

PROJECT SUMMARY KEYNOTE CODES & DESCRIPTIONS GR 01 ATEGORY PLUMBING - SANITARY - DRAINAGE 2740 m² WATER CLOSET: WC 110mm Ø uPVC WP _ WALL MOUNTED ETHEKWINI CISTERN: GEBERIT CONCEALED CISTERN WITH FLUSH PLATE ACCESS SH HAND BASIN: WHB 50mm Ø uPVC WP _ VANITY MOUNTED 2740 m² : (41.2% x Site Area) 1131 m² WALL HUNG VANITY: MARBLE / GRANITE COUNTERTOP AT 700MM ABOVE : (3% x Site Area) 82 m² WHB MOUNTED ONTO SURFACE. TAP MOUNTED ONTO WHB STUB STACK: 110mm Ø uPVC STUB STACK TO PLUMBING SPECIALIST : (44.2% Site Area) 1213 m² IWATER DOWNPIPE: 160mm DIA uPVC CIRCULAR DOWNPIPE TO : (40% of Site Area) 1096 m² IMBING SPECIALIST SPEC, UNLESS OTHERWISE SPESIFIED (35.3% of Site Area) 971 m² MWATER RETICULATION SYSTEM: 160mm DIA uPVC PIPE TO IMBING SPECIALIST SPEC, UNLESS OTHERWISE SPESIFIED : (0% of Site Area) 0 m^2 FIII RORF OUTLET TOTAL NEW COV. : (35.3% of Site Area) 971 m² ACCESS PANEL: 300mm X 300mm SANS NBR LALL WORKS TO COMPLY WITH SANS NBR 10400

LIGHTING LEGEND AND CALCULATIONS COLD WATER MAIN OLD WATER : SUPPLY OT WATER MAIN HOT WATER: SUPPLY WASTEWATER: 50mm DIA uPVC PIPE SEWERAGE : 110mm DIA uPVC PIPE TO SS AND MAIN __----SEWERAGE LINE SEWERAGE: 110mm DIA uPVC PIPE LAID TO MIN 1:40 FAL SEWERAGE > TO WATER TREATMENT PLANT ORMWATER: 110mm DIA uPVC PIPE LAID AT MIN 1:40 GAS SUPPLY: 20mm DIA uPVC FLEX PIPE LAID BY

Fluorescent dbl light → → → LED Strip Lights ESTIMATE MAXIMUM ENERGY DEMAND AS PER SANS 10420 STIMATE MAXIMUM ANNUAL ENERGY DEMAND AS PER SANS 10420 ESTIMATED ANNUAL ENERGY CONSUMPTION

NOTE : ENG-01

ALL CIVIL AND STRUCTURAL COMPONENTS TO BE SPECIFIED AND VERIFIED BY COMPETENT PR. ENG

L. <u>DEVELOPMENT GUIDELINES</u>

Il earthworks are always to be completed in strict accordance with SANS 1200 to promote and maintain site No excavation or trenching may be closer than a distance equal to 1.5 times the depth of the excavation or

trench or 1.25m (whichever is greater) to an existing structure. A special consent of a competent person shall be btained, and the Contractor will have to provide a Construction method statement prior to commencement of Attention shall be given to stormwater, surface water, ground water and standing water. All water is to be kept

under control at all stages of excavation and construction, ensuring that there is no loss of ground due to nderground water erosion Ideally, all surface water should be directed away from the excavations and structures during and after

(A) CUTTING: Any cuttings should assume a safe batter of 1:1,75 (30°) to ensure their long-term stability.

oundation excavations not exceeding 1.5m depth could be steepened to a 1:1 (45°) batter at the discretion of the Engineer and to be carried out as per SABS 1200D. B) FILLING: Any fill under the foundation must be constructed with G5 material in layers not exceeding 150mm ose thickness and be compacted to at least 95% Mod AASHTO Density. Fills should be compacted to within 2% of the optimum moisture content (OMC) and should they become wetted up, then they must be allowed to dry out until the OMC is obtained. Where an excavation is backfilled, ensure that the backfill is so placed and

ompacted as to provide lateral support to the soil adjacent to the excavation. Thus preventing and detrimental ovements to the existing soil. Ensure all surfaces of contact between foundations, pier or column have only . SITE DRAINAGE: Although ground water seepage was not encountered. The occurrence of a perched water ble during the rainy season (summer months) especially after heavy rainfall should be accounted for in the design of retaining structures (installation of subsoil drains and damp proofing measures). Where encountered

during construction subsoil seepage should be dealt with symptomatically as and when it occurs. . PAVEMENTS & SURFACE BEDS: As residual soils are potentially compressive, surface beds over residual soils are to be suspended. A soft board filler or flexible lining placed between the floor slab and wall are recommended. The topsoil is to be removed and Subgrade soils below the surface bed is to be ripped and to a minimum of

50mm and compacted to 95% MOODASHTO. FOUNDATION RECOMMENDATIONS: Based on our field observations, the soil is considered generally suitable or the proposed Alterations and additions to existing dwelling. All foundation loads should be placed on the cut soil at a minimum depth of 800mm -1000mm below the natural ground line and no foundations are to be cast nto any fill material. We recommend that all foundations to be reinforced concrete strip foundations as per tructural engineer's design. Foundation loads shall be minimum 100 KPA bearing capacity. The bottom of the pundation excavation should be cleared of any loose or remolded soft material prior to casting any concrete. Provision for movement between floors and walls should be allowed for in the design (for e.g. Provision of onstruction joints and use of appropriate soft board between walls and floors) as per a Structural engineer 's Blinding must be cast as soon as foundations have been inspected and approved by the engineer. A minimum 1m concrete apron slab is recommended around the structure to prevent foundation soils from wetting up in the event of rains or adversely drying up excessively. The surrounding ground should also be graded away from the

structure to limit infiltration of water into the subsoils immediately beneath the foundation. construction to be carried out in accordance with building regulations Home Building Manual (NHBRC). All

SOIL POISONING NOTE:

- SOIL POISONING TO BE CONDUCTED PRIOR TO CONSTRUCTION OF NEW WORKS BY APPROVED -
- SOIL POISONING TO COMPLY WITH :SANS 10124:2006 The application of soil insecticides for the protection of buildings

ASSUME LIGHTS ARE ON FROM 17:00 - 22:00 EACH DAY/YEAR (5H/DAY) 52(WEEKS) 7 (DAYS) X 4 (H) = 1820H.a LIGHTS =351W OR 0.35KW

CONCLUSION: THE DESIGN COMPLIES WITH THE REQUIREMENT OF SANS 10400 - XA FOR ENERGY CONSUMPTION.

- FLOOR AREA LESS THAN 500 SO M. - STANDARD CONCRETE STIP FOUNDATION AS PER ENGINEER.

NO IN FLOOR OR UNDER FLOOR HEATING

ADDITIONS AND ALTERATIONS

RELIGIOUS STRUCTURE

KWAZULU - NATAL

NORTH

MUST BE RETRO-FITTED WITH ENERGY EFFICIENT LIGHT BULBS AND FITTINGS

 2740 m^2

ETHEKWINI - DURBAN

1213 m² (INTERNAL FLOOR AREA)

CONSHAPPICAN STALLATION TO BE ENDORSED BY SPECIALIST BEFORE CONSTRUCTION STARTS.

2. ALL LIGHT FITTINGS IN THE EXISTING HOUSE WHICH DO NOT FORM PART OF THE RENOVATION,

BUILDING DESCRIPTION

PROVINCE

TY / TOWN

CLIMATIC ZONE

DRIENTATION

TOTAL AREA

NETT AREA

ESTIMATED ENERGY

Ceiling Bulkhead Light

Recessed Downlight

Total NEW Watts

0.49KW X 1820H.a = 891.8 KWH.a - Regulation / Allowed

0.351KW X 1820H.a = 637 KWH.a - Provided / Proposed

INSULATION TO BE INSTALLD AROUND VERTICAL EDGE OF BUILDINGS PERIMETER: WHICH SHALL A) HAVE A R VALUE OF NOT LESS THAN 1.

ALL GARDEN AND EXTERIOR LIGHTS MUST TAKE POWER FROM A SOLAR / RENEWABLE SOURCE

OTHER LIGHT FITTINGS AS PER OWNERS APPROVAL ON CONDITION THAT THE WATT USAGE PER LIGHT FITTING DOES

B) RESIST WATER ABSORPTION IN ORDER RETAIN ITS WATER ABSORPTION PROPERTIES, AND C) BE CONTINUOUS FROM THE ADJACENT FINISHED GROUND LEVEL 1) TO A DEPTH OF NOT LESS THAN 300MM, OR

2) FOR THE FULL DEPTH OF VERTICAL EDGE OF CONCRETE SLAB-ON-GROUND

ROOF TO BE DESIGNED - INSPECTED AND ENDORSED BY ENGINEER ROOF 1: KLIPLOK 700 WITH 80MM LAMBDABOARD INSULATION LAID ON TOP OF THE PURLINS. 12MM NUTEC ACCORDING TO SANS 10400 XA AND SANS 204 THE MINIMUM THERMAL RESISTIVITY VALUE IS AS FOLLOWS Total required resistivity

SANS 10400 XA - PART 1 + SANS 204 ENERGY

Actual Wattage | Allowed Wattage

W per SQM

Total Watts

350W > 344W

[W X QTY]

0 W

90 W

344 W

5KW/SQ M .a X 99 SQ M = 0.49 KW.a [a - 1(YEAR)]

10 W 0 0 W

36 W 0 0 W

7 W 24 154 W

10 W | 10 | 100 W

5W/SQM X 99 = 495W

Proposed Allowed

637 KWH.a < 891.8 KWH.a

THEREFORE COMPLIES

20 W 0

15 W 6

EFFICIENCY CALCULATIONS

RENOVATIONS AND ADDITIONS:

INCITE CHURCH

CALCHIAT MALL CATORITATIONS	WALLS TO BE DESIGNED - INSDE	TED AND ENDODGED	D BY ENGINEED
EPS INSULATION : THICKNESS OF INSULATION D=R X K= 3.35 X 23=0.77M		77 mm	
Minimum value of added thermal resistivity for required insulation		3,3	
R value of roof & ceiling material calculated for concrete tiles & plaster board ceiling		0,4	
Total R value is a combination of roof assembly $\boldsymbol{\aleph}$ insulation	05	3,7	UP
Notes.		$R = (m^2K/W)$	flow

EXIEKNAL WALL GALGULAIIUNS WALL TYPE: OCCUPANCY CODE BUILDING DESCRIPTION RELIGIONS STRUCTURE DOUBLE SKIN MASONRY, PLASTERED CLIMATIC ZONE INTERNALLY AND EXTERNALLY 0.35 R VALUE - MINIMUM R VALUE - WALL R=1/U=0.05+0.14+0.14+0.026+0.026+0.11=0.6 > 0.35WALL TYPE COMPLIES WITH MINIMUM TOTAL R - VALUE OF 0.35 FOR EXTERNAL WALLS. CONCLUSION

HOT WATER SYSTEM TO BE DESIGNED -HOT WATER INSPECTED AND ENDORSED BY ENGINEER **SYSTEM**COMODATION RELIGIONS BUILDING - 115L/CAPITA/DAY ASSUMED HOT WATER CONSUMPTION 2 PER DAY ASSUMED DAILY HOT WATER CONSUMPTION ASSUMED ANNUAL HOT WATER CONSUPTION 200 KL (BASED ON DAILY DESIGN OCCUPANCE PER WEEK) 50% OF DAILY HOT WATER CONSUMPTION 115L (PROVIDED BY MEANS OTHER THAN ELECTRICAL RESISTANCE) INSTALLATION REQUIREMENTS INTERN DIAMETER OF HOT WATER SERVICE PIPES MINIMUM REQUIRED R - VALUE FOR VESSEL HOT WATER VESSELS/ TANKS MINIMUM REQUIRED R - VALUE OF PIPE INSULATION RELIGIONS BUILDING TO BE PROVIDED WITH 1 X 300L HOT WATER TANK (GEYSER) TO COMPLY WITH SANS 10254. HOT WATER PUMP TO BE INSTALLED TO HOT WATER TANK BY SPECIALIST TO COMPLY WITH SANS 10400. THE DESIGN COMPLIES WITH THE REQUIEMENTS OF SANS 10400-XZ:2011 AND SANS 10252 - 1:2004 FOR HOT WATER CALCULATIONS.

