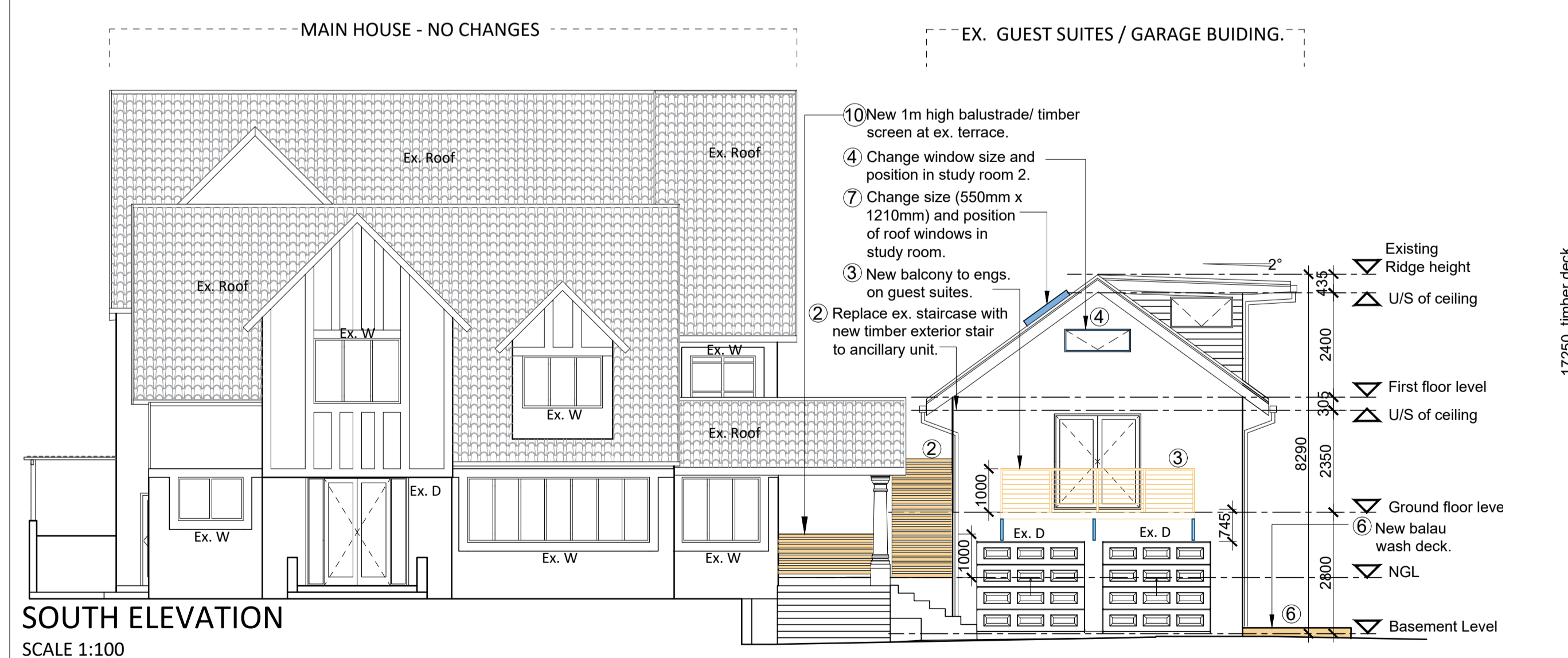


**SITE PLAN**  
1:200 @ A1



**SOUTH ELEVATION**  
SCALE 1:100

**LIST OF ABBREVIATIONS**

<b>AFFL:</b> Above finished floor level	<b>FC:</b> Fibre Cement	<b>P&amp;P:</b> Plaster and Paint	<b>TN:</b> True North
<b>Conc:</b> Concrete	<b>FGL:</b> Finished floor level	<b>Qty:</b> Quarry	<b>TO:</b> Top of
<b>COV:</b> Coverage	<b>FGL:</b> Finished Ground Level	<b>R:</b> Riser	<b>US:</b> Underside
<b>D:</b> Door	<b>FR:</b> Refrigerator	<b>SAP:</b> South African Pine	<b>W:</b> Window
<b>Ex:</b> Existing	<b>H:</b> Height	<b>SH:</b> Shower	<b>WC:</b> Water closet (toilet pan)
<b>F2C:</b> Finished floor level to underside of ceiling	<b>HWT:</b> Hot Water Tank	<b>SOP:</b> Setting out point	<b>Whb:</b> Wash-hand basin
<b>FAR:</b> Floor Area Ratio	<b>NGL:</b> Natural Ground Level	<b>SW:</b> Storm water	<b>Win:</b> Window
	<b>MH:</b> Manhole	<b>T:</b> Tread	<b>WM:</b> Washing Machine
			<b>WT:</b> Wash Trough

