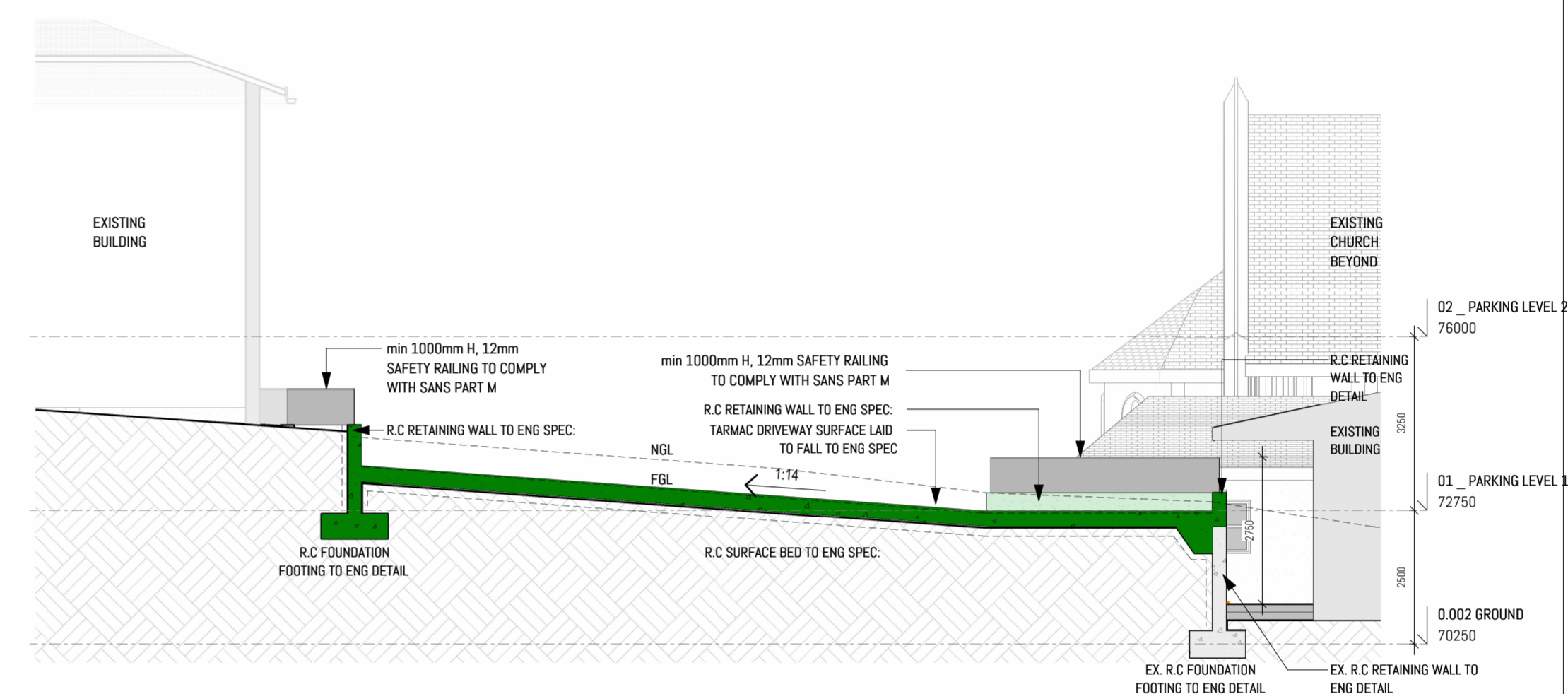
4 | NORTH ELEVATION
1:100



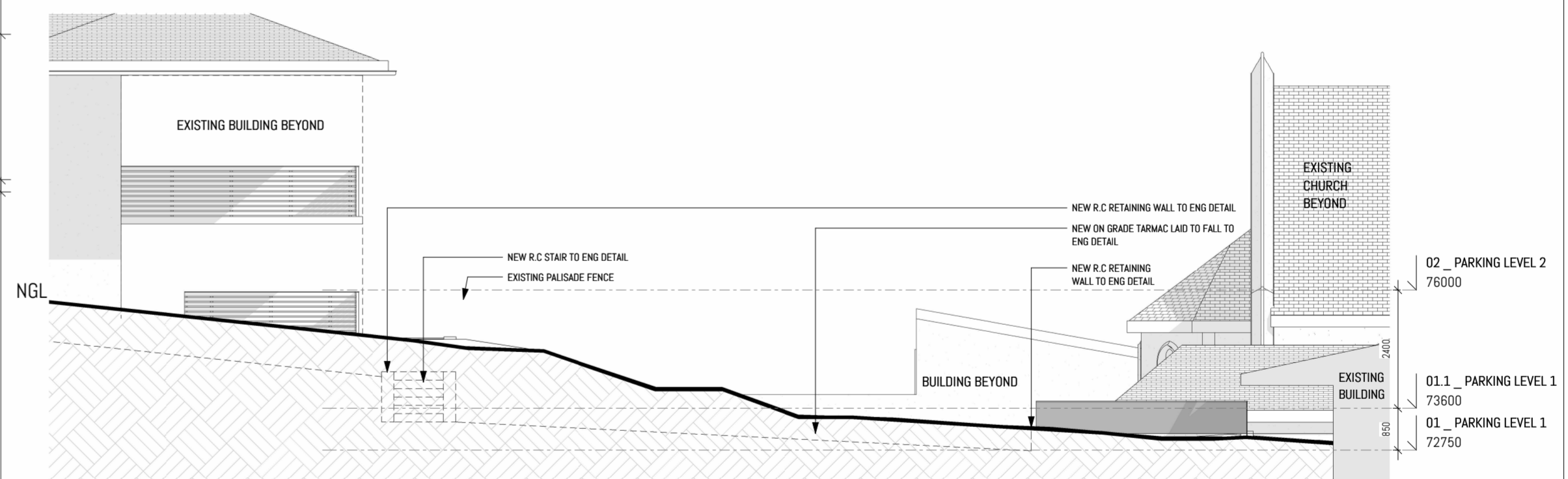
1 | CS_02 _ PARKING LEVEL 2
1:100



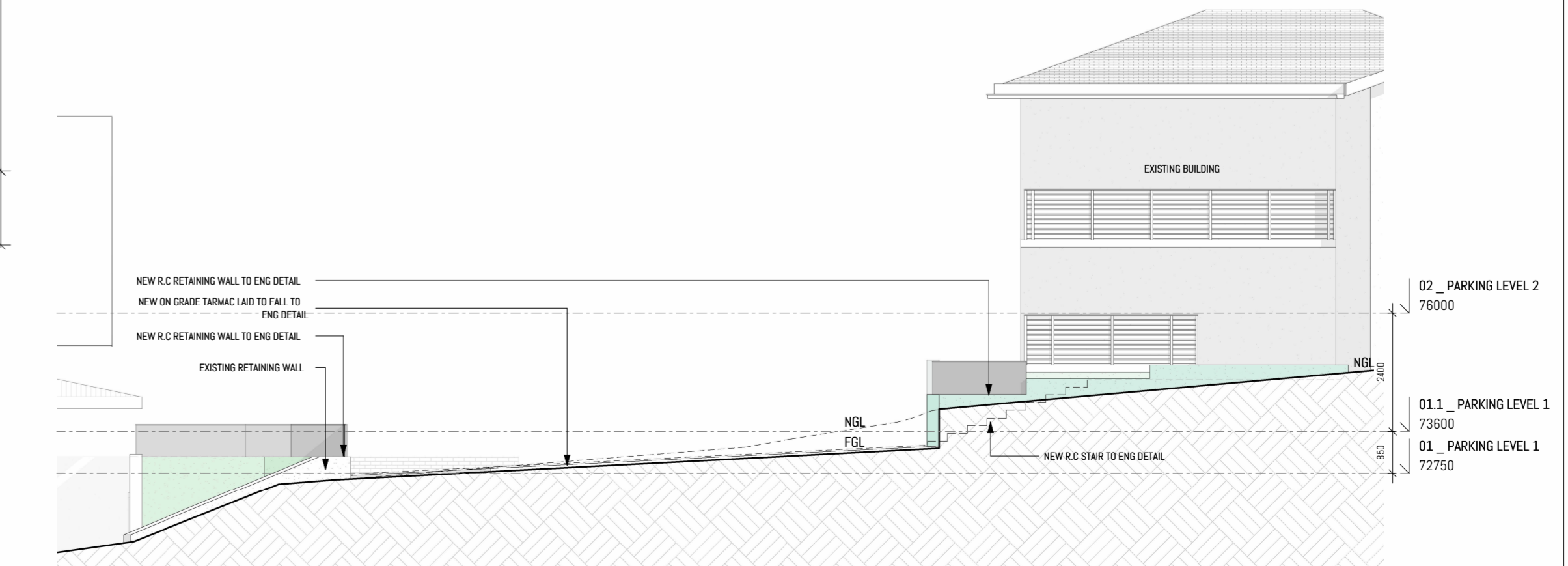
S-03 | SECTION 03
1:100



S-02 | SECTION 02
1:100



3 | WEST ELEVATION
1:100



2 | EAST ELEVATION
1:100

REVISION	DATE	DESCRIPTION

PROJECT NOTES:

ALL RELEVANT DETAIL LEVELS AND DIMENSIONS ARE TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. THE ARCHITECT ACCEPTS NO RESPONSIBILITY FOR ERRORS RESULTING FROM MISINTERPRETATION OF THE DRAWINGS. ALL WORK TO BE CARRIED OUT STRICTLY IN ACCORDANCE WITH NATIONAL BUILDING REGULATIONS AND LOCAL AUTHORITY REGULATIONS TO THE SCALE. THIS DRAWING USE FIGURED DIMENSIONS ONLY.

OWNERSHIP OF RIGHTS AND COPYRIGHT IN AND TO ALL PLANS, DESIGNS, DRAWINGS AND IMAGES OF ANY NATURE PRODUCED BY BOSHOFF ARCHITECTS PTY LTD, INCLUDING WORK RESULTING FROM THEM, SHALL AT ALL TIMES REMAIN VESTED SOLELY IN BOSHOFF ARCHITECTS PTY LTD AND ANY PROVISION TO THE CONTRARY IN TERMS OF THE COPYRIGHT ACT NO 98 OF 1978 IS HEREBY SPECIFICALLY EXCLUDED.

THE CLIENT WILL INDEMNIFY AND HOLD HARMLESS BOSHOFF ARCHITECTS PTY LTD AGAINST ALL CLAIMS, COSTS AND DEMANDS (INCLUDING IN RESPECT OF NEGLIGENCE) BY THIRD PARTIES IN RESPECT OF SERVICES.

THE LIABILITY OF BOSHOFF ARCHITECTS PTY LTD TO THE CLIENT ARISING OUT OF THE PERFORMANCE OF THE SERVICES, WHETHER UNDER THE LAW OF CONTRACT, TORT OR OTHERWISE (INCLUDING STATUTES), SHALL BE LIMITED TO THE COST OF RECTIFYING THE WORKS OR THE AMOUNT OF FEE PAID BY THE CLIENT FOR THE SERVICES.

BOSHOFF ARCHITECTS PTY LTD SHALL BE DISCHARGED FROM ANY AND ALL LIABILITY IN RESPECT OF THE SERVICES, WHETHER UNDER THE LAW OF CONTRACT, TORT OR OTHERWISE, ON THE EXPIRATION OF ONE YEAR FROM THE COMPLETION OF THE SERVICES AND THE CLIENT (OR ANY PERSONS CLAIMING THROUGH THE CLIENT) SHALL NOT BE ENTITLED TO COMMENCE ANY CLAIM, ACTION OR DEMAND AGAINST BOSHOFF ARCHITECTS PTY LTD OR ANY DIRECTOR OR EMPLOYEE OF THE COMPANY IN RESPECT OF THE SERVICES AFTER THAT DATE.

BOSHOFF ARCHITECTS PTY LTD UNDERTAKES TO EXERCISE REASONABLE CARE IN CARRYING OUT THE SERVICES. THERE SHALL BE NO LIABILITY IN RESPECT OF ANY FAILURE BEYOND REASONABLE CARE.

ALL EXISTING SITE CONDITIONS INDICATED ON PLANS ARE TO BE VERIFIED ON SITE. THE ARCHITECT HEREBY INDEMNIFIES HIMSELF/HERSELF OF ANY IMPLICATIONS OF INCORRECTLY INDICATED EXISTING SERVICES. ALL SPECIALISTS TO ENSURE THAT EXISTING SITE CONDITIONS ARE VERIFIED BEFORE COMMENCEMENT OF WORK.

ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEERS DRAWINGS.

CORNER BEACONS TO BE LOCATED AND EXPOSED BEFORE WORK ON SITE COMMENCES.

CONTRACTOR TO CHECK ALL DIMENSIONS AND LEVELS SCHEDULES AND DETAILS, BEFORE THE RELEVANT WORK IS PLACED IN HAND, AND REPORT ANY DISCREPANCIES TO THE DESIGNER/OWNER.