Section T4.17 - New space to be provided with escape doors to comply

Section S4.2 - All new areas to comply with signage (signage is existing)

Section S4.4 - New accessible route will be provided, S4.4.2 & S4.4.3

Section S4.5 - New ground and floor finishes in spaces to comply

Section S4.7 - All new areas to comply with regards changes in level

Section S4.8 - New ramp to comply at maximum gradient of 1:12

Section T4.30 - Emergency lighting to be provided in new sections as required

Section T4.37 - Portable fire extinguishers to be provided at a rate as noted in Table 10

Aggregate Conductance & Solar Heat Gain (SHGC) of the Glazing Shall not Exceed the

Worst-Case Whole Glazing Element Performance Values to be Used in Calculations in

Obtained through the Implementation of Table 7 as per SANS 204 Section 4.3.4.2.2

All Values Obtained from Shading Elements of Glazing Shall be in Accordance with SANS 204

Aggregate Conductance & SHGC of Glazing to be Calculated in Accordance with

Values Obtained through the Implementation of Table 5 as per SANS 204 Section 4.3.4.1.2

Accordance with Table 6 or Provided by Glazing Manufacturer as per SANS 204 Section 4.3.4.1.4

Aggregate Air-Conditioning Energy Value Attributable to the Value Shall not Exceed the Allowance

Aggregate Air Conditioning Energy Value to be Calculated in Accordance with SANS 204 Section 4.3.4.2.3

Section T4.29 - New signage to be installed to comply

Section S4.1 - All new parts are to comply

Section S4.9 - New steps to comply

SANS 204 Section 4.3.4.1.3

Section S4.10 - Handrails to be provided

11. Section S4.12 - Access WC is provided as existing

Section S4.6 - New doorways and doors to comply

Note the requirements for Part S form part of Parts D, M & T

PART A: GERNERAL PRINCIPALS & REQUIREMENTS

Section A1(1) - All planning, designing α supervision of erection of the building to be undertaken by a

Section A1(3) - All structural work to be approved & signed off by a Professional Engineer Section A1(5) - Building Work is only to commence on approval by the relevant Building Control Officer Section A2 - All plans to be submitted to Local Authority & are to be aligned with Section A5, A6, A7, & A8 Section A4 - All additional information required by the Local Authority to be submitted as instructed Section A13 - All building materials & tests conducted to materials are to be approved by a Recognised Body,

Section A14(2) - Structural systems of any building are not to be compromised at any stage of construction and any concerns or queries to be directed to the Architect/Eng.immediately Section A18 - All plumbing work to be carried out by an Approved Plumber

are to be submitted to the Local Authority Section A25 - Whereby any Persons is found to deviate from the Approved Plans & disregard the Application

of SANS 10400 shall be subject to any actions taken by the Local Authority or Enforcement Officer Section B4 - The Appointed Builder shall be a Registered Competent Builder in accordance with the Housing Consumers Protection Act, 1998

PART B: STRUCTURAL DESIGN

Registered Professional Structural/Civil Engineer prior to commencement on site

2,1m AFFL in any bathroom, laundry or room containing a toilet pan, with reference to Table 2

PART D: PUBLIC SAFETY Section 4.1 - All new barriers to comply

Section 4.2.1 - All balustrades or walls provided to protect against change in level. Section 4.2.2 - Any unprotected change in level that is 1m above the adjacent floor level will be fitted with a

balustrade or parapet wall not less than 1m in height Section 4.2.4 - Balustrades are not to haveoopenings that permit the passage of a 100mm dia. ball Section 4.3 - New ramps to be used by pedestrians shall be inccordance with requirements in Part S Section 4.4.4 - Construction of any steel fence or gate to comply with SANS 1390

Section E1(1) - All demolition work to be approved, in writing, by the Local Authority. Section E1 (2)(3)(4) - Demolition work to be in accordance with all safety requirement standards &, if further instructed by the Local Authority.

SANS 10400 Part B Section 4.4.1(a) - Floors Supported by the Ground Shall be Designed by a Competent Person in

Accordance with SANS 10109-1 Section 4.4.3 - Floors Supported by the Ground Shall not Exceed a Slope of more than 4mm:1m Section 4.4.4 - Polyolefin Underfloor Membranes to have a Min. Thickness of 250 um Section 4.4.5 - Filling beneath floors to contain little to no organic material and no stome larger than 75mm

Section 4.4.6 - Filling Beneath Floors are to be Moistened before Application at a Max. of 100mm Layers for Hand Compaction & 150mm Layers for Compaction through Mechanical Means. Layers are to be Compacted before the next Layer is added, Section 4.4.7 - All Fill Exceeding 400mm in Depth Shall be Designed & Inspected by a Competent Person

Section N4.2 - All new glazing to comply with requirements for glazing installations Section N4.3 - All new glazing to comply with transparent glazing requirements Section N4.4 - All new glazing to comply with safety glazing requirements

PART 0 - LIGHTING & VENTILATION

Section 04.1 - All new lighting & ventiltion to comply with general requirements Sections 04.2.1 & 04.2.2 - All new lighting to comply with requirements for natural & artifical ventilation Section 04.3.1 - All new rooms are to be provided with natural ventilation Section 04.3.2 - If required new rooms to be proveded with artifical ventilation

Section P4.1 - All new plumbing & drainage to comply with general requirements Section P4.2 - All new drainage pipes to comply. Section P4.3.1 - All new sanitary fixtures to comply.

PART P: DRAINAGE (CONTINUED)

Section P4.14 - All new discharge pipes to comply. Section P4.15 - All new drains to comply.

Section P4.19 - All new drains to be accessible

Section P4.20 - New traps to be provided Note: all toilets & whb are existing New plumbing from kitchen sink to be connected to existing sewer pipe

10. All new work to be carried out by a registered plumber

PART R - STORMWATER DISPOSAL

Stormwater disposal subject to a rational design Section R4.1 - New stormwater disposal to comply with general requirements.

Section R4.2 - New stormwater system to provide control and disposal as required Section R4.3 - New gutters and downpipes to comply

Note: new rainwater downpipes to be connected to existing stormwater system

PART S - ACCESSIBLITY

Note the requirements for Part S form part of Parts D, M & T Section S4.1 - All new parts are to comply

Section S4.2 - All new areas to comply with signage (signage is existing) Section S4.4 - New accessible route will be provided, S4.4.2 & S4.4.3 Section S4.5 - New ground and floor finishes in spaces to comply

Section S4.6 - New doorways and doors to comply Section S4.7 - All new areas to comply with regards changes in level Section S4.8 - New ramp to comply at maximum gradient of 1:12 Section S4.9 - New steps to comply

Section S4.10 - Handrails to be provided

Section S4.12 - Access WC is provided as existing

Section T4.1 - All new spaces to comply with general requirements Section T4.2 - All new spaces to comply with relevant safety distances

Section T4.16 - At least one escape route to be provided

Section T4.13 - All new ceilings to comply Section T4.14 - All new floor finishes to comply

Section T4.5 - All new spaces/materials to comply with relevant fire performance Section T4.7 - All new structural elements to comply so that relevant fire stability is acheived Section T4.12 - All new roof assembles to comply with relevant parts

ROOF ASSEMBLIES

PART T - FIRE PROTECTION

PART S - ACCESSIBLITY

FENESTRATION

Natural Environmental Controls:

Roof Assemblies are to Achieve a Min. R-value of 2,7m²-K/W with a Downward Heat Flow as per Table 8 in Accordance with SANS204 Section 4.3.6.1.1

Section 4.3.5.1 (a)(1)(2), (b)(1)(2) & Section 4.3.5.2

DATE DESCRIPTION

PROJECT NOTES:

ALL RELEVANT DETAILS, LEVELS AND DIMENSIONS ARE TO BE CHECKED ON SITE PRIOR TO MENCEMENT OF WORK. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE RCHITECT. THE ARCHITECT ACCEPTS NO RESPONSIBILITY FOR ERRORS RESULTING FROM IISINTERPRETATION OF THE DRAWINGS, ALL WORK TO BE CARRIED OUT STRICTLY IN ACCORDANCE WITH OWNERSHIP OF RIGHTS AND COPYRIGHT IN AND TO ALL PLANS, DESIGNS, DRAWINGS AND IMAGES OF ANY NATURE PRODUCED BY BOSHOFF ARCHITECTS (PTY) LTD, INCLUDING WORK RESULTING FROM THEM,

SHALL AT ALL TIMES REMAIN VESTED SOLELY IN BOSHOFF ARCHITECTS (PTY) LTD AND ANY PROVISION T HE CONTRARY IN TERMS OF THE COPYRIGHT ACT NO.98 OF 1978 IS HEREBY SPECIFICALLY EXCLUDE THE CLIENT WILL INDEMNIFY AND HOLD HARMLESS BOSHOFF ARCHITECTS PTY LTD AGAINST ALL CLAIMS OSTS AND DEMANDS (INCLUDING IN RESPECT OF NEGLIGENCE) BY THIRD PARTIES IN RESPECT OF THE LIABILITY OF BOSHOFF ARCHITECTS PTY LTD TO THE CLIENT ARISING OUT OF THE PERFORMANCE OF THE SERVICES WHATEVER LINDER THE LAW OF CONTRACT TORT OR OTHERWISE (INCLUDING STATUTE)

HALL BE LIMITED TO: THE COST OF RECTIFYING THE WORKS OR THE AMOUNT OF FEE PAID BY THE CLIENT BOSHOFF ARCHITECTS PTY LTD SHALL BE DISCHARGED FROM ANY AND ALL LIABILITY IN RESPECT OF THE SERVICES, WHETHER UNDER THE LAW OF CONTRACT, TORT OR OTHERWISE, ON THE EXPIRATION OF ONE YEAR FROM THE COMPLETION OF THE SERVICES AND THE CLIENT (OR ANY PERSONS CLAIMING THROUGH THE CLIENT) SHALL NOT BE ENTITLED TO COMMENCE ANY CLAIM, ACTION OR DEMAND AGAINST BOSHOFF ARCHITECTS PTY LTD (OR ANY DIRECTOR OR EMPLOYEE OF THE COMPANY) IN RESPECT OF THE SERVICES

SERVICES, THERE SHALL BE NOT LIABILITY IN RESPECT OF ANY FAILURE BEYOND REASONABLE CARE ALL EXISTING SITE CONDITIONS INDICATED ON PLANS ARE TO BE VERIFIED ON SITE. THE ARCHITECT EREWITH INDEMNIFIES HIMSELF/HERSELF OF ANY IMPLICATIONS OF INCORRECTLY INDICATED EXISTING SERVICES. ALL SPESICIALISTS TO ENSURE THAT EXISTING SITE CONDITIONS ARE VERIFIED BEFORE

ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEERS DRAWINGS CORNER BEACONS TO BE LOCATED AND EXPOSED BEFORE WORK ON SITE COMMENCES ONTRACTOR TO CHECK ALL DIMENSIONS AND LEVELS SCHEDULES AND DETAILS, BEFORE THE RELEVANT

WORK IS PLACED IN HAND, AND REPORT ANY DISCREPANCIES TO THE DESIGNER/OWN L WRITTEN DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALING ALL REINFORCED CONCRETE, SLABS, FOUNDATIONS COLUMN DETAILS, BEAMS, STAIRS, AND RETAINING ALLS ARE TO BE BUILT STRICTLY IN ACCORDANCE WITH PROFESSIONAL ENGINEERSDETAIL AND UNDER

CONTRACTOR TO ENSURE THAT NO CHANGES IN LEVELS ARE MADE OVER LOCAL AUTHORITY SERVITUDES OR UNDERGROUND SERVICES UNLESS PERMISSION HAS BEEN GIVEN IN WRITING BY THE LOCAL AUTHORITY ANY DISCREPANCIES AND OMISSIONS ARE TO BE BROUGHT TO THE DESIGNERS/OWNERS ATTENTION

THE CONTRACTOR IS TO INSPECT THE OFFICIAL APPROVED COPIES OF THE DRAWINGS TO ENSURE THAT THE ATTENTION OF THE OWNER IS DRAWN TO THE FACT THAT CHANGES TO THE PLAN AND/OR SPECIFICATION AFTER OFFICIAL APPROVAL IS LIKELY TO INVALIDATE THAT APPROVAL ALL FOUNDATIONS TO BE TAKEN DOWN BELOW NATURAL GROUND LEVEL.