<b>COLOUR KEY</b>	<b>PLUMBING KEY</b>
New masonry wall	<b>AAV:</b> air admittance valve
New doors	<b>rwdp:</b> rain water down pipe
New timber	<b>ie:</b> inspection eye
New/repositioned window	<b>MH:</b> man hole
New plaster and painted wall	<b>SW:</b> storm water
New balau decking / screens	<b>RWT:</b> rain water tank
New glass balustrade	<b>SVP:</b> soil vent pipe
New shutter	<b>SP:</b> stand pipe
	<b>SH:</b> shower
	<b>whb:</b> wash hand basin
	<b>WC:</b> water closet (toilet pan)

**TOWN PLANNING INFORMATION**

Zoning: Special Residential T200  
 FAR: N/A  
 Coverage: 40%  
 Min Building Line: 5.0m to all road frontages.  
 Min Subdivision (m<sup>2</sup>): 1200m<sup>2</sup>  
 Min Rear and Side Space: 2.0m from side and rear boundary.  
 Max Height: 2 stories (ex. basement - over 50% below NGL)

**BUILDING CLASSIFICATION: H4**

**TOWN PLANNING INFORMATION**  
Schedule of Areas

Site Area (Nett): 2332.20m<sup>2</sup>  
 Ex. Floor Area Dwelling: 412.49m<sup>2</sup>  
 Ex Floor Area Outbuildings: 161.097m<sup>2</sup>  
 Proposed Additional Floor Area: 46.99m<sup>2</sup>

Total Proposed Floor Area Ratio: 620.577m<sup>2</sup> (26.61%)

Revisions		
No.	Description	Date
A	Deviations for submission to Authorities	18.11.2022

**Coverage**

Allowable Coverage: 0.4 of net site area = 932.88m<sup>2</sup>  
 Total Ex. Coverage: 357.66m<sup>2</sup>  
 Proposed Additional Coverage 20.58m<sup>2</sup>