ALL WRITTEN DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALING.

ALL REINFORCED CONCRETE, SLABS, FOUNDATIONS COLUMN DETAILS, BEAMS, STAIRS, AND RETAINING WALLS ARE TO BE BUILT STRICTLY IN ACCORDANCE WITH PROFESSIONAL ENGINEER DETAIL AND UNDER HIS SUPERVISION.

CONTRACTOR TO ENSURE THAT NO CHANGES IN LEVELS ARE MADE OVER LOCAL AUTHORITY SERVICES OR UNDERGROUND SERVICES UNLESS PERMISSION HAS BEEN GIVEN IN WRITING BY THE LOCAL AUTHORITY. ANY DISCREPANCIES AND DIMENSIONS ARE TO BE BROUGHT TO THE DESIGNER/OWNERS ATTENTION IMMEDIATELY.

THE CONTRACTOR IS TO INSPECT THE OFFICIAL APPROVED COPIES OF THE DRAWINGS TO ENSURE THAT ALL AMENDMENTS HAVE BEEN TAKEN INTO ACCOUNT.

THE ATTENTION OF THE OWNER IS DRAWN TO THE FACT THAT CHANGES TO THE PLAN AND/OR SPECIFICATION FOR OFFICIAL APPROVAL IS LIKELY TO INVALIDATE THAT APPROVAL.

ALL FOUNDATIONS TO BE TAKEN DOWN BELOW NATURAL GROUND LEVEL.

NATURAL GROUND LINE IN APPROPRIATE POSITION ONLY AND NO CLAIM CAN BE MADE FOR ANY DISCREPANCIES ON SITE.



ARCHITECTS SIGNATURE

CLIENT AUTHORIZATION

STATUS

SUBMISSION

BOSHOFF ARCHITECTS

ADDRESS

EMAIL

TELEPHONE

SACAP REG.

CIPRO.

PRAC. NO.

3 MILLAR ROAD, WINDERMERE, 4001

LOUIS@BOSHOFFARCHITECTS.COM

+27 83 304 9277

Pt Arch 43029891

2019/315078/07

PB 6125

284 FLORIDA RD - INCITE BALCONY

PROJECT NAME

ERF NO.

LOCATION

CLIENT

PROPOSED ADDITIONS AND ALTERATIONS TO ERF R/687, NEW ONGRADE PARKING, ABLUTIONS AND BALCONY

288 FLORIDA ROAD, DURBAN

INCITE CHURCH

PARKING PLAN - SEC- ELEV

SCALE (A1)

DRAWN BY

PROJECT NUMBER

DRAWING NO.

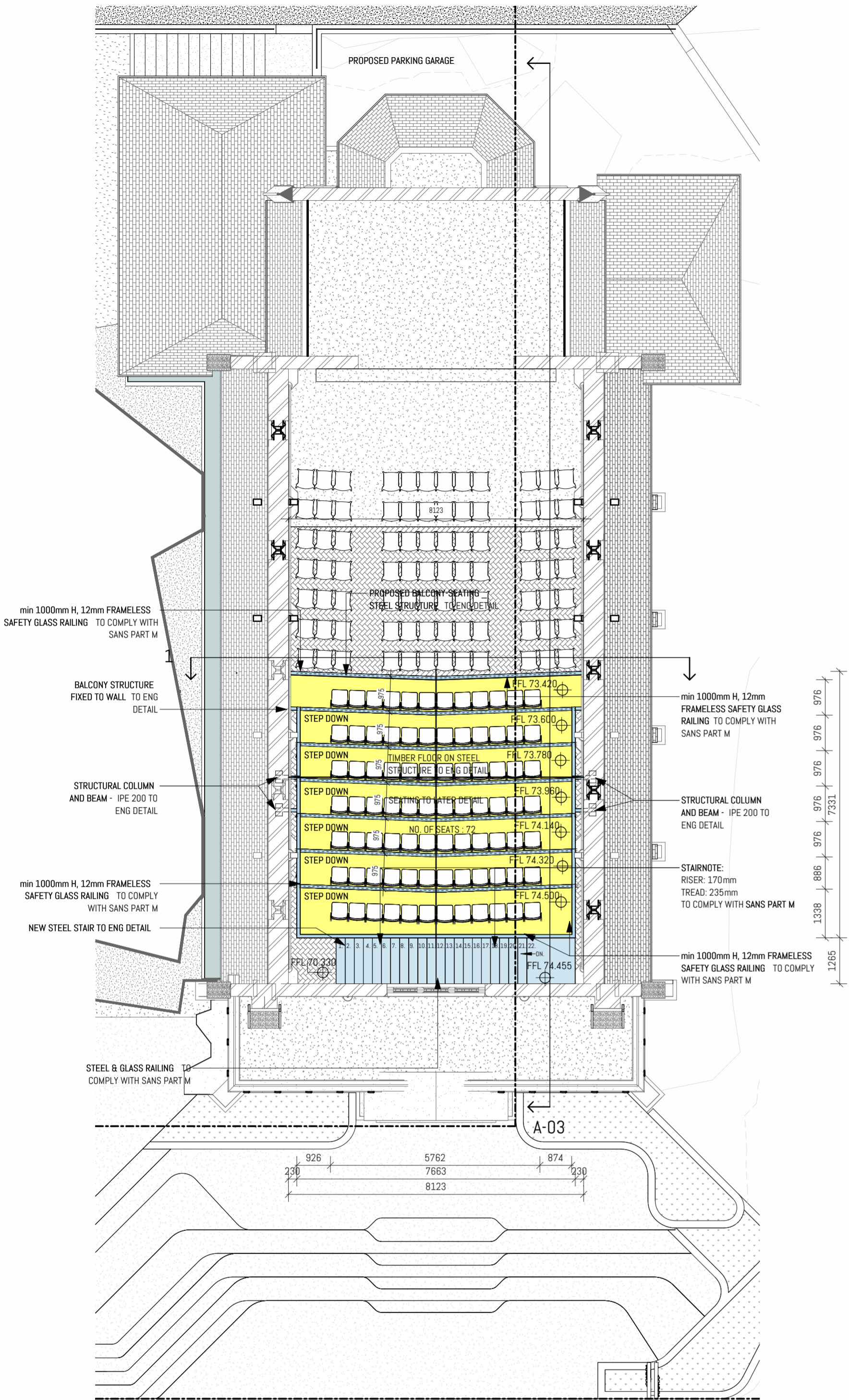
CHECKED BY

WORK STAGE

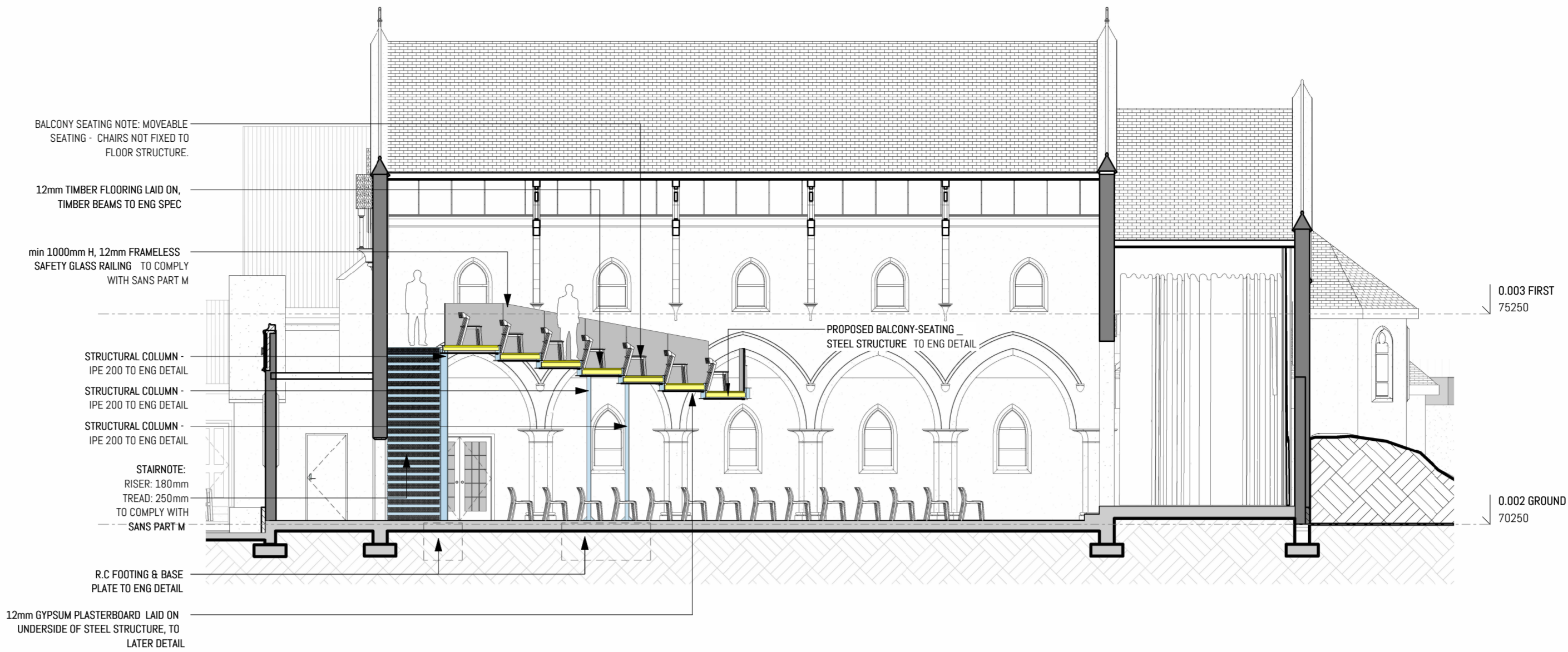
DATE

SIGNED BY

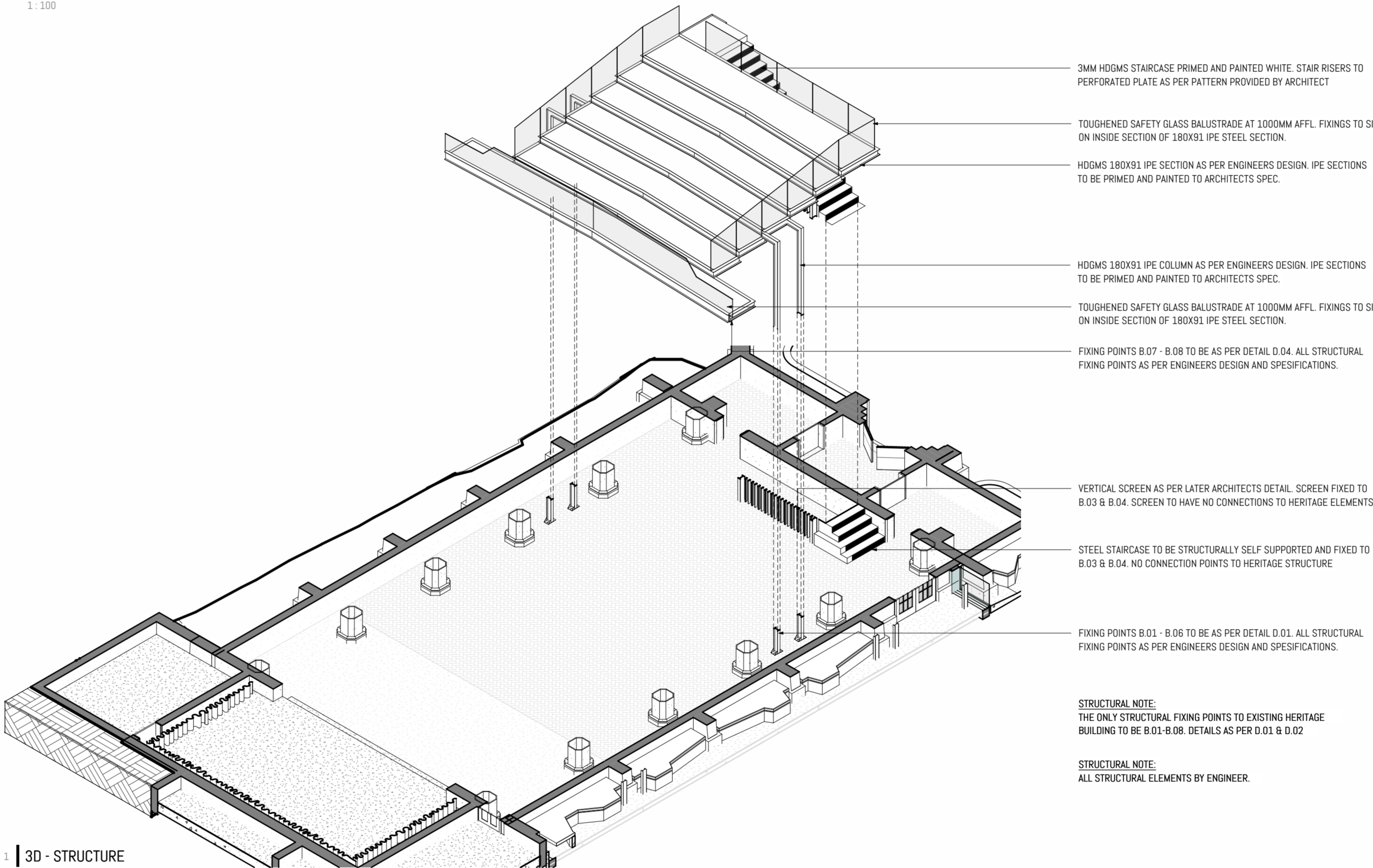
REVISION



CS - FIRST FLOOR PLAN
1 : 100



SECTION 02 - BALCONY
1 : 100



3D - STRUCTURE

REVISION	DATE	DESCRIPTION

PROJECT NOTES:

ALL RELEVANT DETAIL LEVELS AND DIMENSIONS ARE TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. THE ARCHITECT ACCEPTS NO RESPONSIBILITY FOR ERRORS RESULTING FROM MISINTERPRETATION OF THE DRAWINGS. ALL WORK TO BE CARRIED OUT STRICTLY IN ACCORDANCE WITH NATIONAL BUILDING REGULATIONS AND LOCAL AUTHORITY REGULATIONS (NOT SCALE). THIS DRAWING USE FIGURED DIMENSIONS ONLY.

