

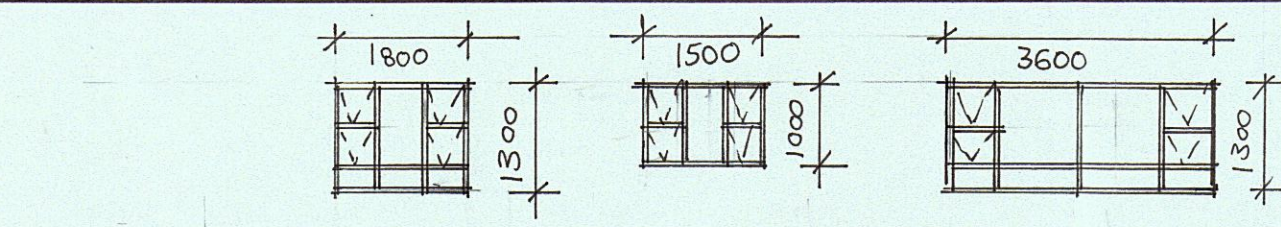
GENERAL NOTES:
 -ALL LEVELS AND DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTOR BEFORE COMMENCING WORK.
 -FOUNDATIONS TO BE MIN. 1m FROM MUNICIPAL SERVICES.
 -REINFORCED BRICKWORK WITH SOLID JOINTS IN CEMENT MORTAR IN ALL WALLS AT WINDOW JILL AND ROOF PLATE LEVELS.
 -SOIL TO BE POISONED.
 -ALL NEW WATER PIPES TO BE 22mm Ø COPPER PIPING.
 -100 CONCRETE SLAB ON BRG MESH ON SABS APPROVED DAMP ROOF MEMBRANE ON WELL RAMMED SOIL.
 -ALL GLAZING TO COMPLY WITH SANS 10400 - PART N.
 -FLOORS IN BATHROOM, LAUNDRY AND KITCHEN TO COMPLY WITH SANS 10400 - PART J.4.2.
 -ALL NEW WORK TO COMPLY WITH SANS 10400 XA AND SANS 204. ENERGY EFFICIENCY AND USAGE OF A BUILDING.
 -ALL PLUMBING TO COMPLY WITH SANS 10400 - PART P.
 -LIGHTING AND VENTILATION TO COMPLY WITH SANS 10400 - PART O.
 -GUTTERS AND DOWNPIPES TO COMPLY WITH SANS 10400 - PART R.
 -FLASHING TO BE PROVIDED AS PER SANS 10400 - PART L.
 -SUPPLY OF WATER TO COMPLY WITH SANS 10400 PART W.
 -NEW WALLS, ROOF, FOUNDATIONS, LINTELS AND BEAMS TO ENGINEER'S DETAIL.

Sides	Meters
AB	20.87
BC	6
CD	35.66
DE	25.45
EA	40.23

Area = 1 010sqm

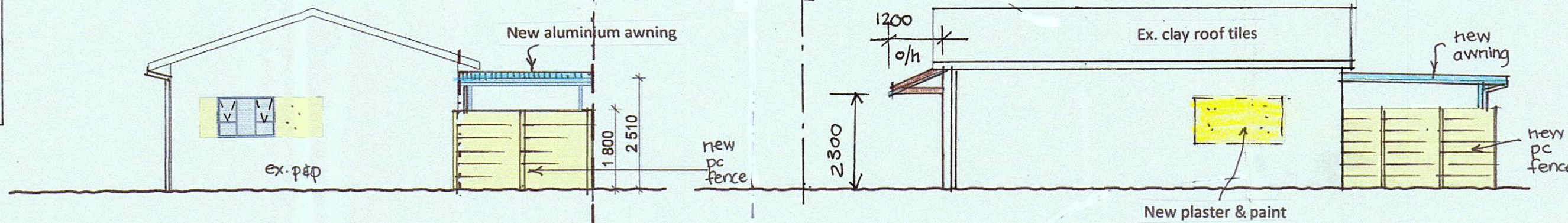
WATER RETICULATION
MAIN DWELLING:
 CLASS OF OCCUPANCY: H3
 DESIGN POPULATION: 6 PERSONS
 HOT WATER DEMAND: 115 litres/person/day x 7 = 230 litres/day
 HOT WATER STORAGE VOLUME AT 60 DEGREES C (20% HEAT LOSS): 40 LITRES/CAPITA x 6 PERSONS = 240 litres
 HOT WATER STORAGE: 48 litres
 20% HEAT LOSS ALLOWANCE: 240L + 48L = 288L
 POWER REQUIRED TO HEAT VOLUME OF WATER REQUIRED: HOT WATER STORAGE REQUIRED AT 60 deg C = 288L
 $Q = (M \times C \times \Delta T) / t$
 $Q = (0,288 \times 1,16kWh/m^3 \text{ deg C} \times (60 - 20deg)) / 7,25h$
 $Q = 5,34 kW$
NOTE - SUPPLY OF WATER TO COMPLY WITH SANS 10400- PART W