NATURAL GROUND LINE IN APPROXIMATE POSITION ONLY AND NO CLAIM CAN BE MADE FOR ANY

SUBMISSION

BOSHOFFARCHITECTS

3 MILLAR ROAD, WINDERMERE, 4001

ADDRESS TELEPHONE

LOUIS@BOSHOFFARCHITECTS.COM +27 83 304 9277 SACAP REG. Pr Arch 43092891 2019/315079/07

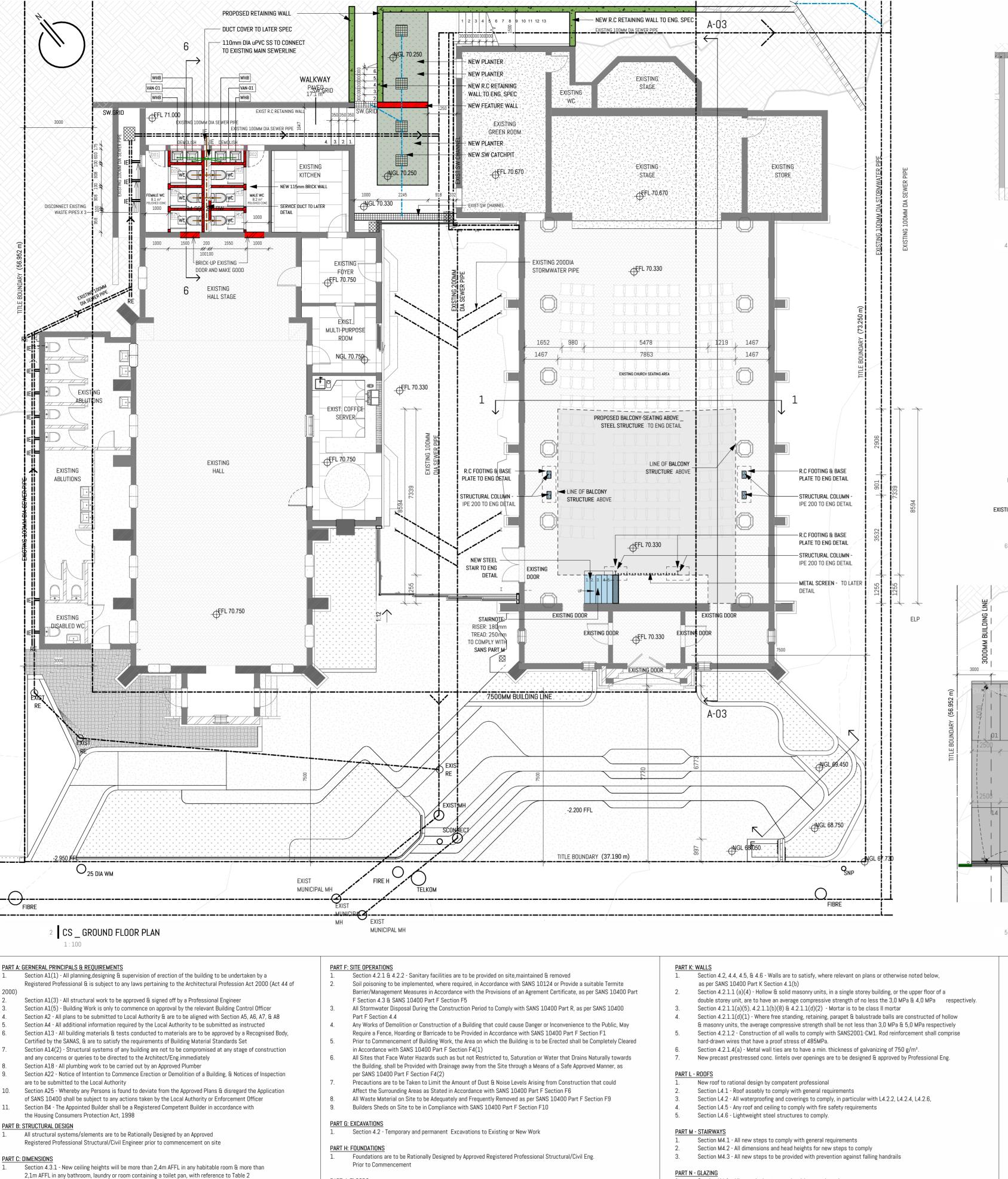
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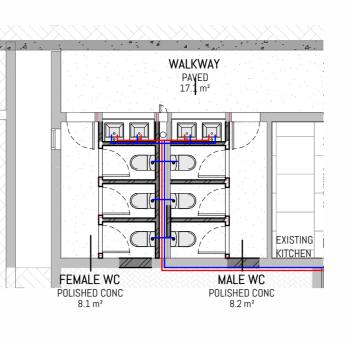
284 FLORIDA RD - INCITE BALCONY PROPOSED ADDITIONS AND ALTERATIONS

TO ERF R/687. NEW ONGRADE PARKING, ABLUTIONS AND BALCONY FRF NO LOCATION 288 FLORIDA ROAD, DURBAN CLIENT

SITE & GF PLAN

SCALE (A1) As indicated	DRAWING NO. 84_100.01	DATE 23/05/03
DRAWN BY	CHECKED BY	SIGNED BY
PROJECT NUMBER ZA.1905-01	WORK STAGE SUBMISSION	REVISION



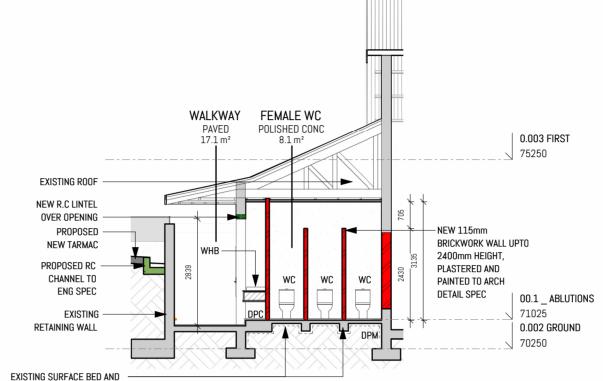


MALE WC POLISHED CONC POLISHED CONC

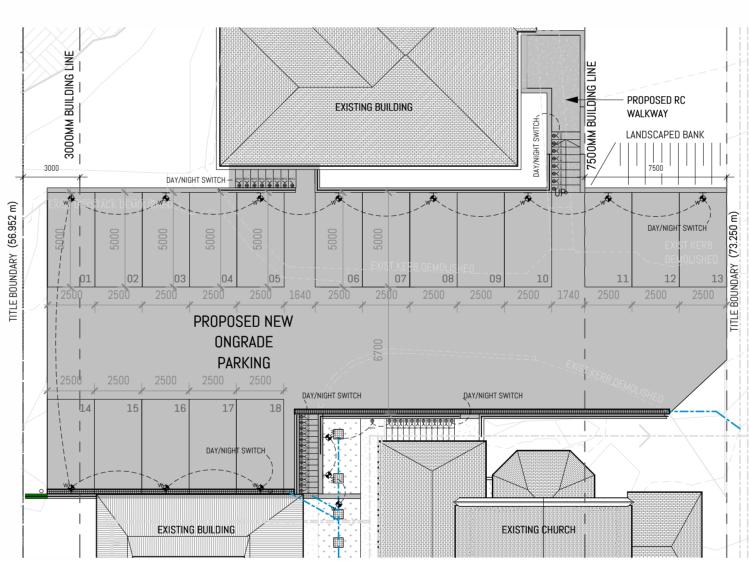
CS_ABLUTIONS_GF-WATER

CS _ ABLUTIONS _ GF - ELEC

PAVED



SECTION 01 - ABLUTIONS



S4_PARKING LEVEL_ELEC

Electrical	Legend		
•^	Single Sw	vitch	
√ 2	Two way	Switch	
O D	Dimmer S	Switch	
*	Recessed	d Downlight	
+	Ceiling Bu	ulkhead Light	
→ ^p	Pendant		
ф	Internal v	vall light	
⊢ ⊕ _(w)	External wall light (waterproof)		
- (G)	Garden light		
Brick	Recessed Brick Light		
_	New Dbl Plug		
w	New Waterproof Plug		
	Fluorescent dbl light		
	Fluorescent Sngl light		
0	LED Vertical strip Lights		
0	Solar LED Ground Lights		
	Distribution Board		
LED STRIP LT LED STRIP LIGHT STAIR			

	OTAIN			
EYNOTE CODES & DESCRIPTIONS				
ATEGORY	PLUMBING - SANITARY - DRAINAGE			
DE	DESCRIPTION			
С	WATER CLOSET : WC 110mm Ø uPVC WP _ WALL MOUNTED CISTERN : GEBERIT CONCEALED CISTERN WITH FLUSH PLATE ACCESS			
НВ	WASH HAND BASIN: WHB 50mm Ø uPVC WP	_ VANITY MOUNTED		
N-01	WALL HUNG VANITY: MARBLE / GRANITE COUNTERTOP AT 700MM ABOVE FFL WHB MOUNTED ONTO SURFACE. TAP MOUNTED ONTO WHB			
3	STUB STACK: 110mm Ø uPVC STUB STACK TO PLUMBING SPECIALIST DETAIL			
VDP	RAINWATER DOWNPIPE: 160mm DIA uPVC CIRCULAR DOWNPIPE TO PLUMBING SPECIALIST SPEC, UNLESS OTHERWISE SPESIFIED			
RS	STORMWATER RETICULATION SYSTEM: 160mm DIA UPVC PIPE TO PLUMBING SPECIALIST SPEC, UNLESS OTHERWISE SPESIFIED			
3-01	FULBORE OUTLET			
:P-01	ACCESS PANEL : 300mm X 300mm			
ANS NBR ALL WORKS TO COMPLY WITH SANS NBR 10400				
PING LEGEN	D			
OLD WATER M	AIN	COLD >		
OLD WATER : SUPPLY				
OT WATER MAIN HOT >				
OT WATER : SUPPLY				
ASTEWATER :	50mm DIA uPVC PIPE			
EWERAGE : 110mm DIA upvc PIPE TO SS AND MAIN EWERAGE LINE				
EWERAGE : 110mm DIA upvc PIPE LAID TO MIN 1:40 FALL WATER TREATMENT PLANT SEWERAGE >				
ORMWATER : 110mm DIA UPVC PIPE LAID AT MIN 1:40 STORMWATER >				

PART P: DRAINAGE (CONTINUED) Section P4.14 - All new discharge pipes to comply.

10. All new work to be carried out by a registered plumber

Stormwater disposal subject to a rational design

Section R4.3 - New gutters and downpipes to comply

Section S4.6 - New doorways and doors to comply

Section S4.12 - Access WC is provided as existing

Section S4.1 - All new parts are to comply

Section S4.9 - New steps to comply

Section S4.10 - Handrails to be provided

Note the requirements for Part S form part of Parts D, M & T

Section R4.1 - New stormwater disposal to comply with general requirements.