OWNERSHIP OF RIGHTS AND COPYRIGHT IN AND TO ALL PLANS, DESIGNS, DRAWINGS AND IMAGES OF ANY NATURE PRODUCED BY BOSHOFF ARCHITECTS PTY LTD, INCLUDING WORK RESULTING FROM THEM, SHALL AT ALL TIMES REMAIN VESTED SOLELY IN BOSHOFF ARCHITECTS (PTY) LTD AND ANY PROVISION TO THE CONTRARY IN TERMS OF THE COPYRIGHT ACT NO 98 OF 1978 IS HEREBY SPECIFICALLY EXCLUDED.

THE CLIENT WILL INDEMNIFY AND HOLD HARMLESS BOSHOFF ARCHITECTS PTY LTD AGAINST ALL CLAIMS, COSTS AND DEMANDS (INCLUDING IN RESPECT OF NEGLIGENCE) BY THIRD PARTIES IN RESPECT OF SERVICES. THE LIABILITY OF BOSHOFF ARCHITECTS PTY LTD TO THE CLIENT ARISING OUT OF THE PERFORMANCE OF THE SERVICES, WHETHER UNDER THE LAW OF CONTRACT, TORT OR OTHERWISE (INCLUDING STATUTES) SHALL BE LIMITED TO THE COST OF RECEIVING THE WORKS OR THE AMOUNT OF FEE PAID BY THE CLIENT FOR THE SERVICES.

BOSHOFF ARCHITECTS PTY LTD SHALL BE DISCHARGED FROM ANY AND ALL LIABILITY IN RESPECT OF THE SERVICES, WHETHER UNDER THE LAW OF CONTRACT, TORT OR OTHERWISE, IN THE EXPIRATION OF ONE YEAR FROM THE COMPLETION OF THE SERVICES AND THE CLIENT (OR ANY PERSONS CLAIMING THROUGH THE CLIENT) SHALL NOT BE ENTITLED TO COMMENCE ANY CLAIM, ACTION OR DEMAND AGAINST BOSHOFF ARCHITECTS PTY LTD OR ANY DIRECTOR OR EMPLOYEE OF THE COMPANY IN RESPECT OF THE SERVICES AFTER THAT DATE.

BOSHOFF ARCHITECTS PTY LTD UNDERTAKES TO EXERCISE REASONABLE CARE IN CARRYING OUT THE SERVICES. THERE SHALL BE NO LIABILITY IN RESPECT OF ANY FAILURE BEYOND REASONABLE CARE. THE ARCHITECT HERETOBY INDEMNIFIES HIMSELF/HERSELF OF ANY IMPLICATIONS OF INCORRECTLY INDICATED EXISTING SERVICES. ALL SPECIALISTS TO ENSURE THAT EXISTING SITE CONDITIONS ARE VERIFIED BEFORE COMMENCEMENT OF WORK.

ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEERS' DRAWINGS.

CORNER BEACONS TO BE LOCATED AND EXPOSED BEFORE WORK ON SITE COMMENCES. CONTRACTOR TO CHECK ALL DIMENSIONS AND LEVELS SCHEDULES AND DETAILS, BEFORE THE RELEVANT WORK IS PLACED IN HAND, AND REPORT ANY DISCREPANCIES TO THE DESIGNER/OWNER.

ALL WRITTEN DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALING.

ALL REINFORCED CONCRETE, SLABS, FOUNDATIONS COLUMN DETAILS, BEAMS, STAIRS, AND RETAINING WALLS ARE TO BE BUILT STRICTLY IN ACCORDANCE WITH PROFESSIONAL ENGINEER DETAIL AND UNDER HIS SUPERVISION.

CONTRACTOR TO ENSURE THAT NO CHANGES IN LEVELS ARE MADE OVER LOCAL AUTHORITY SERVICES OR UNDERGROUND SERVICES UNLESS PERMISSION HAS BEEN GIVEN IN WRITING BY THE LOCAL AUTHORITY. ANY DISCREPANCIES AND OMISSIONS ARE TO BE BROUGHT TO THE DESIGNER'S/OWNER'S ATTENTION IMMEDIATELY.

THE CONTRACTOR IS TO INSPECT THE OFFICIAL APPROVED COPIES OF THE DRAWINGS TO ENSURE THAT ALL AMENDMENTS HAVE BEEN TAKEN INTO ACCOUNT.

THE ATTENTION OF THE OWNER IS DRAWN TO THE FACT THAT CHANGES TO THE PLAN AND/OR SPECIFICATION AFTER OFFICIAL APPROVAL IS LIKELY TO INVALIDATE THAT APPROVAL.

ALL FOUNDATIONS TO BE TAKEN DOWN BELOW NATURAL GROUND LEVEL.

NATURAL GROUND LINE IN APPROPRIATE POSITION ONLY AND NO CLAIM CAN BE MADE FOR ANY DISCREPANCIES ON SITE.

	ARCHITECTS SIGNATURE	CLIENT AUTHORIZATION
STATUS		
SUBMISSION		

ADDRESS	3 MILLAR ROAD, WINDERMERE, 4001
EMAIL	LOUIS@BOSHOFFARCHITECTS.COM
TELEPHONE	+27 83 304 9277
SACAP REG.	Pr Acc 43026891
CIPRO.	2019/315078/07
PRAC. NO.	PB 6125

PROJECT NAME	PROPOSED ADDITIONS AND ALTERATIONS TO ERF 7687, NEW UPGRADE PARKING, ABUTMENTS AND BALCONY
ERF NO.	288 FLORIDA ROAD, DURBAN
LOCATION	
CLIENT	JOHN CHURCH

SCALE (A1)	DRAWING NO.	DATE
A4 100:04	24_100:04	20/05/2023

DRAWN BY	CHECKED BY	SIGNED BY
UP	UP	UP
PROJECT NUMBER	WORK STAGE	REVISION
241005-11	SUBMISSION	

FF PLAN & BALCONY SECTIONS

PART A: GENERAL PRINCIPALS & REQUIREMENTS

- Section A1(1) - All planning, designing & supervision of erection of the building to be undertaken by a Registered Professional & is subject to any laws pertaining to the Architectural Profession Act 2000 (Act 44 of 2000).
- Section A1(3) - All structural work to be approved & signed off by a Professional Engineer.
- Section A1(5) - Building Work is only to commence on approval by the relevant Building Control Officer.
- Section A2 - All plans to be submitted to Local Authority & are to be aligned with Section A5, A6, A7, & A8.
- Section A4 - All additional information required by the Local Authority to be submitted as instructed.
- Section A13 - All building materials & tests conducted to materials are to be approved by a Recognised Body, Certified by the SANS, & are to satisfy the requirements of Building Material Standards Set.
- Section A14(2) - Structural systems of any building are not to be compromised at any stage of construction and any concerns or queries to be directed to the Architect/Eng immediately.
- Section A18 - All plumbing work to be carried out by an Approved Plumber.
- Section A22 - Notice of Intention to Commence Erection or Demolition of a Building, & Notices of Inspection are to be submitted to the Local Authority.
- Section A25 - Whereby any Persons is Found to deviate from the Approved Plans & disregard the Application of SANS 10400 shall be subject to any actions taken by the Local Authority or Enforcement Officer.
- Section B4 - The Appointed Builder shall be a Registered Competent Builder in accordance with the Housing Consumers Protection Act, 1998.

PART B: STRUCTURAL DESIGN

- All structural systems/elements are to be Rationally Designed by an Approved Registered Professional Structural/Civil Engineer prior to commencement on site.

PART C: DIMENSIONS

- Section 4.3.1 - New ceiling heights will be more than 2.4m AFFL in any habitable room & more than 2.1m AFFL in any bathroom, laundry or room containing a toilet pan, with reference to Table 2.

PART D: PUBLIC SAFETY

- Section 4.1 - All new barriers to comply.
- Section 4.2.1 - All balustrades or walls provided to protect against change in level.
- Section 4.2.2 - Any unprotected change in level that is 1m above the adjacent floor level will be fitted with a balustrade or parapet wall not less than 2m in height.
- Section 4.2.4 - Balustrades are not to have openings that permit the passage of a 100mm dia. ball.
- Section 4.3 - New ramps to be used by pedestrians shall be in accordance with requirements in Part S.
- Section 4.4.4 - Construction of any steel fence or gate to comply with SANS 1390.

PART E: DEMOLITION WORK

- Section E1(1) - All demolition work to be approved, in writing, by the Local Authority.
- Section E1 (2)(3)(4) - Demolition work to be in accordance with all safety requirement standards &, if further instructed by the Local Authority.

PART F: SITE OPERATIONS

- Section 4.2.1 & 4.2.2 - Sanitary facilities are to be provided on site, maintained & removed.
- Soil poisoning to be implemented, where required, in accordance with SANS 10124 or Provide a suitable Termite Barrier/Management Measures in accordance with the Provisions of an Agreement Certificate, as per SANS 10400 Part F Section F5.
- All Stormwater Disposal During the Construction Period to Comply with SANS 10400 Part R, as per SANS 10400 Part F Section 4.4.
- Any Works of Demolition or Construction of a Building that could cause Danger or Inconvenience to the Public, May Require a Fence, Hoarding or Barricade to be Provided in accordance with SANS 10400 Part F Section F1.
- Prior to Commencement of Building Work, the Area on which the Building is to be Erected shall be Completely Cleared in accordance with SANS 10400 Part F Section F4(1).
- All Sites that Face Water Hazards such as but not Restricted to, Saturation or Water that Drains Naturally towards the Building, shall be Provided with Drainage away from the Site through a Means of a Safe Approved Manner, as per SANS 10400 Part F Section F4(2).
- Precautions are to be Taken to Limit the Amount of Dust & Noise Levels Arising from Construction that could Affect the Surrounding Areas as Stated in accordance with SANS 10400 Part F Section F6.
- All Waste Material on Site to be Adequately and Frequently Removed as per SANS 10400 Part F Section F9.
- Builders Sheds on Site to be in Compliance with SANS 10400 Part F Section F10.

PART G: EXCAVATIONS

- Section 4.2 - Temporary and permanent Excavations to Existing or New Work.

PART H: FOUNDATIONS

- Foundations are to be Rationally Designed by Approved Registered Professional Structural/Civil Eng. Prior to Commencement.

PART I: FLOORS

- Section 4.1(c) - Slabs Supported by the Ground are to be Rationally Designed in accordance with SANS 10400 Part B.
- Section 4.4.1(a) - Floors Supported by the Ground Shall be Designed by a Competent Person in accordance with SANS 10109-1.
- Section 4.4.3 - Floors Supported by the Ground Shall not Exceed a Slope of more than 4mm:1m.
- Section 4.4.4 - Polyethylene Underfloor Membranes to have a Min. Thickness of 250 um.
- Section 4.4.5 - Filling beneath floors to contain little to no organic material and no stone larger than 75mm.
- Section 4.4.6 - Filling Beneath Floors are to be Moistened before Application at a Max. of 100mm Layers for Hand Compaction & 150mm Layers for Compaction through Mechanical Means. Layers are to be Compacted before the next Layer is added.
- Section 4.4.7 - All Fill Exceeding 400mm in Depth Shall be Designed & Inspected by a Competent Person.