NOTE: ALL LEVELS AND DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTOR BEFORE COMMENCING WORK



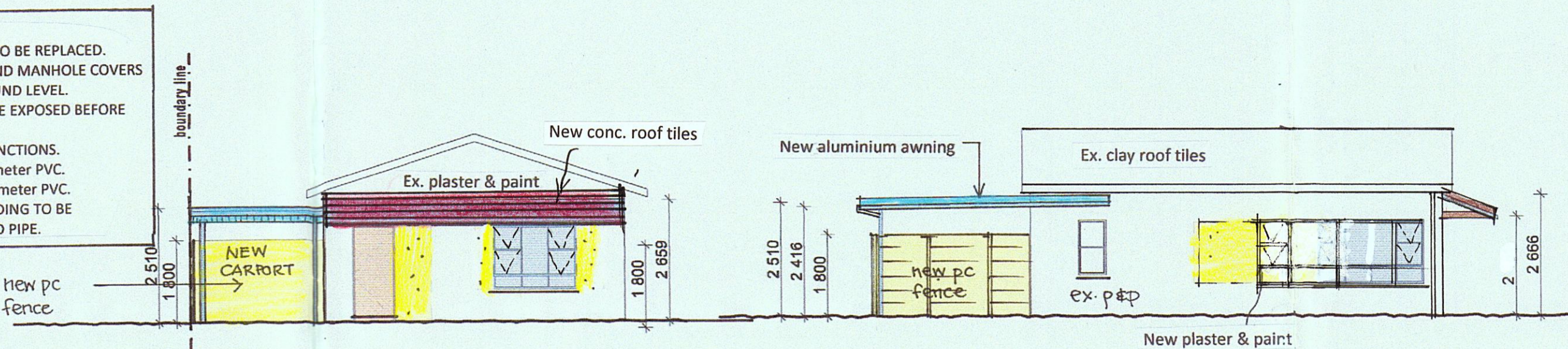
Window type	W1	W2	W3
Glass thickness	3mm	3mm	4mm
Glass type	Mon. annealed	Mon. annealed	Mon. annealed