Note: new rainwater downpipes to be connected to existing stormwater system

Section S4.2 - All new areas to comply with signage (signage is existing)

Section S4.4 - New accessible route will be provided, S4.4.2 & S4.4.3

Section S4.5 - New ground and floor finishes in spaces to comply

Section S4.7 - All new areas to comply with regards changes in level

Section S4.8 - New ramp to comply at maximum gradient of 1:12

Section R4.2 - New stormwater system to provide control and disposal as required

Section P4.15 - All new drains to comply. Section P4.19 - All new drains to be accessible

Section P4.20 - New traps to be provided

PART R - STORMWATER DISPOSAL

PART S - ACCESSIBLITY

Note: all toilets & whb are existing New plumbing from kitchen sink to be connected to existing sewer pipe

PART D: PUBLIC SAFETY

Section 4.1 - All new barriers to comply

- Section 4.2.1 All balustrades or walls provided to protect against change in level. Section 4.2.2 - Any unprotected change in level that is 1m above the adjacent floor level will be fitted with a balustrade or parapet wall not less than 1m in height
- Section 4.2.4 Balustrades are not to haveoopenings that permit the passage of a 100mm dia. ball Section 4.3 - New ramps to be used by pedestrians shall be inccordance with requirements in Part S Section 4.4.4 - Construction of any steel fence or gate to comply with SANS 1390

Section E1(1) - All demolition work to be approved, in writing, by the Local Authority. Section E1 (2)(3)(4) - Demolition work to be in accordance with all safety requirement standards \mathfrak{A} , if further instructed by the Local Authority.

SANS 10400 Part B

- Section 4.1(c) Slabs Supported by the Ground are to be Rationally Designed in Accordance with Section 4.4.1(a) - Floors Supported by the Ground Shall be Designed by a Competent Person in
- Accordance with SANS 10109-1 Section 4.4.3 - Floors Supported by the Ground Shall not Exceed a Slope of more than 4mm:1m Section 4.4.4 - Polyolefin Underfloor Membranes to have a Min. Thickness of 250 um
- Section 4.4.5 Filling beneath floors to contain little to no organic material and no stome larger than 75mm Section 4.4.6 - Filling Beneath Floors are to be Moistened before Application at a Max. of 100mm Layers for Hand Compaction & 150mm Layers for Compaction through
- Mechanical Means. Layers are to be Compacted before the next Layer is added, Section 4.4.7 - All Fill Exceeding 400mm in Depth Shall be Designed & Inspected by a Competent Person
- Section N4.1 All new glazing to comply with general requirements Section N4.2 - All new glazing to comply with requirements for glazing installations

Section P4.2 - All new drainage pipes to comply.

Section P4.3.1 - All new sanitary fixtures to comply.

Section N4.3 - All new glazing to comply with transparent glazing requirements Section N4.4 - All new glazing to comply with safety glazing requirements

PART 0 - LIGHTING & VENTILATION

- Section 04.1 All new lighting & ventiltion to comply with general requirements Sections 04.2.1 & 04.2.2 - All new lighting to comply with requirements for natural & artifical ventilation
- Section 04.3.1 All new rooms are to be provided with natural ventilation Section 04.3.2 - If required new rooms to be proveded with artifical ventilation

Section P4.1 - All new plumbing & drainage to comply with general requirements

- Section T4.1 All new spaces to comply with general requirements Section T4.2 - All new spaces to comply with relevant safety distances
- Section T4.5 All new spaces/materials to comply with relevant fire performance Section T4.7 - All new structural elements to comply so that relevant fire stability is acheived Section T4.12 - All new roof assembles to comply with relevant parts
- Section T4.13 All new ceilings to comply
- Section T4.14 All new floor finishes to comply Section T4.16 - At least one escape route to be provided

PART T - FIRE PROTECTION

Section T4.17 - New space to be provided with escape doors to comply Section T4.29 - New signage to be installed to comply

Section T4.30 - Emergency lighting to be provided in new sections as required

GAS SUPPLY: 20mm DIA uPVC FLEX PIPE LAID BY

Section T4.37 - Portable fire extinguishers to be provided at a rate as noted in Table 10

PART S - ACCESSIBLITY

- Note the requirements for Part S form part of Parts D, M & T Section S4.1 - All new parts are to comply
- Section S4.2 All new areas to comply with signage (signage is existing) Section S4.4 - New accessible route will be provided, S4.4.2 & S4.4.3
- Section S4.5 New ground and floor finishes in spaces to comply Section S4.6 - New doorways and doors to comply
- Section S4.7 All new areas to comply with regards changes in level Section S4.8 - New ramp to comply at maximum gradient of 1:12 Section S4.9 - New steps to comply
- Section S4.10 Handrails to be provided 11. Section S4.12 - Access WC is provided as existing
- **FENESTRATION**

Natural Environmental Controls:

- Aggregate Conductance & Solar Heat Gain (SHGC) of the Glazing Shall not Exceed the Values Obtained through the Implementation of Table 5 as per SANS 204 Section 4.3.4.1.2 Aggregate Conductance & SHGC of Glazing to be Calculated in Accordance with
- SANS 204 Section 4.3.4.1.3 Worst-Case Whole Glazing Element Performance Values to be Used in Calculations in
- Accordance with Table 6 or Provided by Glazing Manufacturer as per SANS 204 Section 4.3.4.1.4 Aggregate Air-Conditioning Energy Value Attributable to the Value Shall not Exceed the Allowance Obtained through the Implementation of Table 7 as per SANS 204 Section 4.3.4.2.2

Aggregate Air Conditioning Energy Value to be Calculated in Accordance with SANS 204 Section 4.3.4.2.3 All Values Obtained from Shading Elements of Glazing Shall be in Accordance with SANS 204

Section 4.3.5.1 (a)(1)(2), (b)(1)(2) & Section 4.3.5.2 ROOF ASSEMBLIES

Roof Assemblies are to Achieve a Min. R-value of 2,7m²-K/W with a Downward Heat Flow as per Table 8 in Accordance with SANS204 Section 4.3.6.1.1

REVISION DATE PROJECT NOTES:

ALL RELEVANT DETAILS, LEVELS AND DIMENSIONS ARE TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORK, ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. THE ARCHITECT ACCEPTS NO RESPONSIBILITY FOR ERRORS RESULTING FROM MISINTERPRETATION OF THE DRAWINGS. ALL WORK TO BE CARRIED OUT STRICTLY IN ACCORDANCE WIT FIGURED DIMENSIONS ONLY. OWNERSHIP OF RIGHTS AND COPYRIGHT IN AND TO ALL PLANS, DESIGNS, DRAWINGS AND IMAGES OF ANY NATURE PRODUCED BY BOSHOFF ARCHITECTS (PTY) LTD, INCLUDING WORK RESULTING FROM THEM,

SHALL AT ALL TIMES REMAIN VESTED SOLELY IN BOSHOFF ARCHITECTS (PTY) LTD AND ANY PROVISION T THE CONTRARY IN TERMS OF THE COPYRIGHT ACT NO.98 OF 1978 IS HEREBY SPECIFICALLY EXCLUDED THE CLIENT WILL INDEMNIFY AND HOLD HARMLESS BOSHOFF ARCHITECTS PTY LTD AGAINST ALL CLAIMS COSTS AND DEMANDS (INCLUDING IN RESPECT OF NEGLIGENCE) BY THIRD PARTIES IN RESPECT OF

THE LIABILITY OF BOSHOFF ARCHITECTS PTY LTD TO THE CLIENT ARISING OUT OF THE PERFORMANCE OF THE SERVICES, WHATEVER UNDER THE LAW OF CONTRACT, TORT OR OTHERWISE (INCLUDING STATUTE) SHALL BE LIMITED TO: THE COST OF RECTIFYING THE WORKS OR THE AMOUNT OF FEE PAID BY THE CLIENT BOSHOFF ARCHITECTS PTY LTD SHALL BE DISCHARGED FROM ANY AND ALL LIABILITY IN RESPECT OF THE SERVICES, WHETHER UNDER THE LAW OF CONTRACT, TORT OR OTHERWISE, ON THE EXPIRATION OF ONE

YEAR FROM THE COMPLETION OF THE SERVICES AND THE CLIENT (OR ANY PERSONS CLAIMING THROUGH THE CLIENT) SHALL NOT BE ENTITLED TO COMMENCE ANY CLAIM, ACTION OR DEMAND AGAINST BOSHOFF ARCHITECTS PTY LTD (OR ANY DIRECTOR OR EMPLOYEE OF THE COMPANY) IN RESPECT OF THE SERVICES AFTER THAT DATE. SERVICES. THERE SHALL BE NO LIABILITY IN RESPECT OF ANY FAILURE BEYOND REASONABLE CARE

ALL EXISTING SITE CONDITIONS INDICATED ON PLANS ARE TO BE VERIFIED ON SITE. THE ARCHITECT HEREWITH INDEMNIFIES HIMSELF/HERSELF OF ANY IMPLICATIONS OF INCORRECTLY INDICATED EXISTING SERVICES. ALL SPESICIALISTS TO ENSURE THAT EXISTING SITE CONDITIONS ARE VERIFIED BEFORE COMMENCEMENT OF WORK. ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEERS DRAWINGS

CORNER BEACONS TO BE LOCATED AND EXPOSED BEFORE WORK ON SITE COMMENCES CONTRACTOR TO CHECK ALL DIMENSIONS AND LEVELS SCHEDULES AND DETAILS, BEFORE THE RELEVANT WORK IS PLACED IN HAND, AND REPORT ANY DISCREPANCIES TO THE DESIGNER/OWNE ALL WRITTEN DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALING

ALL REINFORCED CONCRETE, SLABS, FOUNDATIONS COLUMN DETAILS, BEAMS, STAIRS, AND RETAINING WALLS ARE TO BE BUILT STRICTLY IN ACCORDANCE WITH PROFESSIONAL ENGINEERSDETAIL AND UNDER HIS SUPERVISION

CONTRACTOR TO ENSURE THAT NO CHANGES IN LEVELS ARE MADE OVER LOCAL AUTHORITY SERVITUDES OR UNDERGROUND SERVICES UNLESS PERMISSION HAS BEEN GIVEN IN WRITING BY THE LOCAL AUTHORITY ANY DISCREPANCIES AND OMISSIONS ARE TO BE BROUGHT TO THE DESIGNERS/OWNERS ATTENTION THE CONTRACTOR IS TO INSPECT THE OFFICIAL APPROVED COPIES OF THE DRAWINGS TO ENSURE THAT ALL AMENDMENTS HAVE BEEN TAKEN INTO ACCOUNT

THE ATTENTION OF THE OWNER IS DRAWN TO THE FACT THAT CHANGES TO THE PLAN AND/OR SPECIFICATION AFTER OFFICIAL APPROVAL IS LIKELY TO INVALIDATE THAT APPROVAL.

ALL FOUNDATIONS TO BE TAKEN DOWN BELOW NATURAL GROUND LEVEL.

NATURAL GROUND LINE IN APPROXIMATE POSITION ONLY AND NO CLAIM CAN BE MADE FOR ANY DISCREPANCIES ON SITE

CLIENT AUTHORIZATION

SUBMISSION BOSHOFFARCHITECTS

ADDRESS 3 MILLAR ROAD, WINDERMERE, 4001 LOUIS@BOSHOFFARCHITECTS.COM

TELEPHONE +27 83 304 9277 SACAP REG. Pr Arch 43092891 2019/315079/07 PRAC NO. PB 5125

FRF NO.