PART K: WALLS

- Section 4.2, 4.4, 4.5, & 4.6 - Walls are to satisfy, where relevant on plans or otherwise noted below, as per SANS 10400 Part K Section 4.1(b).
- Section 4.2.1.1 (a)(4) - Hollow & solid masonry units, in a single storey building, or the upper floor of a double storey unit, are to have an average compressive strength of no less than 3.0 MPa & 4.0 MPa respectively.
- Section 4.2.1.1(a)(5), 4.2.1.1(b)(8) & 4.2.1.1(d)(2) - Mortar is to be class II mortar.
- Section 4.2.1.1(d)(1) - Where free standing, retaining, parapet & balustrade walls are constructed of hollow & masonry units, the average compressive strength shall be not less than 3.0 MPa & 5.0 MPa respectively.
- Section 4.2.1.2 - Construction of all walls to comply with SANS2001-CM1. Rod reinforcement shall comprise hard drawn wires that have a proof stress of 485MPa.
- Section 4.2.1.4(a) - Metal wall ties are to have a min. thickness of galvanizing of 750 g/m².
- New precast prestressed conc. lintels over openings are to be designed & approved by Professional Eng.

PART L - ROOFS

- New roof to rational design by competent professional.
- Section L4.1 - Roof assembly to comply with general requirements.
- Section L4.2 - All waterproofing and coverings to comply, in particular with L4.2.2, L4.2.4, L4.2.6.
- Section L4.5 - Any roof and ceiling to comply with fire safety requirements.
- Section L4.6 - Lightweight steel structures to comply.

PART M - STAIRWAYS

- Section M4.1 - All new steps to comply with general requirements.
- Section M4.2 - All dimensions and head heights for new steps to comply.
- Section M4.3 - All new steps to be provided with prevention against falling handrails.

PART N - GLAZING

- Section N4.1 - All new glazing to comply with general requirements.
- Section N4.2 - All new glazing to comply with requirements for glazing installations.
- Section N4.3 - All new glazing to comply with transparent glazing requirements.
- Section N4.4 - All new glazing to comply with safety glazing requirements.

PART O - LIGHTING & VENTILATION

- Section O4.1 - All new lighting & ventilation to comply with general requirements.
- Sections O4.2.1 & O4.2.2 - All new lighting to comply with requirements for natural & artificial ventilation.
- Section O4.3.1 - All new rooms are to be provided with natural ventilation.
- Section O4.3.2 - If required new rooms to be provided with artificial ventilation.

PART P: DRAINAGE

- Section P4.1 - All new plumbing & drainage to comply with general requirements.
- Section P4.2 - All new drainage pipes to comply.
- Section P4.3.1 - All new sanitary fixtures to comply.

PART P: DRAINAGE (CONTINUED)

- Section P4.14 - All new discharge pipes to comply.
- Section P4.15 - All new drains to comply.
- Section P4.19 - All new drains to be accessible.
- Section P4.20 - New traps to be provided.
- Note: all toilets & whb are existing.
- New plumbing from kitchen sink to be connected to existing sewer pipe.
- All new work to be carried out by a registered plumber.

PART R - STORMWATER DISPOSAL

- Stormwater disposal subject to a rational design.
- Section R4.1 - New stormwater disposal to comply with general requirements.
- Section R4.2 - New stormwater system to provide control and disposal as required.
- Section R4.3 - New gutters and downpipes to comply.
- Note: new rainwater downpipes to be connected to existing stormwater system.

PART S - ACCESSIBILITY

- Note the requirements for Part S form part of Parts D, M & T.
- Section S4.1 - All new parts are to comply.
- Section S4.2 - All new areas to comply with signage (signage is existing).
- Section S4.4 - New accessible route will be provided, S4.4.2 & S4.4.3.
- Section S4.5 - New ground and floor finishes in spaces to comply.
- Section S4.6 - New doorways and doors to comply.
- Section S4.7 - All new areas to comply with regards changes in level.
- Section S4.8 - New ramp to comply at maximum gradient of 1:12.
- Section S4.9 - New steps to comply.
- Section S4.10 - Handrails to be provided.
- Section S4.12 - Access WC is provided as existing.

PART T - FIRE PROTECTION

- Section T4.1 - All new spaces to comply with general requirements.
- Section T4.2 - All new spaces to comply with relevant safety distances.
- Section T4.5 - All new spaces/materials to comply with relevant fire performance.
- Section T4.13 - All new ceilings to comply so that relevant fire stability is achieved.
- Section T4.12 - All new roof assemblies to comply with relevant parts.
- Section T4.13 - All new ceilings to comply.
- Section T4.14 - All new floor finishes to comply.
- Section T4.16 - At least one escape route to be provided.
- Section T4.16 - At least one escape route to be provided.

PART T - FIRE PROTECTION

- Section T4.17 - New space to be provided with escape doors to comply.
- Section T4.29 - New signage to be installed to comply.
- Section T4.30 - Emergency lighting to be provided in new sections as required.
- Section T4.37 - Portable fire extinguishers to be provided at a rate as noted in Table 10.

PART S - ACCESSIBILITY

- Note the requirements for Part S form part of Parts D, M & T.
- Section S4.1 - All new parts are to comply.
- Section S4.2 - All new areas to comply with signage (signage is existing).
- Section S4.4 - New accessible route will be provided, S4.4.2 & S4.4.3.
- Section S4.5 - New ground and floor finishes in spaces to comply.
- Section S4.6 - New doorways and doors to comply.
- Section S4.7 - All new areas to comply with regards changes in level.
- Section S4.8 - New ramp to comply at maximum gradient of 1:12.
- Section S4.9 - New steps to comply.
- Section S4.10 - Handrails to be provided.
- Section S4.12 - Access WC is provided as existing.

FENESTRATION

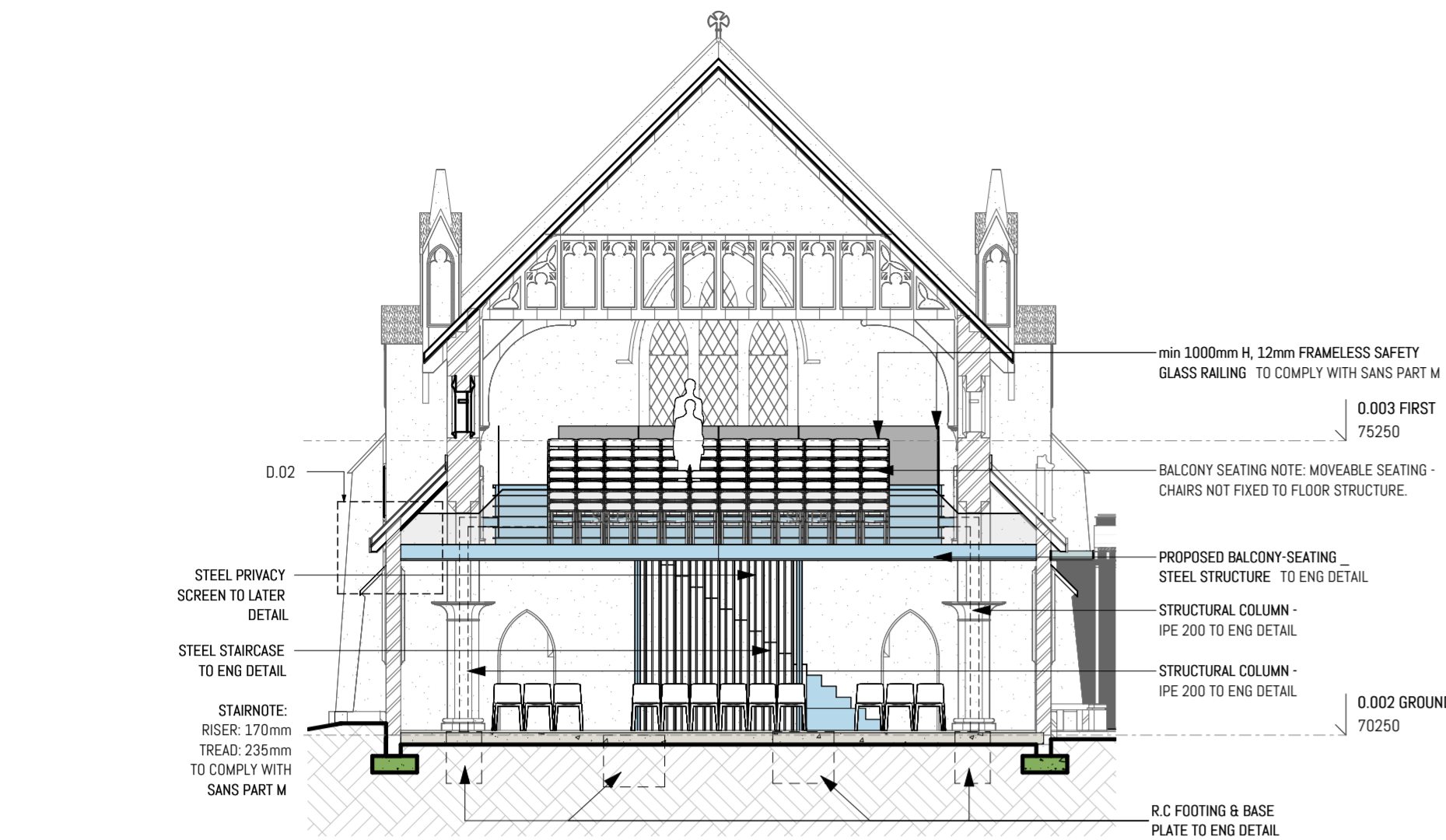
- Natural Environmental Controls:
- Aggregate Conductance & Solar Heat Gain (SHGC) of the Glazing Shall not Exceed the Values Obtained through the Implementation of Table 5 as per SANS 204 Section 4.3.4.1.2.
 - Aggregate Conductance & SHGC of Glazing to be Calculated in accordance with SANS 204 Section 4.3.4.1.3.
 - Worst-Case Whole Glazing Element Performance Values to be Used in Calculations in accordance with Table 6 or Provided by Glazing Manufacturer as per SANS 204 Section 4.3.4.1.4.
 - Aggregate Air-Conditioning Energy Value Attributable to the Value Shall not Exceed the Allowance Obtained through the Implementation of Table 7 as per SANS 204 Section 4.3.4.2.2.
 - Aggregate Air Conditioning Energy Value to be Calculated in accordance with SANS 204 Section 4.3.4.2.3.

SHADING

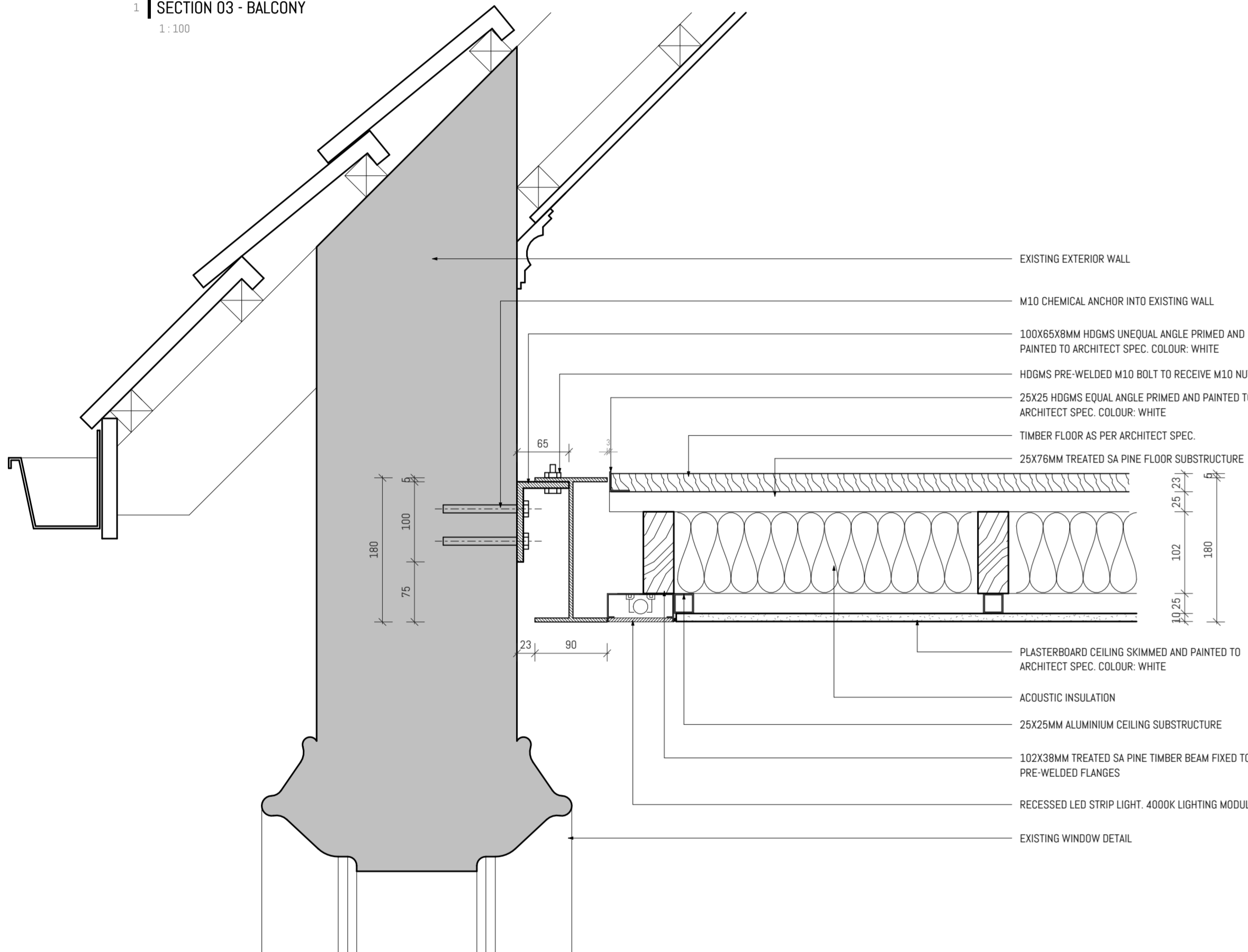
- All Values Obtained from Shading Elements of Glazing Shall be in accordance with SANS 204 Section 4.3.5.1 (a)(1)(2), (b)(1)(2) & Section 4.3.5.2.