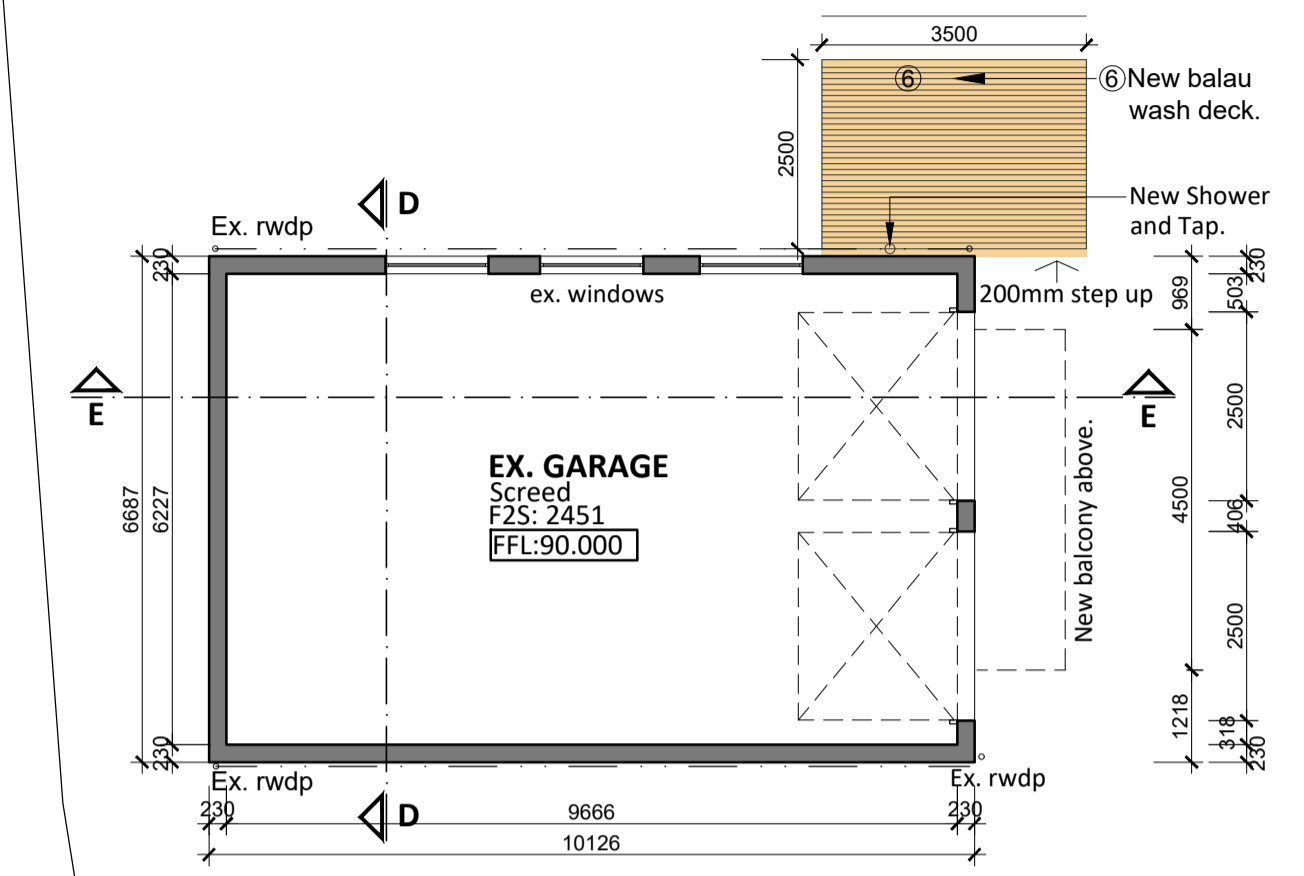
Main House: 16.35m<sup>2</sup>  
 Flatlet: 4.23m<sup>2</sup>

Total Proposed Coverage: 378.24m<sup>2</sup> (16.2%)