LOCATION

284 FLORIDA RD - INCITE BALCONY

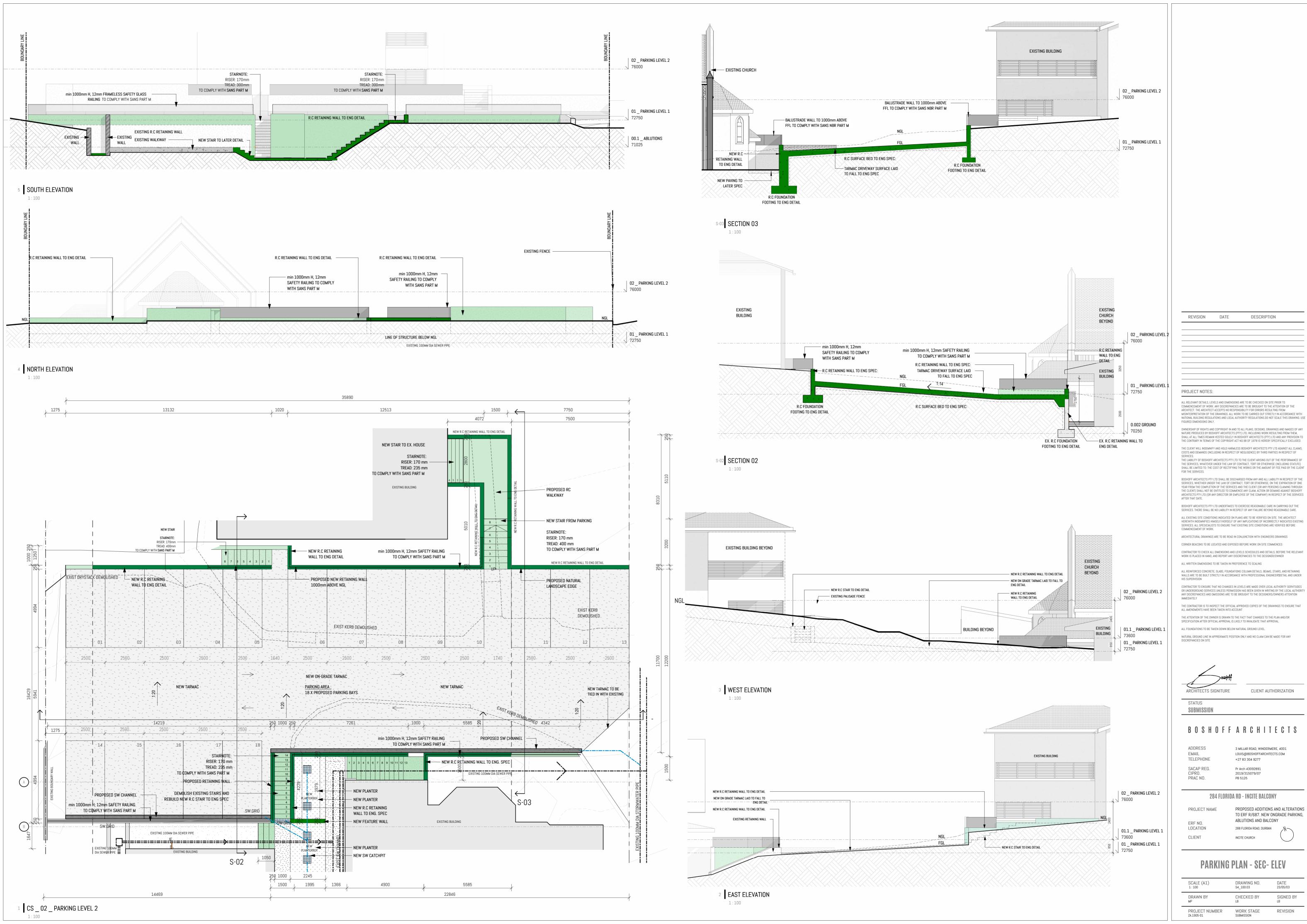
PROPOSED ADDITIONS AND ALTERATIONS TO ERF R/687. NEW ONGRADE PARKING, ABLUTIONS AND BALCONY

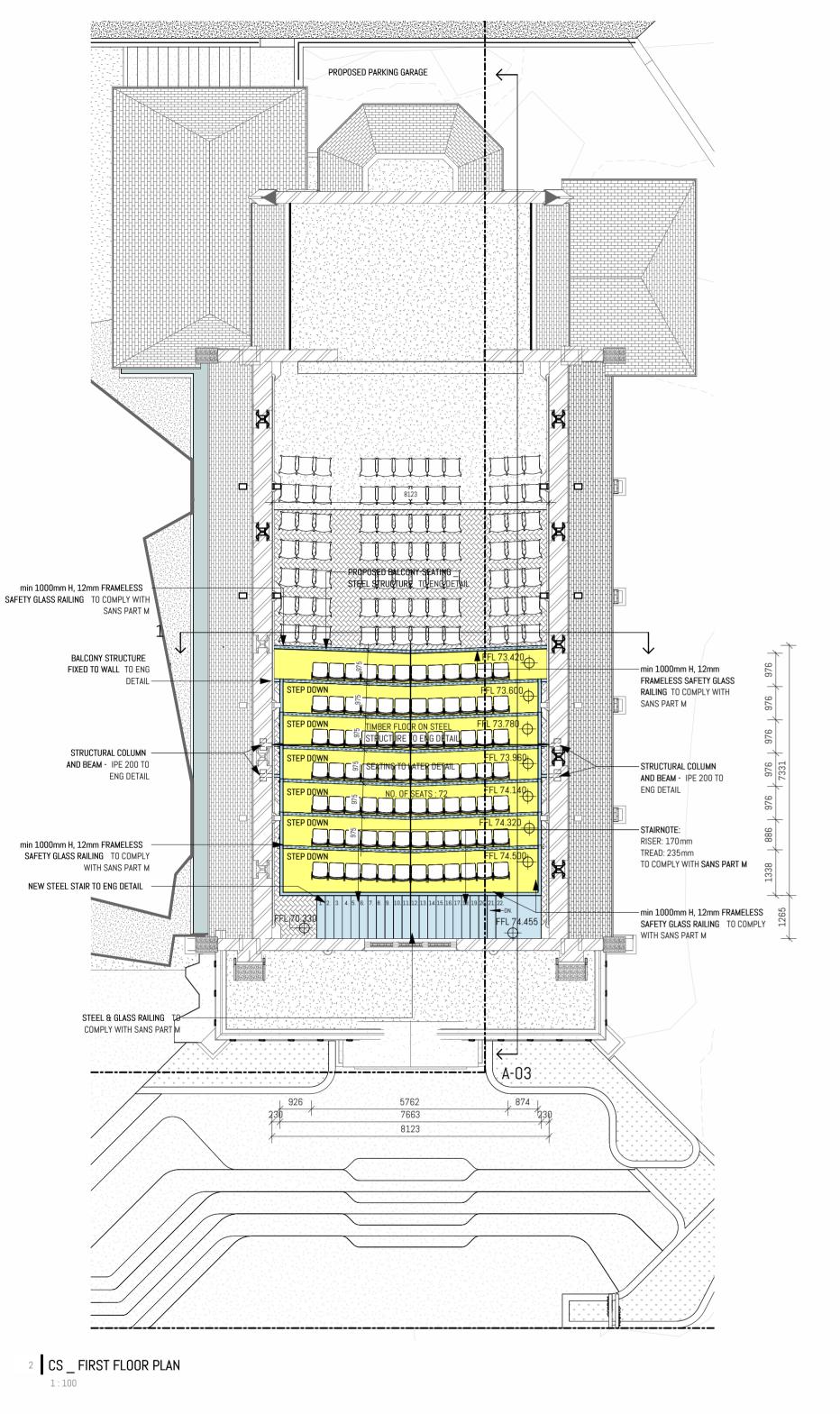
288 FLORIDA ROAD, DURBAN

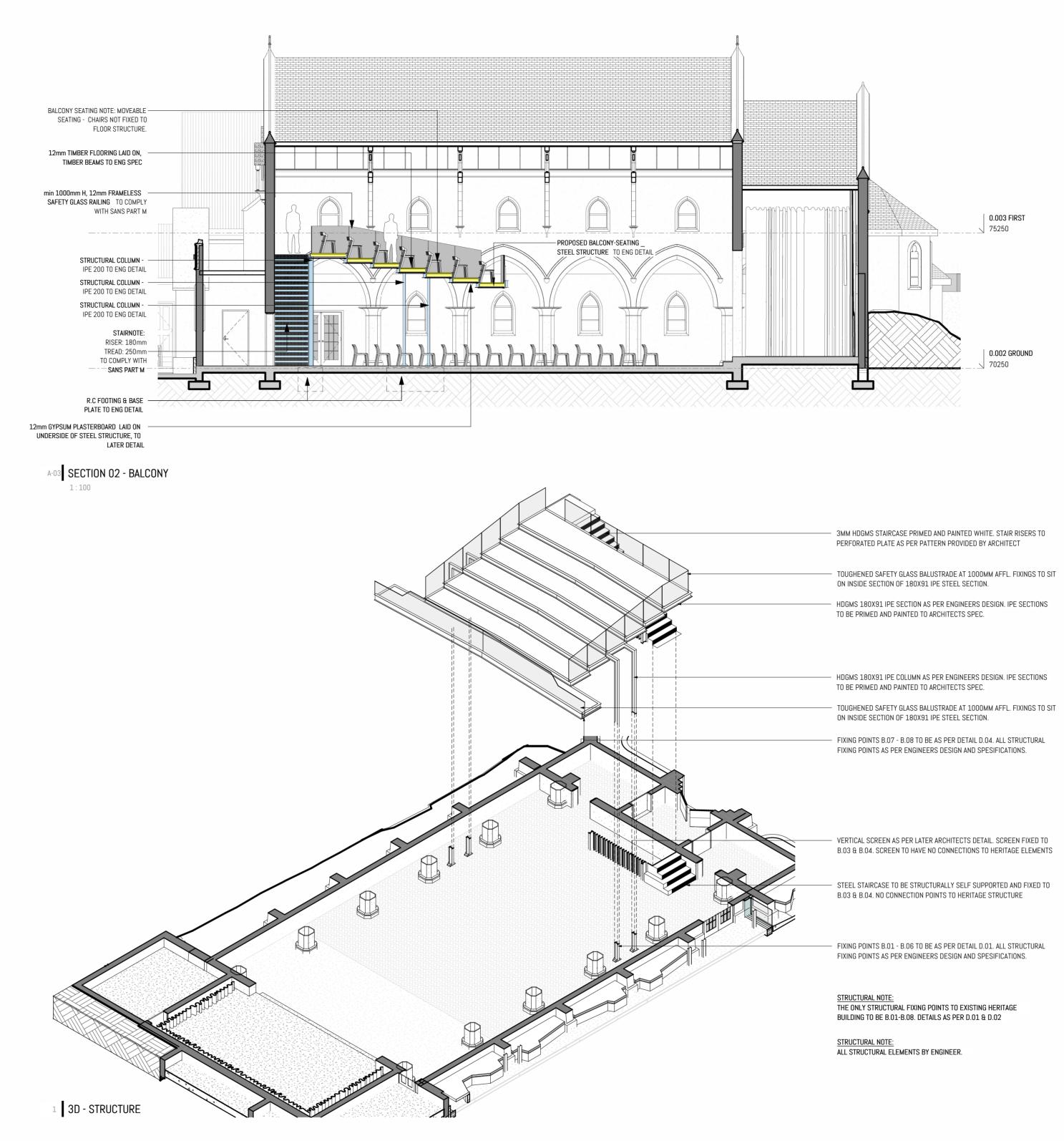
CLIENT INCITE CHURCH

GROUND FLOOR PLAN

	SCALE (A1) As indicated	DRAWING NO. S4_100.02	DATE 23/05/03
	DRAWN BY MP	CHECKED BY	SIGNED BY
_	PROJECT NUMBER ZA.1905-01	WORK STAGE SUBMISSION	REVISION







PART A: GERNERAL PRINCIPALS & REQUIREMENTS Section A1(1) - All planning, designing lpha supervision of erection of the building to be undertaken by a

Registered Professional & is subject to any laws pertaining to the Architectural Profession Act 2000 (Act 44 of

Section A1(3) - All structural work to be approved & signed off by a Professional Engineer

Section A1(5) - Building Work is only to commence on approval by the relevant Building Control Officer Section A2 - All plans to be submitted to Local Authority & are to be aligned with Section A5, A6, A7, & A8 Section A4 - All additional information required by the Local Authority to be submitted as instructed

Section A13 - All building materials & tests conducted to materials are to be approved by a Recognised Body, Certified by the SANAS, & are to satisfy the requirements of Building Material Standards Set

Section A14(2) - Structural systems of any building are not to be compromised at any stage of construction and any concerns or queries to be directed to the Architect/Eng.immediately Section A18 - All plumbing work to be carried out by an Approved Plumber

Section A22 - Notice of Intention to Commence Erection or Demolition of a Building, & Notices of Inspection are to be submitted to the Local Authority

Section A25 - Whereby any Persons is found to deviate from the Approved Plans & disregard the Application of SANS 10400 shall be subject to any actions taken by the Local Authority or Enforcement Officer

Section B4 - The Appointed Builder shall be a Registered Competent Builder in accordance with the Housing Consumers Protection Act, 1998

PART B: STRUCTURAL DESIGN All structural systems/slements are to be Rationally Designed by an Approved

Registered Professional Structural/Civil Engineer prior to commencement on site

Section 4.3.1 - New ceiling heights will be more than 2,4m AFFL in any habitable room & more than

PART D: PUBLIC SAFETY

2,1m AFFL in any bathroom, laundry or room containing a toilet pan, with reference to Table 2

Section 4.1 - All new barriers to comply Section 4.2.1 - All balustrades or walls provided to protect against change in level. Section 4.2.2 - Any unprotected change in level that is 1m above the adjacent floor level will be fitted with a balustrade or parapet wall not less than 1m in height

Section 4.2.4 - Balustrades are not to haveoopenings that permit the passage of a 100mm dia. ball Section 4.3 - New ramps to be used by pedestrians shall be inccordance with requirements in Part S Section 4.4.4 - Construction of any steel fence or gate to comply with SANS 1390

instructed by the Local Authority.