ROOF ASSEMBLIES

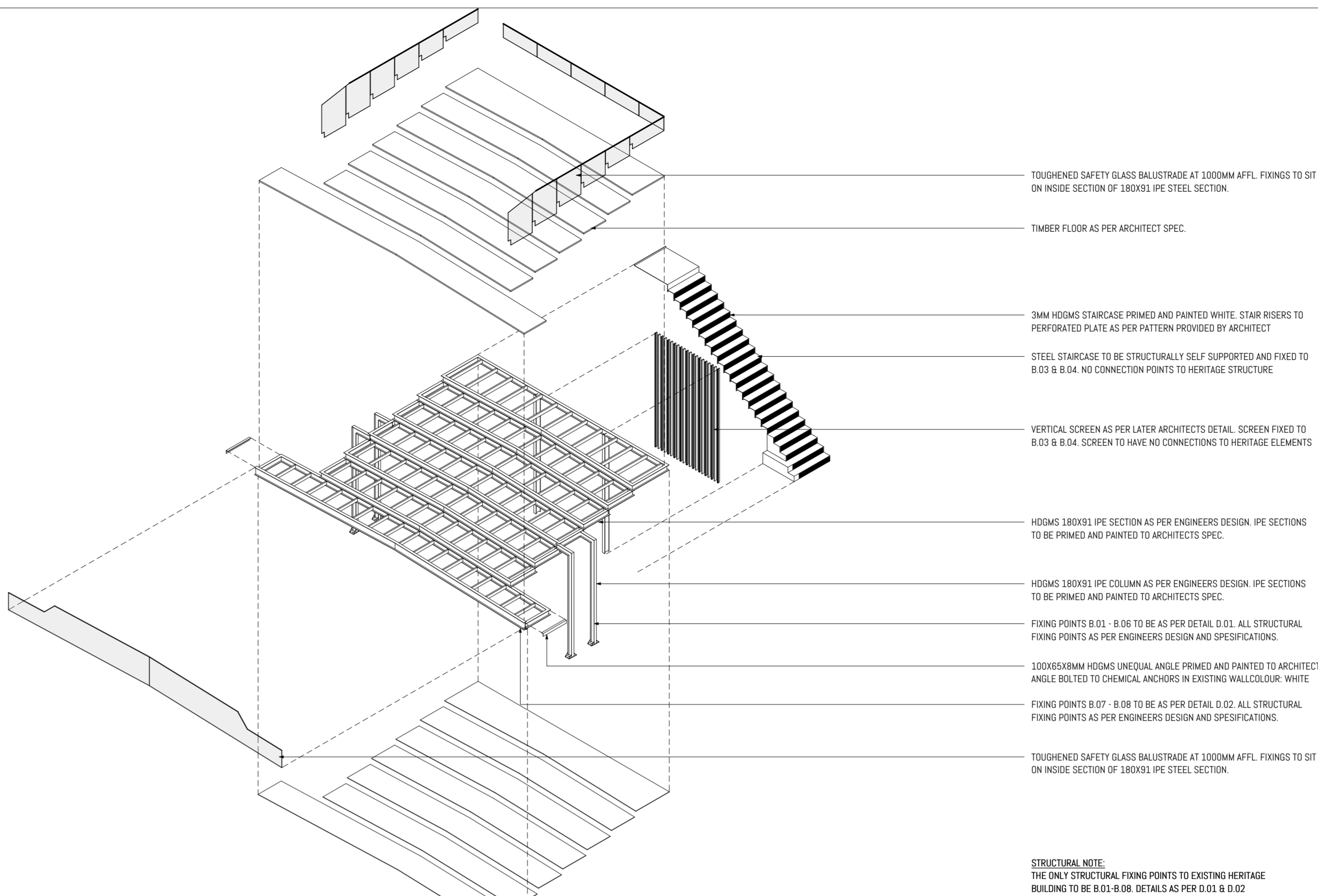
- Roof Assemblies are to Achieve a Min. R-value of 2.7m²·K/W with a Downward Heat Flow as per Table 8 in accordance with SANS204 Section 4.3.6.1.1.



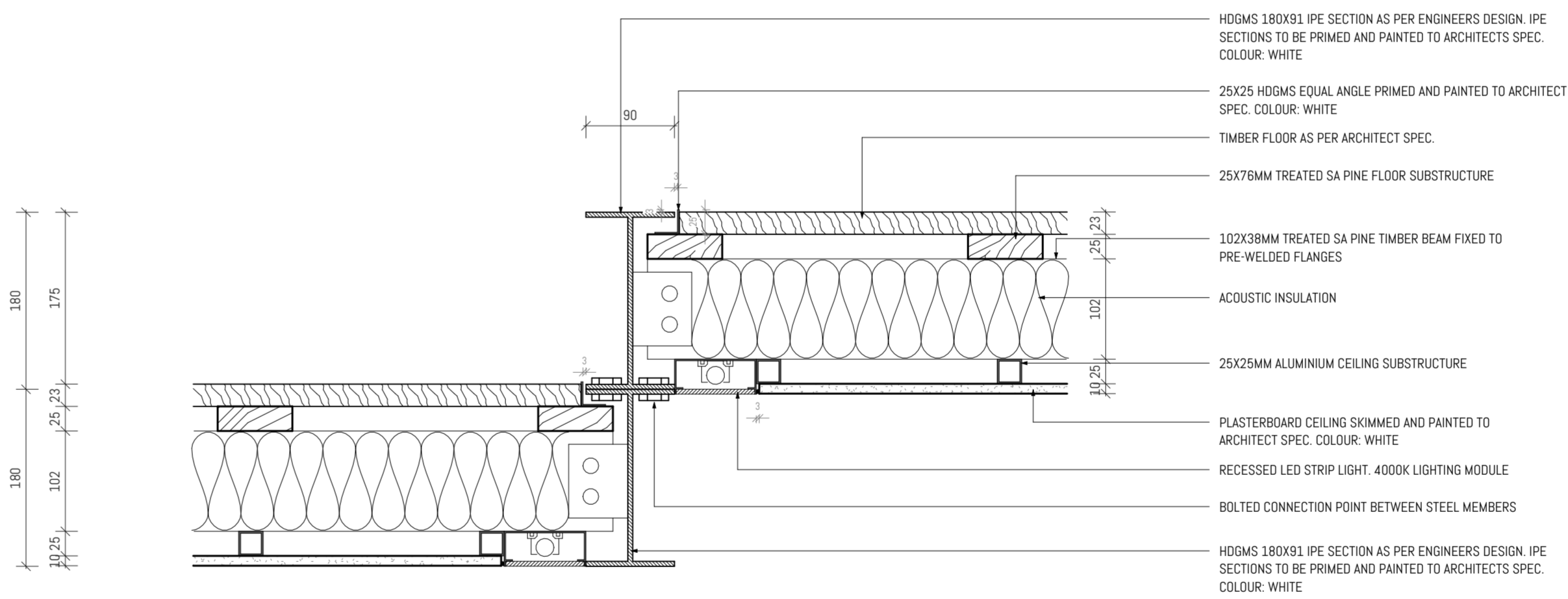
1 | SECTION 03 - BALCONY
1:100



4 | D02_WALL FIXING DETAIL
1:5



2 | 3D - BALCONY EXPLODED AXO



3 | D00_FLOOR & CEILING DETAIL
1:5

REVISION	DATE	DESCRIPTION

PROJECT NOTES:

ALL RELEVANT DETAIL LEVELS AND DIMENSIONS ARE TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. THE ARCHITECT ACCEPTS NO RESPONSIBILITY FOR ERRORS RESULTING FROM MISINTERPRETATION OF THE DRAWINGS. ALL WORK TO BE CARRIED OUT STRICTLY IN ACCORDANCE WITH NATIONAL BUILDING REGULATIONS AND LOCAL AUTHORITY REGULATIONS (IF NOT SCALE, THE DRAWING USE FIGURED DIMENSIONS ONLY).

OWNERSHIP OF RIGHTS AND COPYRIGHT IN AND TO ALL PLANS, DESIGNS, DRAWINGS AND IMAGES OF ANY NATURE PRODUCED BY BOSHOFF ARCHITECTS PTY LTD, INCLUDING WORK RESULTING FROM THEM, SHALL AT ALL TIMES REMAIN VESTED SOLELY IN BOSHOFF ARCHITECTS PTY LTD AND ANY PROVISION TO THE CONTRARY IN TERMS OF THE COPYRIGHT ACT NO 98 OF 1978 IS HEREBY SPECIFICALLY EXCLUDED.

THE CLIENT WILL INDEMNIFY AND HOLD HARMLESS BOSHOFF ARCHITECTS PTY LTD AGAINST ALL CLAIMS, COSTS AND DEMANDS (INCLUDING IN RESPECT OF NEGLIGENCE) BY THIRD PARTIES IN RESPECT OF SERVICES. THE LIABILITY OF BOSHOFF ARCHITECTS PTY LTD TO THE CLIENT ARISING OUT OF THE PERFORMANCE OF THE SERVICES, WHETHER UNDER THE LAW OF CONTRACT, TORT OR OTHERWISE (INCLUDING STATUTES) SHALL BE LIMITED TO THE COST OF RECTIFYING THE WORKS OR THE AMOUNT OF FEE PAID BY THE CLIENT FOR THE SERVICES.

BOSHOFF ARCHITECTS PTY LTD SHALL BE DISCHARGED FROM ANY AND ALL LIABILITY IN RESPECT OF THE SERVICES, WHETHER UNDER THE LAW OF CONTRACT, TORT OR OTHERWISE, IN THE EVENT OF ONE YEAR FROM THE COMPLETION OF THE SERVICES AND THE CLIENT (OR ANY PERSONS CLAIMING THROUGH THE CLIENT) SHALL NOT BE ENTITLED TO COMPENSATION, ANY CLAIM, ACTION OR DEMAND AGAINST BOSHOFF ARCHITECTS PTY LTD OR ANY DIRECTOR OR EMPLOYEE OF THE COMPANY IN RESPECT OF THE SERVICES AFTER THAT DATE.

BOSHOFF ARCHITECTS PTY LTD UNDERTAKES TO EXERCISE REASONABLE CARE IN CARRYING OUT THE SERVICES. THERE SHALL BE NO LIABILITY IN RESPECT OF ANY FAILURE BEYOND REASONABLE CARE. ALL EXISTING SITE CONDITIONS INDICATED ON PLANS ARE TO BE VERIFIED ON SITE. THE ARCHITECT HEREBY INDEMNIFIES HIMSELF/HERSELF OF ANY IMPLICATIONS OF INCORRECTLY INDICATED EXISTING SERVICES. ALL SPECIALISTS TO ENSURE THAT EXISTING SITE CONDITIONS ARE VERIFIED BEFORE COMMENCEMENT OF WORK.

ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEERS DRAWINGS. CORNER READING IS TO BE LOCATED AND EXPOSED BEFORE WORK ON SITE COMMENCES. CONTRACTOR TO CHECK ALL DIMENSIONS AND LEVELS SCHEDULES AND DETAILS, BEFORE THE RELEVANT WORK IS PLACED IN HAND, AND REPORT ANY DISCREPANCIES TO THE DESIGNER/OWNER.

ALL WRITTEN DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALING.

ALL REINFORCED CONCRETE, SLAB, FOUNDATIONS COLUMN DETAILS, BEAMS, STAIRS, AND RETAINING WALLS ARE TO BE BUILT STRICTLY IN ACCORDANCE WITH PROFESSIONAL, ENGINEER DETAIL AND UNDER HIS SUPERVISION.

CONTRACTOR TO ENSURE THAT NO CHANGES IN LEVELS ARE MADE OVER LOCAL AUTHORITY SERVICES OR UNDERGROUND SERVICES UNLESS PERMISSION HAS BEEN GIVEN IN WRITING BY THE LOCAL AUTHORITY. ANY DISCREPANCIES AND OMISSIONS ARE TO BE BROUGHT TO THE DESIGNER/OWNER'S ATTENTION IMMEDIATELY.