WINDOW SCHEDULE 1:100 - All alom. windows



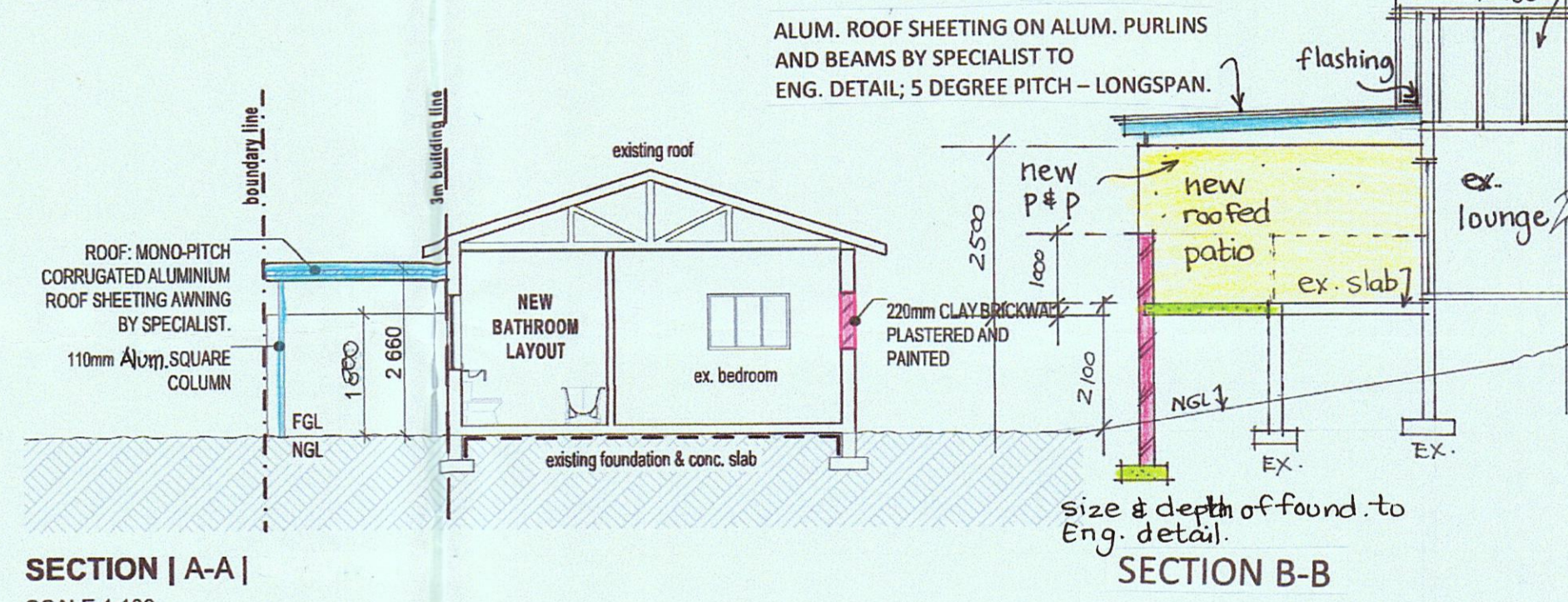
ELEVATION S.W. - ANCILLARY UNIT
SCALE 1:100