Section E1(1) - All demolition work to be approved, in writing, by the Local Authority. Section E1 (2)(3)(4) - Demolition work to be in accordance with all safety requirement standards \mathfrak{A} , if further

Section 4.2.1 & 4.2.2 - Sanitary facilities are to be provided on site, maintained & removed

Soil poisoning to be implemented, where required, in Accordance with SANS 10124 or Provide a suitable Termite Barrier/Management Measures in Accordance with the Provisions of an Agrement Certificate, as per SANS 10400 Part F Section 4.3 & SANS 10400 Part F Section F5

All Stormwater Disposal During the Construction Period to Comply with SANS 10400 Part R, as per SANS 10400 Part F Section 4.4 Any Works of Demolition or Construction of a Building that could cause Danger or Inconvenience to the Public, May Require a Fence, Hoarding or Barricade to be Provided in Accordance with SANS 10400 Part F Section F1

Prior to Commencement of Building Work, the Area on which the Building is to be Erected shall be Completely Cleared in Accordance with SANS 10400 Part F Section F4(1) All Sites that Face Water Hazards such as but not Restricted to, Saturation or Water that Drains Naturally towards

the Building, shall be Provided with Drainage away from the Site through a Means of a Safe Approved Manner, as per SANS 10400 Part F Section F4(2) Precautions are to be Taken to Limit the Amount of Dust & Noise Levels Arising from Construction that could

Affect the Surrounding Areas as Stated in Accordance with SANS 10400 Part F Section F6 All Waste Material on Site to be Adequately and Frequently Removed as per SANS 10400 Part F Section F9 Builders Sheds on Site to be in Compliance with SANS 10400 Part F Section F10

1. Section 4.2 - Temporary and permanent Excavations to Existing or New Work

Foundations are to be Rationally Designed by Approved Registered Professional Structural/Civil Eng.

Prior to Commencement

Section 4.1(c) - Slabs Supported by the Ground are to be Rationally Designed in Accordance with

SANS 10400 Part B Section 4.4.1(a) - Floors Supported by the Ground Shall be Designed by a Competent Person in Accordance with SANS 10109-1

Section 4.4.3 - Floors Supported by the Ground Shall not Exceed a Slope of more than 4mm:1m Section 4.4.4 - Polyolefin Underfloor Membranes to have a Min. Thickness of 250 um

Section 4.4.5 - Filling beneath floors to contain little to no organic material and no stome larger than 75mm Section 4.4.6 - Filling Beneath Floors are to be Moistened before Application at a Max. of 100mm Layers for Hand Compaction & 150mm Layers for Compaction through Mechanical Means. Layers are to be Compacted before the next Layer is added,

Section 4.4.7 - All Fill Exceeding 400mm in Depth Shall be Designed & Inspected by a Competent Person

1. Section 4.2, 4.4, 4.5, & 4.6 - Walls are to satisfy, where relevant on plans or otherwise noted below,

as per SANS 10400 Part K Section 4.1(b) Section 4.2.1.1 (a)(4) - Hollow & solid masonry units, in a single storey building, or the upper floor of a double storey unit, are to have an average compressive strength of no less the 3,0 MPa & 4,0 MPa respectively. Section 4.2.1.1(a)(5), 4.2.1.1(b)(8) & 4.2.1.1(d)(2) - Mortar is to be class II mortar

Section 4.2.1.1(d)(1) - Where free standing, retaining, parapet & balustrade balls are constructed of hollow & masonry units, the average compressive strength shall be not less than 3,0 MPa & 5,0 MPa respectively Section 4.2.1.2 - Construction of all walls to comply with SANS2001-CM1. Rod reinforcement shall comprise hard-drawn wires that have a proof stress of 485MPa.

Section 4.2.1.4(a) - Metal wall ties are to have a min. thickness of galvanizing of 750 g/m². New precast prestressed conc. lintels over openings are to be designed & approved by Professional Eng.

New roof to rational design by compatent professional

Section L4.1 - Roof assebly to comply with general requirements Section L4.2 - All waterproofing and coverings to comply, in particular with L4.2.2, L4.2.4, L4.2.6,

Section L4.5 - Any roof and ceiling to comply with fire safety requirements Section L4.6 - Lightweight steel structures to comply.

Section M4.1 - All new steps to comply with general requirements

Section M4.2 - All dimensions and head heights for new steps to comply Section M4.3 - All new steps to be provided with prevention against falling handrails

Section N4.1 - All new glazing to comply with general requirements

Section N4.2 - All new glazing to comply with requirements for glazing installations Section N4.3 - All new glazing to comply with transparent glazing requirements Section N4.4 - All new glazing to comply with safety glazing requirements

Section 04.1 - All new lighting & ventiltion to comply with general requirements Sections 04.2.1 & 04.2.2 - All new lighting to comply with requirements for natural & artifical ventilation

Section 04.3.1 - All new rooms are to be provided with natural ventilation Section 04.3.2 - If required new rooms to be proveded with artifical ventilation

Section P4.3.1 - All new sanitary fixtures to comply.

Section P4.1 - All new plumbing & drainage to comply with general requirements Section P4.2 - All new drainage pipes to comply.

PART P: DRAINAGE (CONTINUED)

Section P4.14 - All new discharge pipes to comply.

Section P4.15 - All new drains to comply. Section P4.19 - All new drains to be accessible

Section P4.20 - New traps to be provided Note: all toilets & whb are existing

New plumbing from kitchen sink to be connected to existing sewer pipe 10. All new work to be carried out by a registered plumber

PART R - STORMWATER DISPOSAL

Stormwater disposal subject to a rational design $\label{eq:section R4.1 - New stormwater disposal to comply with general requirements.}$

Section R4.2 - New stormwater system to provide control and disposal as required Section R4.3 - New gutters and downpipes to comply

Note: new rainwater downpipes to be connected to existing stormwater system

PART S - ACCESSIBLITY Note the requirements for Part S form part of Parts D, M & T

Section S4.1 - All new parts are to comply Section S4.2 - All new areas to comply with signage (signage is existing) Section S4.4 - New accessible route will be provided, S4.4.2 & S4.4.3

Section S4.5 - New ground and floor finishes in spaces to comply

Section S4.6 - New doorways and doors to comply Section S4.7 - All new areas to comply with regards changes in level Section S4.8 - New ramp to comply at maximum gradient of 1:12

Section S4.9 - New steps to comply Section S4.10 - Handrails to be provided Section S4.12 - Access WC is provided as existing

Section T4.1 - All new spaces to comply with general requirements

Section T4.2 - All new spaces to comply with relevant safety distances Section T4.5 - All new spaces/materials to comply with relevant fire performance

Section T4.7 - All new structural elements to comply so that relevant fire stability is acheived Section T4.12 - All new roof assembles to comply with relevant parts Section T4.13 - All new ceilings to comply Section T4.14 - All new floor finishes to comply

Section T4.16 - At least one escape route to be provided

PART T - FIRE PROTECTION Section T4.17 - New space to be provided with escape doors to comply

Section T4.29 - New signage to be installed to comply

Section T4.30 - Emergency lighting to be provided in new sections as required Section T4.37 - Portable fire extinguishers to be provided at a rate as noted in Table 10

PART S - ACCESSIBLITY Note the requirements for Part S form part of Parts D, M & T

Section S4.1 - All new parts are to comply Section S4.2 - All new areas to comply with signage (signage is existing)

Section S4.4 - New accessible route will be provided, S4.4.2 & S4.4.3 Section S4.5 - New ground and floor finishes in spaces to comply

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Section S4.8 - New ramp to comply at maximum gradient of 1:12 Section S4.9 - New steps to comply Section S4.10 - Handrails to be provided

11. Section S4.12 - Access WC is provided as existing

Natural Environmental Controls:

Aggregate Conductance & Solar Heat Gain (SHGC) of the Glazing Shall not Exceed the Values Obtained through the Implementation of Table 5 as per SANS 204 Section 4.3.4.1.2 Aggregate Conductance & SHGC of Glazing to be Calculated in Accordance with

SANS 204 Section 4.3.4.1.3 Worst-Case Whole Glazing Element Performance Values to be Used in Calculations in Accordance with Table 6 or Provided by Glazing Manufacturer as per SANS 204 Section 4.3.4.1.4

Aggregate Air-Conditioning Energy Value Attributable to the Value Shall not Exceed the Allowance Obtained through the Implementation of Table 7 as per SANS 204 Section 4.3.4.2.2 Aggregate Air Conditioning Energy Value to be Calculated in Accordance with SANS 204 Section 4.3.4.2.3

All Values Obtained from Shading Elements of Glazing Shall be in Accordance with SANS 204 Section 4.3.5.1 (a)(1)(2), (b)(1)(2) & Section 4.3.5.2

ROOF ASSEMBLIES Roof Assemblies are to Achieve a Min. R-value of 2,7m²-K/W with a Downward Heat Flow as per Table 8 in Accordance with SANS204 Section 4.3.6.1.1

REVISION DATE DESCRIPTION

PROJECT NOTES:

ALL RELEVANT DETAILS. LEVELS AND DIMENSIONS ARE TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORK, ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. THE ARCHITECT ACCEPTS NO RESPONSIBILITY FOR ERRORS RESULTING FROM MISINTERPRETATION OF THE DRAWINGS. ALL WORK TO BE CARRIED OUT STRICTLY IN ACCORDANCE WITH

FIGURED DIMENSIONS ONLY. OWNERSHIP OF RIGHTS AND COPYRIGHT IN AND TO ALL PLANS, DESIGNS, DRAWINGS AND IMAGES OF ANY NATURE PRODUCED BY BOSHOFF ARCHITECTS (PTY) LTD, INCLUDING WORK RESULTING FROM THEM, SHALL AT ALL TIMES REMAIN VESTED SOLELY IN BOSHOFF ARCHITECTS (PTY) LTD AND ANY PROVISION T

THE CONTRARY IN TERMS OF THE COPYRIGHT ACT NO.98 OF 1978 IS HEREBY SPECIFICALLY EXCLUDED THE CLIENT WILL INDEMNIFY AND HOLD HARMLESS BOSHOFF ARCHITECTS PTY LTD AGAINST ALL CLAIMS OSTS AND DEMANDS (INCLUDING IN RESPECT OF NEGLIGENCE) BY THIRD PARTIES IN RESPECT OF THE LIABILITY OF BOSHOFF ARCHITECTS PTY LTD TO THE CLIENT ARISING OUT OF THE PERFORMANCE OF

HALL BE LIMITED TO: THE COST OF RECTIFYING THE WORKS OR THE AMOUNT OF FEE PAID BY THE CLIENT BOSHOFF ARCHITECTS PTY LTD SHALL BE DISCHARGED FROM ANY AND ALL LIABILITY IN RESPECT OF THE SERVICES, WHETHER UNDER THE LAW OF CONTRACT, TORT OR OTHERWISE, ON THE EXPIRATION OF ONE YEAR FROM THE COMPLETION OF THE SERVICES AND THE CLIENT (OR ANY PERSONS CLAIMING THROUGH THE CLIENT) SHALL NOT BE ENTITLED TO COMMENCE ANY CLAIM, ACTION OR DEMAND AGAINST BOSHOFF ARCHITECTS PTY LTD (OR ANY DIRECTOR OR EMPLOYEE OF THE COMPANY) IN RESPECT OF THE SERVICES