THE CONTRACTOR IS TO INSPECT THE OFFICIAL, APPROVED COPIES OF THE DRAWINGS TO ENSURE THAT ALL AMENDMENTS HAVE BEEN TAKEN INTO ACCOUNT.

THE ATTENTION OF THE OWNER IS DRAWN TO THE FACT THAT CHANGES TO THE PLAN AND/OR SPECIFICATION FOR OFFICIAL APPROVAL IS LIKELY TO INVALIDATE THAT APPROVAL.

ALL FOUNDATIONS TO BE TAKEN DOWN BELOW NATURAL GROUND LEVEL.

NATURAL GROUND LINE IN APPROPRIATE POSITION ONLY AND NO CLAIM CAN BE MADE FOR ANY DISCREPANCIES ON SITE.



BOSHOFF ARCHITECTS			
ADDRESS:	3 MILLAR ROAD, WINDERMERE, 4001		
EMAIL:	LOUIS@BOSHOFFARCHITECTS.COM		
TELEPHONE:	+27 83 304 9277		
SACAP REG. NO.:	P/ACH 43026981		
CIPRO NO.:	2019/315078/07		
PRAC. NO.:	PB 6125		

284 FLORIDA RD - INCITE BALCONY			
PROJECT NAME:	PROPOSED ADDITIONS AND ALTERATIONS TO ERF/687, NEW UPGRADE PARKING, ABUTMENTS AND BALCONY		
ERF NO. LOCATION:	288 FLORIDA ROAD, DURBAN		
CLIENT:	INCITE CHURCH		

BALCONY DETAILS			
SCALE (A1):	DRAWING NO.	DATE	
A4: 100/20	24_180/20	23/05/2023	
DRAWN BY:	CHECKED BY:	SIGNED BY:	
UP	UP	UP	
PROJECT NUMBER	WORK STAGE	REVISION	
24-180-01	SUBMISSION		

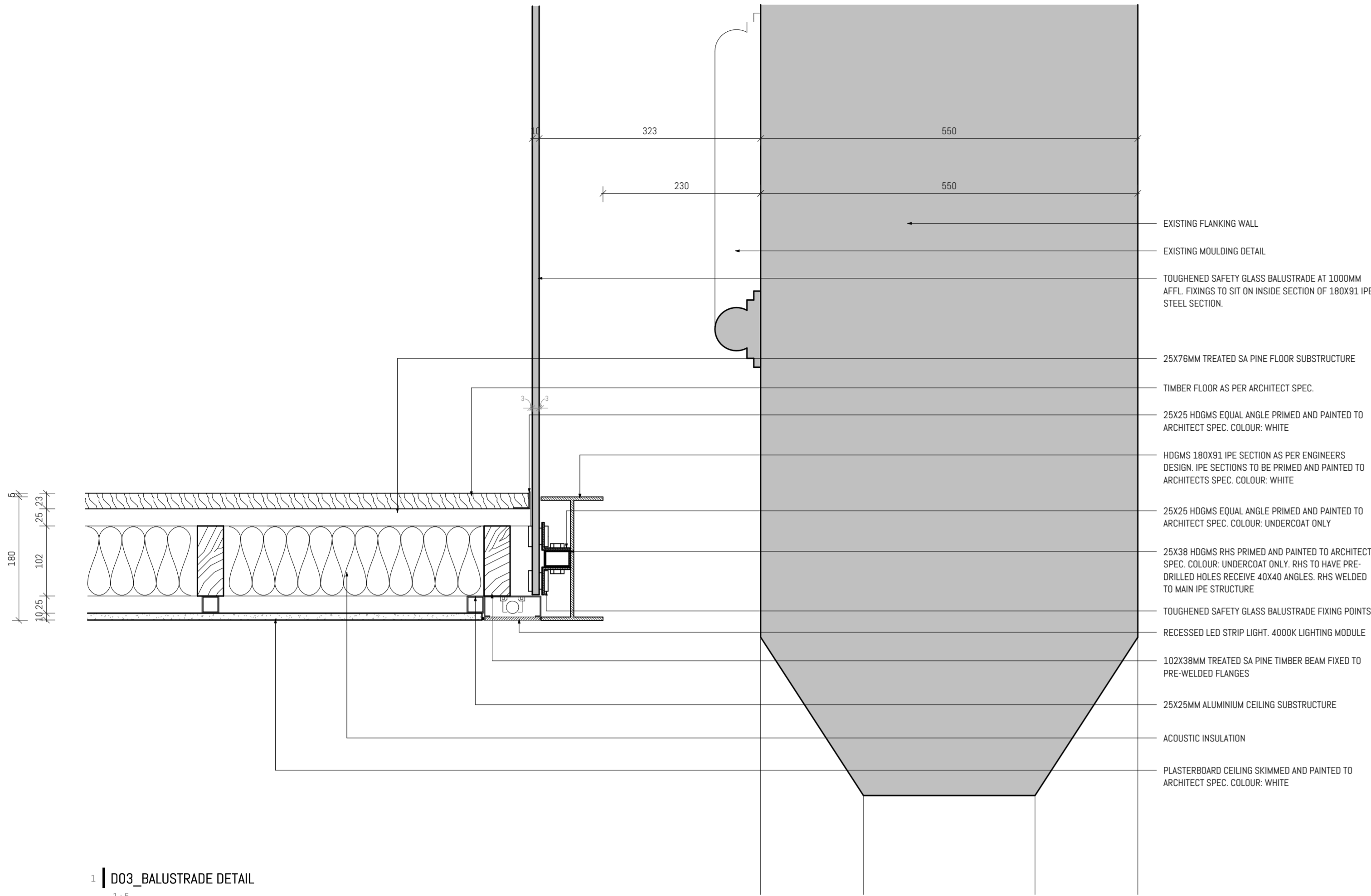
PART A: GENERAL PRINCIPALS & REQUIREMENTS
1. Section A1(1) - All planning, designing & supervision of erection of the building to be undertaken by a Registered Professional & is subject to any laws pertaining to the Architectural Profession Act 2000 (Act 44 of 2000).
2. Section A1(3) - All structural work to be approved & signed off by a Professional Engineer.
3. Section A1(5) - Building Work is only to commence on approval by the relevant Building Control Officer.
4. Section A2 - All plans to be submitted to Local Authority & are to be aligned with Sections A5, A6, A7, & A8.
5. Section A4 - All additional information required by the Local Authority to be submitted as instructed.
6. Section A13 - All building materials & tests conducted to materials are to be approved by a Recognised Body, Certified by the SANS, & are to satisfy the requirements of Building Material Standards Set.
7. Section A14(2) - Structural systems of any building are not to be compromised at any stage of construction and any concerns or queries to be directed to the Architect/Eng. immediately.
8. Section A18 - All plumbing work to be carried out by an Approved Plumber.
9. Section A22 - Notice of Intention to Commence Erection or Demolition of a Building, & Notices of Inspection are to be submitted to the Local Authority.
10. Section A25 - Whereby any Persons is found to deviate from the Approved Plans & disregard the Application of SANS 10400 shall be subject to any actions taken by the Local Authority or Enforcement Officer.
11. Section B4 - The Appointed Builder shall be a Registered Competent Builder in accordance with the Housing Consumers Protection Act, 1998.
PART B: STRUCTURAL DESIGN
1. All structural systems/elements are to be Rationally Designed by an Approved Registered Professional Structural/Civil Engineer prior to commencement on site.
PART C: DIMENSIONS
1. Section 4.3.1 - New ceiling heights will be more than 2.4m AFFL in any habitable room & more than 2.1m AFFL in any bathroom, laundry or room containing a toilet pan, with reference to Table 2.
PART D: PUBLIC SAFETY
1. Section 4.1 - All new barriers to comply.
2. Section 4.2.1 - All balustrades or walls provided to protect against change in level.
3. Section 4.2.2 - Any unprotected change in level that is 1m above the adjacent floor level will be fitted with a balustrade or parapet wall not less than 2m in height.
4. Section 4.2.4 - Balustrades are not to have openings that permit the passage of a 100mm dia. ball.
5. Section 4.3 - New ramps to be used by pedestrians shall be in accordance with requirements in Part S.
6. Section 4.4.4 - Construction of any steel fence or gate to comply with SANS 1390.
PART E: DEMOLITION WORK
1. Section E1(1) - All demolition work to be approved, in writing, by the Local Authority.
2. Section E1 (2)(3)(4) - Demolition work to be in accordance with all safety requirement standards &, if further instructed by the Local Authority.

PART F: SITE OPERATIONS
1. Section 4.2.1 & 4.2.2 - Sanitary facilities are to be provided on site, maintained & removed.
2. Soil poisoning to be implemented, where required, in accordance with SANS 10124 or Provide a suitable Termite Barrier/Management Measures in accordance with the Provisions of an Agreement Certificate, as per SANS 10400 Part F Section F5.
3. All Stormwater Disposal During the Construction Period to Comply with SANS 10400 Part R, as per SANS 10400 Part F Section 4.4.
4. Any Works of Demolition or Construction of a Building that could cause Danger or Inconvenience to the Public, May Require a Fence, Hoarding, or Barricade to be Provided in accordance with SANS 10400 Part F Section F1.
5. Prior to Commencement of Building Work, the Area on which the Building is to be Erected shall be Completely Cleared in accordance with SANS 10400 Part F Section F4(1).
6. All Sites that Face Water Hazards such as but not Restricted to, Saturation or Water that Drains Naturally towards the Building, shall be Provided with Drainage away from the Site through a Means of a Safe Approved Manner, as per SANS 10400 Part F Section F4(2).
7. Precautions are to be Taken to Limit the Amount of Dust & Noise Levels Arising from Construction that could Affect the Surrounding Areas as Stated in accordance with SANS 10400 Part F Section F6.
8. All Waste Material on Site to be Adequately and Frequently Removed as per SANS 10400 Part F Section F9.
9. Builders Sheds on Site to be in Compliance with SANS 10400 Part F Section F10.
PART G: EXCAVATIONS
1. Section 4.2 - Temporary and permanent Excavations to Existing or New Work.
PART H: FOUNDATIONS
1. Foundations are to be Rationally Designed by Approved Registered Professional Structural/Civil Eng. Prior to Commencement.
PART I: FLOORS
1. Section 4.1(c) - Slabs Supported by the Ground are to be Rationally Designed in accordance with SANS 10400 Part B.
2. Section 4.4.1(a) - Floors Supported by the Ground Shall be Designed by a Competent Person in accordance with SANS 10109.1.
3. Section 4.4.4 - Polyurethane Underfloor Membranes to have a Min. Thickness of 250 um.
4. Section 4.4.5 - Filling beneath floors to contain little to no organic material and no stone larger than 75mm.
5. Section 4.4.6 - Filling Beneath Floors are to be Moistened before Application at a Max. of 100mm.
6. Layers for Hand Compaction & 150mm Layers for Compaction through Mechanical Means. Layers are to be Compacted before the next Layer is added.
7. Section 4.4.7 - All Fill Exceeding 400mm in Depth Shall be Designed & Inspected by a Competent Person.