ELEVATION N.W. - ANCILLARY UNIT
SCALE 1:100



ELEVATION N.E. - ANCILLARY UNIT
SCALE 1:100

S.E. - ANCILLARY UNIT
SCALE 1:100

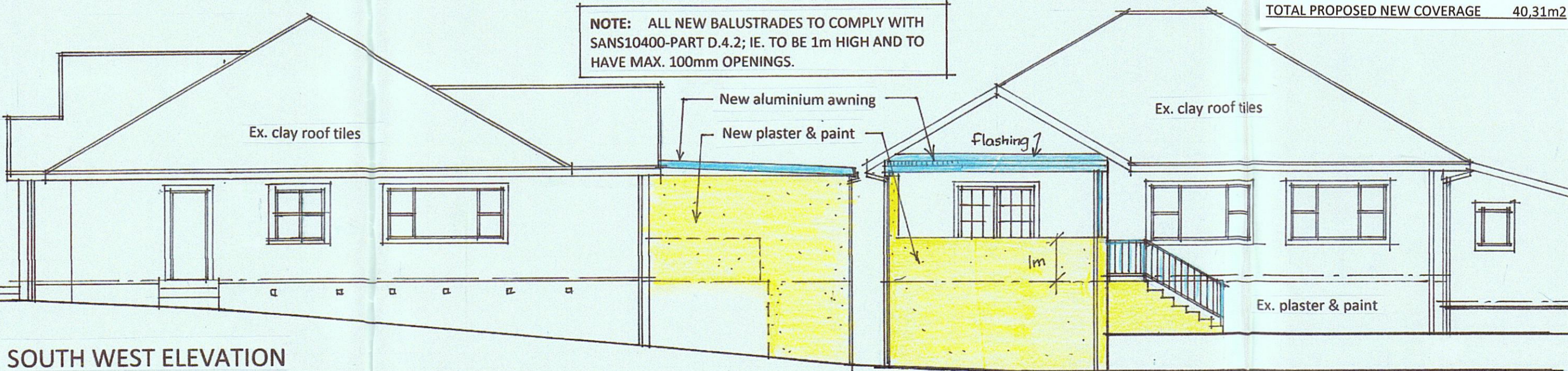


SECTION | A-A |
SCALE 1:100

SECTION B-B

SCHEDULE OF AREAS : m2

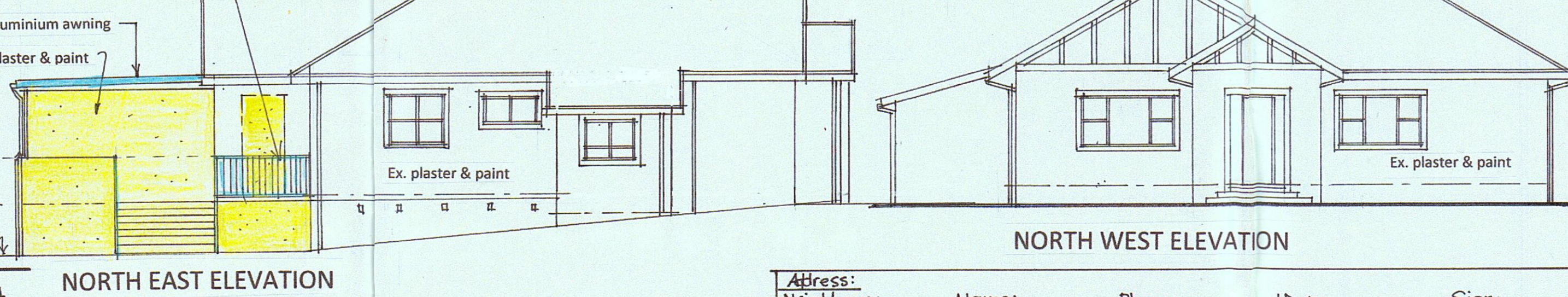
SITE AREA	= 1010 m2
ALLOWABLE COVERAGE	50% (50%)
ALLOWABLE F.A.R.	N/A
EXISTING COVERAGE	318,14
PROPOSED COVERAGE	40,31
NEW TOTAL COVERAGE	358,45
AVAILABLE COVERAGE	146,55
EXISTING F.A.R.	270,25
PROPOSED F.A.R.	0
NEW TOTAL F.A.R.	270,25
AVAILABLE F.A.R.	N/A
NEW AREAS:	
NEW ROOFED PATIO EXTENSION	11,26
NEW OPEN PATIO EXTENSION	6,25
NEW CARPORT	15
NEW ROOF OVERHANG	7,8
TOTAL PROPOSED NEW COVERAGE	40,31m2



SOUTH WEST ELEVATION

SOUTH EAST ELEVATION

NOTE: ALL NEW BALUSTRADES TO COMPLY WITH SANS10400-PART D.4.2; IE. TO BE 1m HIGH AND TO HAVE MAX. 100mm OPENINGS.