AFTER THAT DATE. SERVICES. THERE SHALL BE NO LIABILITY IN RESPECT OF ANY FAILURE BEYOND REASONABLE CARE ALL EXISTING SITE CONDITIONS INDICATED ON PLANS ARE TO BE VERIFIED ON SITE. THE ARCHITECT

HEREWITH INDEMNIFIES HIMSELF/HERSELF OF ANY IMPLICATIONS OF INCORRECTLY INDICATED EXISTING SERVICES. ALL SPESICIALISTS TO ENSURE THAT EXISTING SITE CONDITIONS ARE VERIFIED BEFORE COMMENCEMENT OF WORK. ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEERS DRAWINGS

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ALL WRITTEN DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALING ALL REINFORCED CONCRETE, SLABS, FOUNDATIONS COLUMN DETAILS, BEAMS, STAIRS, AND RETAINING WALLS ARE TO BE BUILT STRICTLY IN ACCORDANCE WITH PROFESSIONAL ENGINEERSDETAIL AND UNDER

CONTRACTOR TO ENSURE THAT NO CHANGES IN LEVELS ARE MADE OVER LOCAL AUTHORITY SERVITUDES OR UNDERGROUND SERVICES UNLESS PERMISSION HAS BEEN GIVEN IN WRITING BY THE LOCAL AUTHORITY ANY DISCREPANCIES AND OMISSIONS ARE TO BE BROUGHT TO THE DESIGNERS/OWNERS ATTENTION

THE CONTRACTOR IS TO INSPECT THE OFFICIAL APPROVED COPIES OF THE DRAWINGS TO ENSURE THAT ALL AMENDMENTS HAVE BEEN TAKEN INTO ACCOUNT

THE ATTENTION OF THE OWNER IS DRAWN TO THE FACT THAT CHANGES TO THE PLAN AND/OR SPECIFICATION AFTER OFFICIAL APPROVAL IS LIKELY TO INVALIDATE THAT APPROVAL. ALL FOUNDATIONS TO BE TAKEN DOWN BELOW NATURAL GROUND LEVEL. NATURAL GROUND LINE IN APPROXIMATE POSITION ONLY AND NO CLAIM CAN BE MADE FOR ANY DISCREPANCIES ON SITE



SUBMISSION

BOSHOFFARCHITECTS

ADDRESS 3 MILLAR ROAD, WINDERMERE, 4001 LOUIS@BOSHOFFARCHITECTS.COM TELEPHONE +27 83 304 9277

SACAP REG. Pr Arch 43092891 2019/315079/07

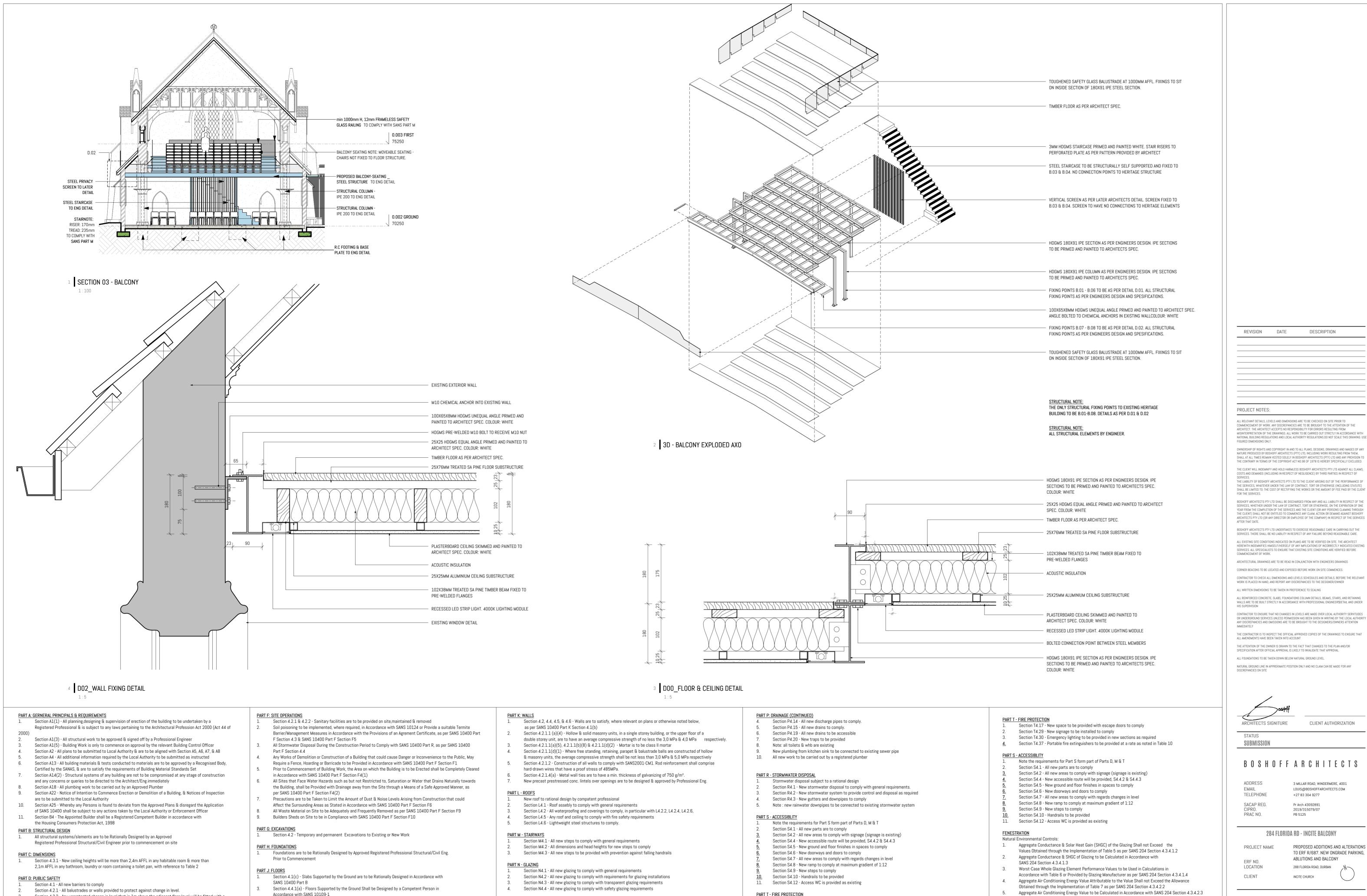
PRAC NO.

284 FLORIDA RD - INCITE BALCONY

PROPOSED ADDITIONS AND ALTERATIONS TO ERF R/687. NEW ONGRADE PARKING, ABLUTIONS AND BALCONY FRF NO. LOCATION 288 FLORIDA ROAD, DURBAN CLIENT

FF PLAN & BALCONY SECTIONS

SCALE (A1) As indicated	DRAWING NO. 84_100.04	DATE 23/05/03
DRAWN BY	CHECKED BY	SIGNED BY
PROJECT NUMBER ZA.1905-01	WORK STAGE SUBMISSION	REVISION



Section T4.1 - All new spaces to comply with general requirements

Section T4.12 - All new roof assembles to comply with relevant parts

Section T4.13 - All new ceilings to comply

Section T4.14 - All new floor finishes to comply

Section T4.16 - At least one escape route to be provided

Section T4.2 - All new spaces to comply with relevant safety distances

Section T4.5 - All new spaces/materials to comply with relevant fire performance

Section T4.7 - All new structural elements to comply so that relevant fire stability is acheived

PART 0 - LIGHTING & VENTILATION

Section 04.1 - All new lighting & ventiltion to comply with general requirements

Section 04.3.2 - If required new rooms to be proveded with artifical ventilation

Section P4.1 - All new plumbing & drainage to comply with general requirements

Section 04.3.1 - All new rooms are to be provided with natural ventilation

Section P4.2 - All new drainage pipes to comply.

Section P4.3.1 - All new sanitary fixtures to comply.

Sections 04.2.1 & 04.2.2 - All new lighting to comply with requirements for natural & artifical ventilation

Section 4.4.3 - Floors Supported by the Ground Shall not Exceed a Slope of more than 4mm:1m

Section 4.4.6 - Filling Beneath Floors are to be Moistened before Application at a Max. of 100mm

Section 4.4.5 - Filling beneath floors to contain little to no organic material and no stome larger than 75mm

Section 4.4.7 - All Fill Exceeding 400mm in Depth Shall be Designed & Inspected by a Competent Person

Section 4.4.4 - Polyolefin Underfloor Membranes to have a Min. Thickness of 250 um

Layers for Hand Compaction & 150mm Layers for Compaction through

Mechanical Means. Layers are to be Compacted before the next Layer is added,

Section 4.2.2 - Any unprotected change in level that is 1m above the adjacent floor level will be fitted with a

Section E1 (2)(3)(4) - Demolition work to be in accordance with all safety requirement standards \mathfrak{A} , if further

Section 4.2.4 - Balustrades are not to haveoopenings that permit the passage of a 100mm dia. ball

Section 4.4.4 - Construction of any steel fence or gate to comply with SANS 1390

Section E1(1) - All demolition work to be approved, in writing, by the Local Authority.

Section 4.3 - New ramps to be used by pedestrians shall be inccordance with requirements in Part S

balustrade or parapet wall not less than 1m in height

instructed by the Local Authority.

BALCONY DETAILS

INCITE CHURCH

CLIENT AUTHORIZATION

3 MILLAR ROAD, WINDERMERE, 4001

LOUIS@BOSHOFFARCHITECTS.COM

PROPOSED ADDITIONS AND ALTERATIONS

TO ERF R/687. NEW ONGRADE PARKING,

ABLUTIONS AND BALCONY

288 FLORIDA ROAD, DURBAN

+27 83 304 9277

Pr Arch 43092891

2019/315079/07

PB 5125

284 FLORIDA RD - INCITE BALCONY

SCALE (A1) As indicated DRAWING NO. DATE 23/05/03 DRAWN BY CHECKED BY

All Values Obtained from Shading Elements of Glazing Shall be in Accordance with SANS 204

Roof Assemblies are to Achieve a Min. R-value of 2,7m²-K/W with a Downward Heat Flow as