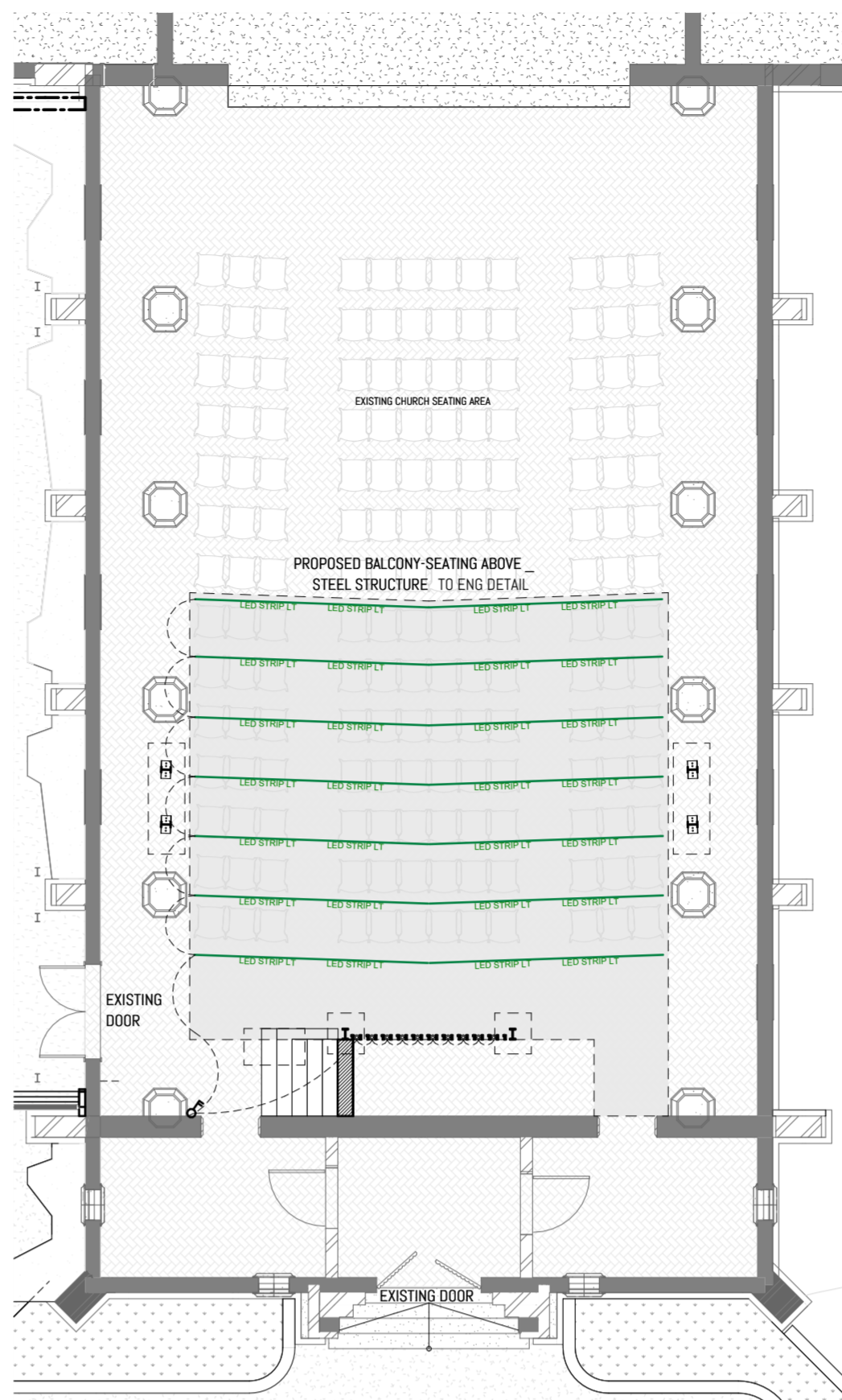
PART K: WALLS
1. Section 4.2, 4.4, 4.5, & 4.6 - Walls are to satisfy, where relevant on plans or otherwise noted below, as per SANS 10400 Part K Section 4.1(b).
2. Section 4.2.1.1 (a)(4) - Hollow & solid masonry units, in a single storey building, or the upper floor of a double storey unit, are to have an average compressive strength of no less than 3.0 MPa & 4.0 MPa respectively.
3. Section 4.2.1.1(a)(5), 4.2.1.1(b)(8) & 4.2.1.1(d)(2) - Mortar is to be class II mortar.
4. Section 4.2.1.1(d)(1) - Where free standing, retaining, parapet & balustrade walls are constructed of hollow & masonry units, the average compressive strength shall be not less than 3.0 MPa & 5.0 MPa respectively.
5. Section 4.2.1.2 - Construction of all walls to comply with SANS2001:CM1. Rod reinforcement shall comprise hard drawn wires that have a proof stress of 485MPa.
6. Section 4.2.1.4(a) - Metal wall ties are to have a min. thickness of galvanizing of 750 g/m².
7. New precast prestressed conc. lintels over openings are to be designed & approved by Professional Eng.
PART L - ROOFS
1. New roof to rational design by competent professional.
2. Section L4.1 - Roof assembly to comply with general requirements.
3. Section L4.2 - All waterproofing and coverings to comply, in particular with L4.2.2, L4.2.4, L4.2.6.
4. Section L4.5 - Any roof and ceiling to comply with fire safety requirements.
5. Section L4.6 - Lightweight steel structures to comply.
PART M - STAIRWAYS
1. Section M4.1 - All new steps to comply with general requirements.
2. Section M4.2 - All dimensions and head heights for new steps to comply.
3. Section M4.3 - All new steps to be provided with prevention against falling handrails.
PART N - GLAZING
1. Section N4.1 - All new glazing to comply with general requirements.
2. Section N4.2 - All new glazing to comply with requirements for glazing installations.
3. Section N4.3 - All new glazing to comply with transparent glazing requirements.
4. Section N4.4 - All new glazing to comply with safety glazing requirements.
PART O - LIGHTING & VENTILATION
1. Section O4.1 - All new lighting & ventilation to comply with general requirements.
2. Sections O4.2.1 & O4.2.2 - All new lighting to comply with requirements for natural & artificial ventilation.
3. Section O4.3.1 - All new rooms are to be provided with natural ventilation.
4. Section O4.3.2 - If required new rooms to be provided with artificial ventilation.
PART P - DRAINAGE
1. Section P4.1 - All new plumbing & drainage to comply with general requirements.
2. Section P4.2 - All new drainage pipes to comply.
3. Section P4.3.1 - All new sanitary fixtures to comply.

PART P: DRAINAGE (CONTINUED)
4. Section P4.14 - All new discharge pipes to comply.
5. Section P4.15 - All new drains to comply.
6. Section P4.19 - All new drains to be accessible.
7. Section P4.20 - New traps to be provided.
8. Note: all toilets & whb are existing.
9. New plumbing from kitchen sink to be connected to existing sewer pipe.
10. All new work to be carried out by a registered plumber.
PART R - STORMWATER DISPOSAL
1. Stormwater disposal subject to a rational design.
2. Section R4.1 - New stormwater disposal to comply with general requirements.
3. Section R4.2 - New stormwater system to provide control and disposal as required.
4. Section R4.3 - New gutters and downpipes to comply.
5. Note: new rainwater downpipes to be connected to existing stormwater system.
PART S - ACCESSIBILITY
1. Note the requirements for Part S form part of Parts D, M & T.
2. Section S4.1 - All new parts are to comply.
3. Section S4.2 - All new areas to comply with signage (signage is existing).
4. Section S4.4 - New accessible route will be provided; S4.4.2 & S4.4.3.
5. Section S4.5 - New ground and floor finishes in spaces to comply.
6. Section S4.6 - New doorways and doors to comply.
7. Section S4.7 - All new areas to comply with regards changes in level.
8. Section S4.8 - New ramp to comply at maximum gradient of 1:12.
9. Section S4.9 - New steps to comply.
10. Section S4.10 - Handrails to be provided.
11. Section S4.12 - Access WC is provided as existing.
PART T - FIRE PROTECTION
1. Section T4.1 - Note the requirements for Part S form part of Parts D, M & T.
2. Section T4.2 - All new areas to comply with signage (signage is existing).
3. Section T4.3 - Emergency lighting to be provided in new sections as required.
4. Section T4.37 - Portable fire extinguishers to be provided at a rate as noted in Table 10.

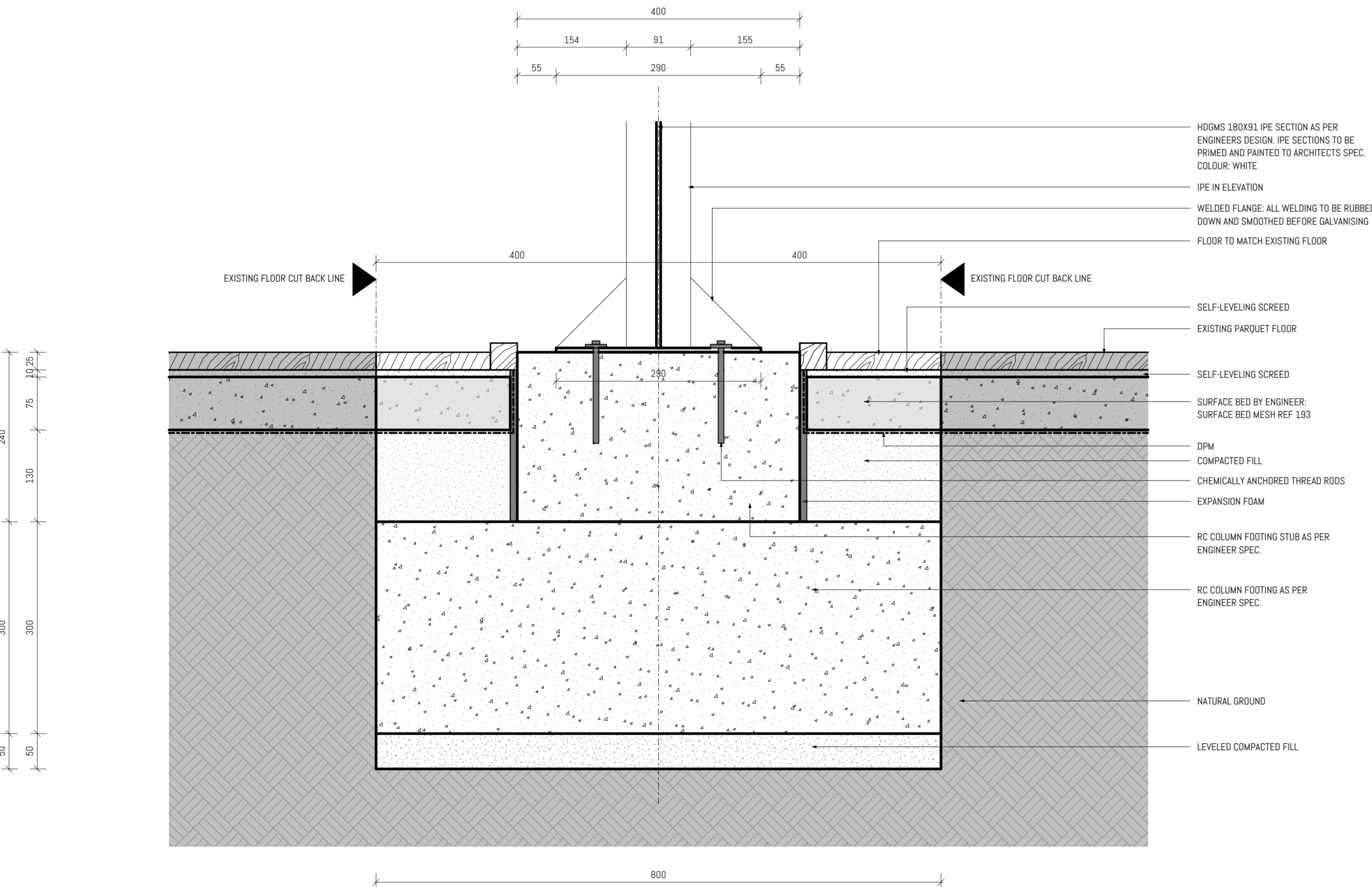
PART T - FIRE PROTECTION
1. Section T4.17 - New space to be provided with escape doors to comply.
2. Section T4.29 - New signage to be installed to comply.
3. Section T4.30 - Emergency lighting to be provided in new sections as required.
4. Section T4.37 - Portable fire extinguishers to be provided at a rate as noted in Table 10.
PART S - ACCESSIBILITY
1. Note the requirements for Part S form part of Parts D, M & T.
2. Section S4.1 - All new parts are to comply.
3. Section S4.2 - All new areas to comply with signage (signage is existing).
4. Section S4.4 - New accessible route will be provided; S4.4.2 & S4.4.3.
5. Section S4.5 - New ground and floor finishes in spaces to comply.
6. Section S4.6 - New doorways and doors to comply.
7. Section S4.7 - All new areas to comply with regards changes in level.
8. Section S4.8 - New ramp to comply at maximum gradient of 1:12.
9. Section S4.9 - New steps to comply.
10. Section S4.10 - Handrails to be provided.
11. Section S4.12 - Access WC is provided as existing.
FENESTRATION
Natural Environmental Controls:
1. Aggregate Conductance & Solar Heat Gain (SHGC) of the Glazing Shall not Exceed the Values Obtained through the Implementation of Table 5 as per SANS 204 Section 4.3.4.1.2.
2. Aggregate Conductance & SHGC of Glazing to be Calculated in accordance with SANS 204 Section 4.3.4.1.3.
3. Worst-Case Whole Glazing Element Performance Values to be Used in Calculations in accordance with Table 6 or Provided by Glazing Manufacturer as per SANS 204 Section 4.3.4.1.4.
4. Aggregate Air-Conditioning Energy Value Attributable to the Value Shall not Exceed the Allowance Obtained through the Implementation of Table 7 as per SANS 204 Section 4.3.4.2.2.
5. Aggregate Air Conditioning Energy Value to be Calculated in accordance with SANS 204 Section 4.3.4.2.3.
SHADING
1. All Values Obtained from Shading Elements of Glazing Shall be in accordance with SANS 204 Section 4.3.5.1 (a)(1)(2), (b)(1)(2) & Section 4.3.5.2.
ROOF ASSEMBLIES
1. Roof Assemblies are to Achieve a Min. R-value of 2,7m²-K/W with a Downward Heat Flow as per Table 6 in accordance with SANS204 Section 4.3.6.1.1.