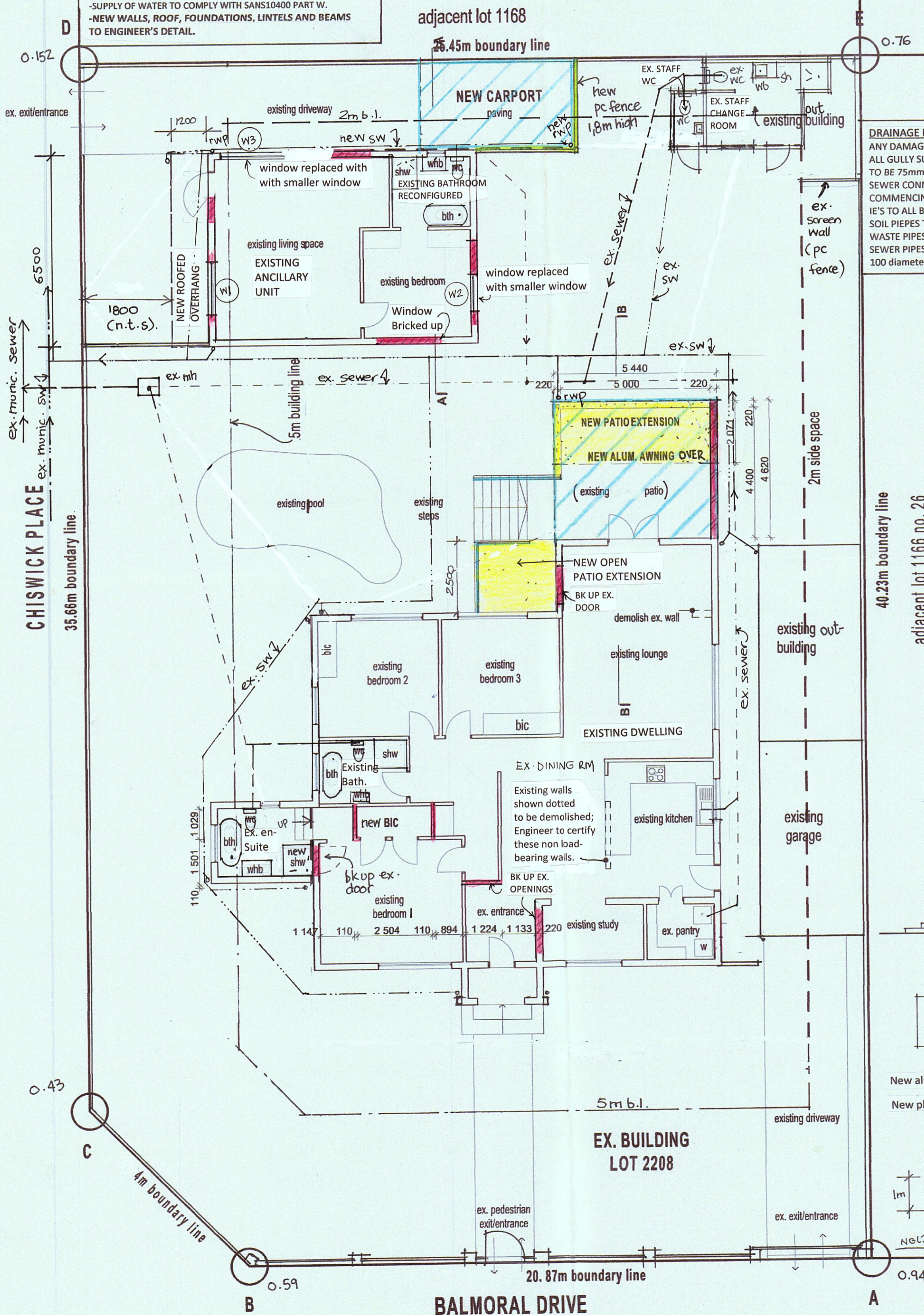


NORTH EAST ELEVATION

NORTH WEST ELEVATION

Address: Name: Phone: ID no. Sign:

Address:	Name:	Phone:	ID no.	Sign:
2 CHISWICK PLACE	BENISSON	0837767696	710916203081	[Signature]
29 Balmoral Dr	Spiller	0834624004	5803115026082	[Signature]
5 Harcourt Ave	Shawn Robert	0767883202	8401135015081	[Signature]
26 Balmoral Dr	Mercy Mafara	0725609627	BN 733 123	[Signature]



GROUND STOREY PLAN AND SITE PLAN 1:100

DRAWING NO. 033 06 2023

PROPOSED ALTERATIONS TO EXISTING DWELLING AND ANCILLARY UNIT AND NEW AWNINGS AND CARPORT FOR Luis Coelho A. Branwyn Coelho 28 Balmoral Drive LOT 1167 DURBAN NORTH

SITE PLAN, GROUND FLOOR PLAN, ELEVATIONS & SECTIONS

DRAWN BY	C. VAN BREEMEN
CHECKED BY	M. VAN BREEMEN
DATE	MAY 2023
SCALES	1:100
SIGNED	[Signature]
OWNER'S SIGNATURE	[Signature]
OWNER'S PHONE NO.	074 433 3728

ARCHITECTURAL PLANS

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 M. SACAP M. SAJAT