Section 4.3.5.1 (a)(1)(2), (b)(1)(2) & Section 4.3.5.2

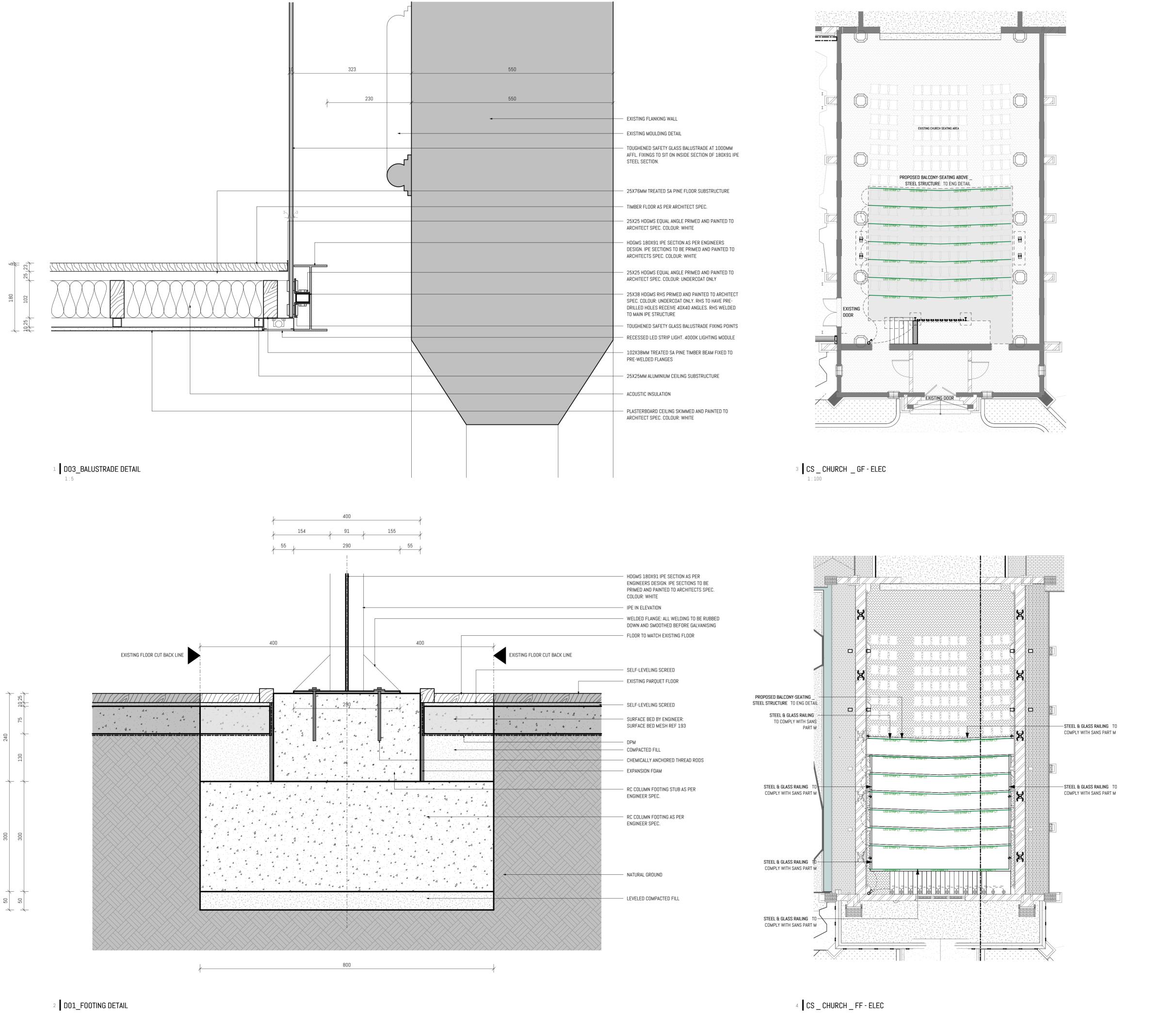
per Table 8 in Accordance with SANS204 Section 4.3.6.1.1

ROOF ASSEMBLIES

DATE

DESCRIPTION

SIGNED BY PROJECT NUMBER WORK STAGE REVISION





			COSTS AND DEMANDS (INCLUDING IN RESPECT OF NEGLIGENCE) BY THIRD PARTIES IN RESPECT OF SERVICES.
			THE LIABILITY OF BOSHOFF ARCHITECTS PTY LTD TO THE CLIENT ARISING OUT OF THE PERFORMANCE OF THE SERVICES, WHATEVER UNDER THE LAW OF CONTRACT, TORT OR OTHERWISE (INCLUDING STATUTE)
		7	SHALL BE LIMITED TO: THE COST OF RECTIFYING THE WORKS OR THE AMOUNT OF FEE PAID BY THE CLIENT
Electrical	Legend		FOR THE SERVICES.
•	Single Switch		BOSHOFF ARCHITECTS PTY LTD SHALL BE DISCHARGED FROM ANY AND ALL LIABILITY IN RESPECT OF THE SERVICES, WHETHER UNDER THE LAW OF CONTRACT, TORT OR OTHERWISE, ON THE EXPIRATION OF ONE YEAR FROM THE COMPLETION OF THE SERVICES AND THE CLIENT (OR ANY PERSONS CLAIMING THROUGH
O 2	Two way Switch		THE CLIENT) SHALL NOT BE ENTITLED TO COMMENCE ANY CLAIM, ACTION OR DEMAND AGAINST BOSHOFF ARCHITECTS PTY LTD (OR ANY DIRECTOR OR EMPLOYEE OF THE COMPANY) IN RESPECT OF THE SERVICES AFTER THAT DATE.
O D	Dimmer Switch		BOSHOFF ARCHITECTS PTY LTD UNDERTAKES TO EXERCISE REASONABLE CARE IN CARRYING OUT THE SERVICES. THERE SHALL BE NO LIABILITY IN RESPECT OF ANY FAILURE BEYOND REASONABLE CARE.
+	Recessed Downlight		ALL EXISTING SITE CONDITIONS INDICATED ON PLANS ARE TO BE VERIFIED ON SITE. THE ARCHITECT
+	Ceiling Bulkhead Light		HEREWITH INDEMNIFIES HIMSELF/HERSELF OF ANY IMPLICATIONS OF INCORRECTLY INDICATED EXISTING SERVICES. ALL SPESICIALISTS TO ENSURE THAT EXISTING SITE CONDITIONS ARE VERIFIED BEFORE COMMENCEMENT OF WORK.
→ ^p	Pendant		ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEERS DRAWINGS
ф	Internal wall light		CORNER BEACONS TO BE LOCATED AND EXPOSED BEFORE WORK ON SITE COMMENCES
⊢ (w)	External wall light (waterproof)		CONTRACTOR TO CHECK ALL DIMENSIONS AND LEVELS SCHEDULES AND DETAILS, BEFORE THE RELEVANT WORK IS PLACED IN HAND, AND REPORT ANY DISCREPANCIES TO THE DESIGNER/OWNER
	Garden light		ALL WRITTEN DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALING
Brick	Recessed Brick Light		ALL REINFORCED CONCRETE, SLABS, FOUNDATIONS COLUMN DETAILS, BEAMS, STAIRS, AND RETAINING WALLS ARE TO BE BUILT STRICTLY IN ACCORDANCE WITH PROFESSIONAL ENGINEERSDETAIL AND UNDER HIS SUPERVISION
_	New Dbl Plug		CONTRACTOR TO ENSURE THAT NO CHANGES IN LEVELS ARE MADE OVER LOCAL AUTHORITY SERVITUDES OR UNDERGROUND SERVICES UNLESS PERMISSION HAS BEEN GIVEN IN WRITING BY THE LOCAL AUTHORITY ANY DISCREPANCIES AND OMISSIONS ARE TO BE BROUGHT TO THE DESIGNERS/OWNERS ATTENTION
∠w W	New Waterproof Plug		IMMEDIATELY
	Fluorescent dbl light		THE CONTRACTOR IS TO INSPECT THE OFFICIAL APPROVED COPIES OF THE DRAWINGS TO ENSURE THAT ALL AMENDMENTS HAVE BEEN TAKEN INTO ACCOUNT
	Fluorescent Sngl light		THE ATTENTION OF THE OWNER IS DRAWN TO THE FACT THAT CHANGES TO THE PLAN AND/OR SPECIFICATION AFTER OFFICIAL APPROVAL IS LIKELY TO INVALIDATE THAT APPROVAL.
	LED Vertical strip Lights		ALL FOUNDATIONS TO BE TAKEN DOWN BELOW NATURAL GROUND LEVEL.
	Solar LED Ground Lights		NATURAL GROUND LINE IN APPROXIMATE POSITION ONLY AND NO CLAIM CAN BE MADE FOR ANY DISCREPANCIES ON SITE
	Distribution Board		

LED 21KIP LI		LED STRIP LIGHT STAIR	
KEYNOTE CODES & DESCRIPTIONS			
CATEGORY	PLUMBING	PLUMBING - SANITARY - DRAINAGE	
CODE	DESCRIPTION	N	
WC	1	WATER CLOSET : WC 110mm Ø uPVC WP _ WALL MOUNTED CISTERN : GEBERIT CONCEALED CISTERN WITH FLUSH PLATE ACCESS	
WHB	WASH HAND E	WASH HAND BASIN : WHB 50mm Ø uPVC WP_VANITY MOUNTED	
VAN-01	WALL HUNG VANITY: MARBLE / GRANITE COUNTERTOP AT 700MM ABOVE FFL WHB MOUNTED ONTO SURFACE. TAP MOUNTED ONTO WHB		
SS	STUB STACK: 110mm Ø uPVC STUB STACK TO PLUMBING SPECIALIST DETAIL		
RWDP	RAINWATER DOWNPIPE: 160mm DIA uPVC CIRCULAR DOWNPIPE TO PLUMBING SPECIALIST SPEC, UNLESS OTHERWISE SPESIFIED		
SRS	STORMWATER RETICULATION SYSTEM: 160mm DIA uPVC PIPE TO PLUMBING SPECIALIST SPEC, UNLESS OTHERWISE SPESIFIED		
FB-01	FULBORE OUTLET		
ACP-01	ACCESS PANEL : 300mm X 300mm		
SANS NBR ALL WORKS TO COMPLY WITH SANS NBR 10400			
PIPING LEGEN	ID		
COLD WATER N	MAIN		COLD >
COLD WATER :			
HOT WATER MA	WATER MAIN HOT >		
HOT WATER: S	UPPLY		l

WASTEWATER: 50mm DIA uPVC PIPE

TO WATER TREATMENT PLANT

TO DISCHARGE TO GARDEN

SEWERAGE LINE

SPECIALIST

SEWERAGE : 110mm DIA uPVC PIPE TO SS AND MAIN

SEWERAGE : 110mm DIA uPVC PIPE LAID TO MIN 1:40 FALL

STORMWATER: 110mm DIA uPVC PIPE LAID AT MIN 1:40

GAS SUPPLY: 20mm DIA uPVC FLEX PIPE LAID BY

284 FLORIDA RD - INCITE BALCONY

BOSHOFFARCHITECTS

+27 83 304 9277

Pr Arch 43092891

2019/315079/07

PB 5125

3 MILLAR ROAD, WINDERMERE, 4001 LOUIS@BOSHOFFARCHITECTS.COM

CLIENT AUTHORIZATION

PROJECT NAME PROPOSED ADDITIONS AND ALTERATIONS TO ERF R/687. NEW ONGRADE PARKING, ABLUTIONS AND BALCONY ERF NO. LOCATION 288 FLORIDA ROAD, DURBAN CLIENT INCITE CHURCH

STATUS

SUBMISSION

ADDRESS

TELEPHONE

SACAP REG. CIPRO.

PRAC NO.

ALL RELEVANT DETAILS, LEVELS AND DIMENSIONS ARE TO BE CHECKED ON SITE PRIOR TO

ALL RELEVANT DE LAILS, LEVELS AND DIMENSIONS ARE 10 BE CHECKEU ON SITE PRIOR TO COMMENCEMENT OF WORK, ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. THE ARCHITECT ACCEPTS NO RESPONSIBILITY FOR ERRORS RESULTING FROM MISINTERPRETATION OF THE DRAWINGS. ALL WORK TO BE CARRIED OUT STRICTLY IN ACCORDANCE WITH NATIONAL BUILDING REQUILATIONS AND LOCAL AUTHORITY REGULATIONS DO NOT SCALE THIS DRAWING. USE FIGURED DIMENSIONS ONLY.

OWNERSHIP OF RIGHTS AND COPYRIGHT IN AND TO ALL PLANS, DESIGNS, DRAWINGS AND IMAGES OF ANY NATURE PRODUCED BY BOSHOFF ARCHITECTS (PTY) LTD, INCLUDING WORK RESULTING FROM THEM, SHALL AT ALL TIMES REMAIN VESTED SOLELY IN BOSHOFF ARCHITECTS (PTY) LTD AND ANY PROVISION TO THE CONTRARY IN TERMS OF THE COPYRIGHT ACT NO.98 OF 1978 IS HEREBY SPECIFICALLY EXCLUDED. THE CLIENT WILL INDEMNIFY AND HOLD HARMLESS BOSHOFF ARCHITECTS PTY LTD AGAINST ALL CLAIMS, COSTS AND DEMANDS (INCLUDING IN RESPECT OF NEGLIGENCE) BY THIRD PARTIES IN RESPECT OF

BALCONY DETAILS

SCALE (A1) As indicated	DRAWING NO. 84_100.06	DATE 23/05/03
DRAWN BY	CHECKED BY	SIGNED BY
PROJECT NUMBER	WORK STAGE	REVISION