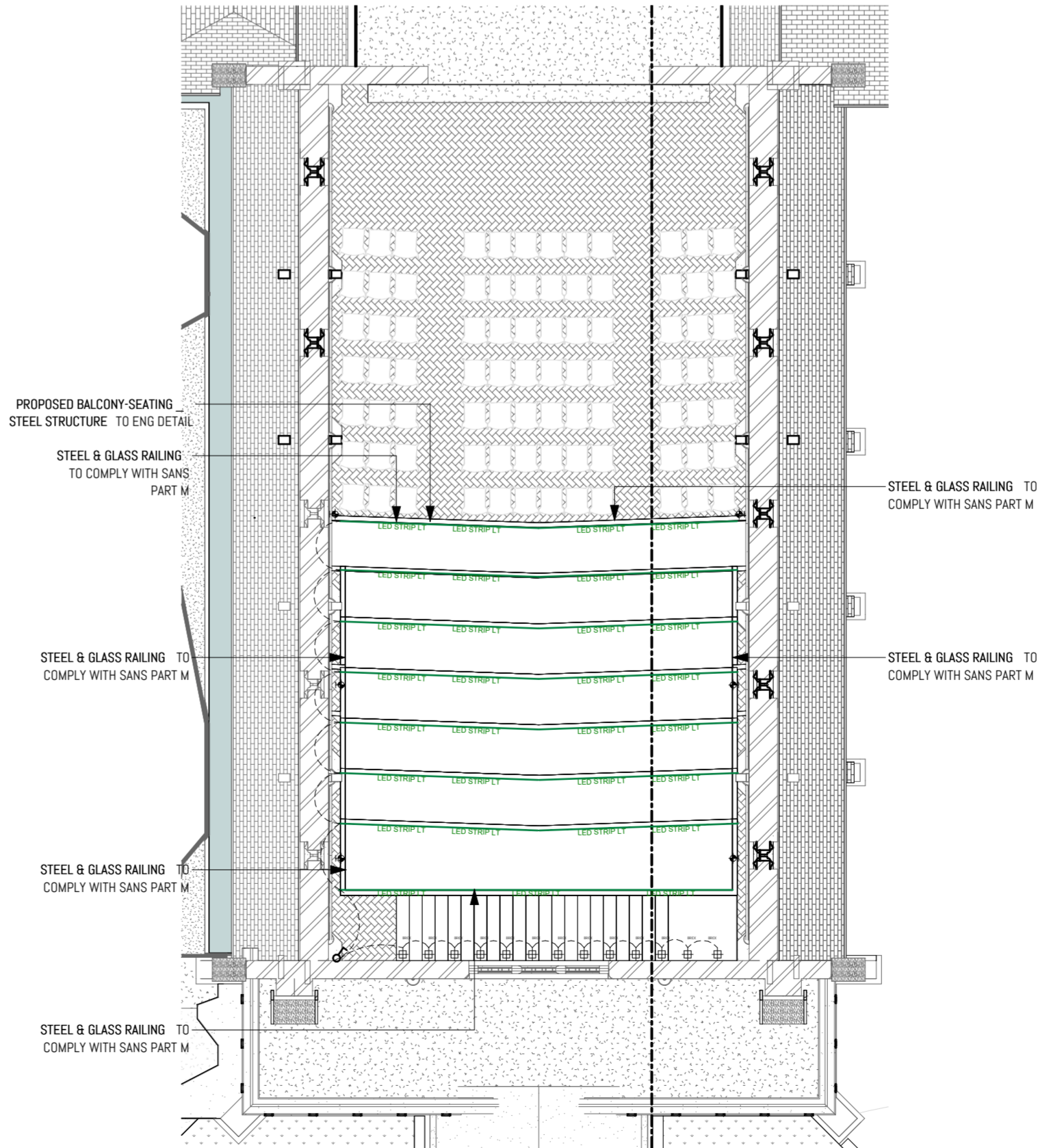
1 | D03_BALUSTRADE DETAIL



3 | CS_CHURCH_GF - ELEC



2 | D01_FOOTING DETAIL



4 | CS_CHURCH_FF - ELEC

Electrical Legend	
	Single Switch
	Two way Switch
	Dimmer Switch
	Recessed Downlight
	Ceiling Bulkhead Light
	Pendant
	Internal wall light
	External wall light (waterproof)
	Garden light
	Recessed Brick Light
	New Dbl Plug
	New Waterproof Plug
	Fluorescent dbl light
	Fluorescent Sngl light
	LED Vertical strip Lights
	Solar LED Ground Lights
	Distribution Board
	LED STRIP LIGHT
	STAIR

KEYNOTE CODES & DESCRIPTIONS	
CATEGORY	PLUMBING - SANITARY - DRAINAGE
CODE	DESCRIPTION
WC	WATER CLOSET - WC 110mm Ø uPVC WP _ WALL MOUNTED CISTERN - GEBRUIT CONCEALED CISTERN _ WITH FLUSH PLATE ACCESS
WHB	WASH HAND BASIN - WHB 50mm Ø uPVC WP _ VANITY MOUNTED
VAN-01	WALL MOUNTED VANITY: MARBLE / GRANITE COUNTERTOP AT 700MM ABOVE FFL WHB MOUNTED ONTO SURFACE. TAP MOUNTED ONTO WHB
SS	STUB STACK 110mm Ø uPVC STUB STACK TO PLUMBING SPECIALIST DETAIL
RWOP	RAINWATER DOWNPIPE: 160mm DIA uPVC CIRCULAR DOWNPIPE TO PLUMBING SPECIALIST SPEC, UNLESS OTHERWISE SPECIFIED
SRS	STORMWATER RETICULATION SYSTEM: 180mm DIA uPVC PIPE TO PLUMBING SPECIALIST SPEC, UNLESS OTHERWISE SPECIFIED
FB-01	FULBONE OUTLET
ACP-01	ACCESS PANEL: 300mm X 300mm
SANS NBR	ALL WORKS TO COMPLY WITH SANS NBR 10400
PIPING LEGEND	
COLD WATER MAIN	COLD >
COLD WATER - SUPPLY	COLD >
HOT WATER MAIN	HOT >
HOT WATER - SUPPLY	HOT >
WASTEWATER: 50mm DIA uPVC PIPE	WASTEWATER >
SEWERAGE: 110mm DIA uPVC PIPE TO SS AND MAIN SEWERAGE LINE	SEWERAGE >
SEWERAGE: 110mm DIA uPVC PIPE LAD TO MIN 1:40 FALL TO WATER TREATMENT PLANT	SEWERAGE >
STORMWATER: 110mm DIA uPVC PIPE LAD AT MIN 1:40 TO DISCHARGE TO GARDEN	STORMWATER >
GAS SUPPLY: 20mm DIA uPVC FLEX PIPE LAD BY SPECIALIST	GAS >

REVISION	DATE	DESCRIPTION

PROJECT NOTES:

ALL RELEVANT DETAIL LEVELS AND DIMENSIONS ARE TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. THE ARCHITECT ACCEPTS NO RESPONSIBILITY FOR ERRORS RESULTING FROM MISINTERPRETATION OF THE DRAWINGS. ALL WORK TO BE CARRIED OUT STRICTLY IN ACCORDANCE WITH NATIONAL BUILDING REGULATIONS AND LOCAL AUTHORITY REGULATIONS (NOT SCALE). THIS DRAWING USE FIGURED DIMENSIONS ONLY.

OWNERSHIP OF RIGHTS AND COPYRIGHT IN AND TO ALL PLANS, DESIGNS, DRAWINGS AND IMAGES OF ANY NATURE PRODUCED BY BOSHOFF ARCHITECTS PTY LTD, INCLUDING WORK RESULTING FROM THEM, SHALL AT ALL TIMES REMAIN VESTED SOLELY IN BOSHOFF ARCHITECTS PTY LTD AND ANY PROVISION TO THE CONTRARY IN TERMS OF THE COPYRIGHT ACT NO 98 OF 1978 IS HEREBY SPECIFICALLY EXCLUDED.

THE CLIENT WILL INDEMNIFY AND HOLD HARMLESS BOSHOFF ARCHITECTS PTY LTD AGAINST ALL CLAIMS, COSTS AND DEMANDS (INCLUDING IN RESPECT OF NEGLIGENCE) BY THIRD PARTIES IN RESPECT OF SERVICES. THE LIABILITY OF BOSHOFF ARCHITECTS PTY LTD TO THE CLIENT ARISING OUT OF THE PERFORMANCE OF THE SERVICES, WHETHER UNDER THE LAW OF CONTRACT, TORT OR OTHERWISE (INCLUDING STATUTES), SHALL BE LIMITED TO THE COST OF RECEIVING THE WORKS OR THE AMOUNT OF FEE PAID BY THE CLIENT FOR THE SERVICES.

BOSHOFF ARCHITECTS PTY LTD SHALL BE DISCHARGED FROM ANY AND ALL LIABILITY IN RESPECT OF THE SERVICES, WHETHER UNDER THE LAW OF CONTRACT, TORT OR OTHERWISE, ON THE EXPIRATION OF ONE YEAR FROM THE COMPLETION OF THE SERVICES AND THE CLIENT (OR ANY PERSONS CLAIMING THROUGH THE CLIENT) SHALL NOT BE ENTITLED TO COMMENCE ANY CLAIM, ACTION OR DEMAND AGAINST BOSHOFF ARCHITECTS PTY LTD OR ANY DIRECTOR OR EMPLOYEE OF THE COMPANY IN RESPECT OF THE SERVICES AFTER THAT DATE.

BOSHOFF ARCHITECTS PTY LTD UNDERTAKES TO EXERCISE REASONABLE CARE IN CARRYING OUT THE SERVICES. THERE SHALL BE NO LIABILITY IN RESPECT OF ANY FAILURE BEYOND REASONABLE CARE. ALL EXISTING SITE CONDITIONS INDICATED ON PLANS ARE TO BE VERIFIED ON SITE. THE ARCHITECT HEREBY DISCLAIMS ANY LIABILITY IN RESPECT OF ANY APPLICATIONS OF INCORRECTLY INDICATED EXISTING SERVICES. ALL SPECIALISTS TO ENSURE THAT EXISTING SITE CONDITIONS ARE VERIFIED BEFORE COMMENCEMENT OF WORK.

ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEERS DRAWINGS

CORNER BEACONS TO BE LOCATED AND EXPOSED BEFORE WORK ON SITE COMMENCES

CONTRACTOR TO CHECK ALL DIMENSIONS AND LEVELS SCHEDULES AND DETAILS, BEFORE THE RELEVANT WORK IS PLACED IN HAND, AND REPORT ANY DISCREPANCIES TO THE DESIGNER/OWNER

ALL WRITTEN DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALING

ALL REINFORCED CONCRETE, SLAB, FOUNDATIONS COLUMN DETAILS, BEAMS, STAIRS, AND RETAINING WALLS ARE TO BE BUILT STRICTLY IN ACCORDANCE WITH PROFESSIONAL ENGINEER/DETAIL AND UNDER HIS SUPERVISION

CONTRACTOR TO ENSURE THAT NO CHANGES IN LEVELS ARE MADE OVER LOCAL AUTHORITY SERVICES OR UNDERGROUND SERVICES UNLESS PERMISSION HAS BEEN GIVEN IN WRITING BY THE LOCAL AUTHORITY. ANY DISCREPANCIES AND DIMENSIONS ARE TO BE BROUGHT TO THE DESIGNER/OWNER'S ATTENTION IMMEDIATELY

THE CONTRACTOR IS TO INSPECT THE OFFICIAL, APPROVED COPIES OF THE DRAWINGS TO ENSURE THAT ALL AMENDMENTS HAVE BEEN TAKEN INTO ACCOUNT

THE ATTENTION OF THE OWNER IS DRAWN TO THE FACT THAT CHANGES TO THE PLAN AND/OR SPECIFICATION AFTER OFFICIAL APPROVAL IS LIKELY TO INVALIDATE THAT APPROVAL

ALL FOUNDATIONS TO BE TAKEN DOWN BELOW NATURAL GROUND LEVEL

NATURAL GROUND LINE IN APPROXIMATE POSITION ONLY AND NO CLAIM CAN BE MADE FOR ANY DISCREPANCIES ON SITE

ARCHITECTS SIGNATURE
CLIENT AUTHORIZATION

STATUS
SUBMISSION

BOSHOFF ARCHITECTS
ADDRESS: 3 MILLAR ROAD, WINDERMERE, 4001
EMAIL: LOUIS@BOSHOFFARCHITECTS.COM
TELEPHONE: +27 83 304 9277
SACAP REG. NO: Pr Arch 43092891
CIPRO. NO: 2019/315078/07
PRAC. NO: PB 6125

284 FLORIDA RD - INCITE BALCONY
PROJECT NAME: PROPOSED ADDITIONS AND ALTERATIONS TO ERF R/687, NEW ONGRADE PARKING, ABLUTIONS AND BALCONY
ERF NO. LOCATION: 288 FLORIDA ROAD, DURBAN
CLIENT: INCITE CHURCH

BALCONY DETAILS		
SCALE (A1)	DRAWING NO.	DATE
As indicated	64_100-06	29/05/2023
DRAWN BY	CHECKED BY	SIGNED BY
MF	UB	UB
PROJECT NUMBER	WORK STAGE	REVISION
24-1895-11	SUBMISSION	