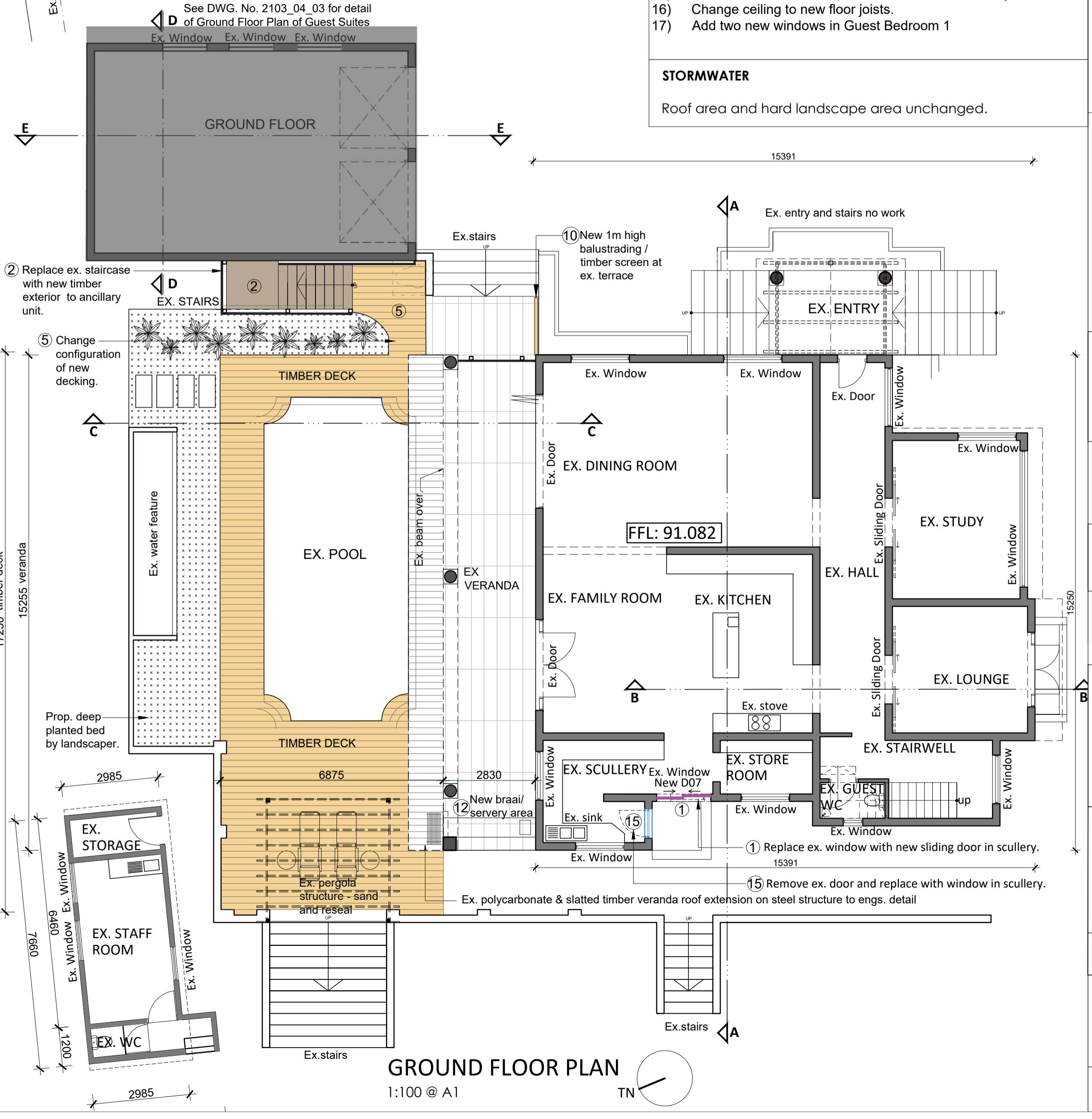
- DEVIATION KEY**
- 1) Replace ex. window with new sliding door in scullery.
  - 2) Replace ex. staircase with new timber exterior to ancillary unit.
  - 3) New balcony to engs. details on guest suites.
  - 4) Change window size and position in Study room 2
  - 5) Change configuration of new decking.
  - 6) New balau wash deck.
  - 7) Change size (550mm x 1210mm) and position of roof windows in study rooms.
  - 8) Enclose end of veranda with 500mm high wall with shutters.
  - 9) Change standard door to 1200mm sliding door in study room 1.
  - 10) New 1m high balustrade/ timber screen at ex. terrace.
  - 11) Replace external balustrade with internal glass balustrade to specialists detail in study rooms.
  - 12) Add braai/ servery area.
  - 13) Remove nib wall and make good.
  - 14) Replace ex. drywall with new 90mm drywall
  - 15) Remove ex. door and replace with window in scullery.
  - 16) Change ceiling to new floor joists.
  - 17) Add two new windows in Guest Bedroom 1

**STORMWATER**

Roof area and hard landscape area unchanged.



**BASEMENT PLAN**  
1:100 @ A1



**GROUND FLOOR PLAN**  
1:100 @ A1

**Lead architects**  
www.leadarchitects.co.za

AMANDA LEAD SACAP REG. No. 5027 Pr.Arch.  
 54 EDMONDS ROAD, GLENWOOD, DURBAN, 4001.  
 TEL: (031) 205 1410  
 EML: amanda@leadarchitects.co.za

**PROJECT**

DEVIATION TO APPROVED PLANS TO DWELLING AT 3 MONMOUTH CRESCENT, DURBAN NORTH

**OWNERS**

Mr. JB Blanc  
 Mrs. N Koyama Blanc

**STREET ADDRESS**

3 Monmouth Crescent, Durban North

**CADASTRAL DESCRIPTION**

ERF 2701 OF DURBAN NORTH

**NAMES & SIGNATURES**

Architect & Applicant:

Owner

**DRAWING**

**SITE PLAN, GROUND FLOOR, BASEMENT PLAN & SOUTH ELEVATION**

**DEVIATION PLANS**

Project Number: 2103  
 Date: 18 November 2022  
 Drawn: SN Thusi  
 Checked: AK Lead  
 Scale: As shown @ A1

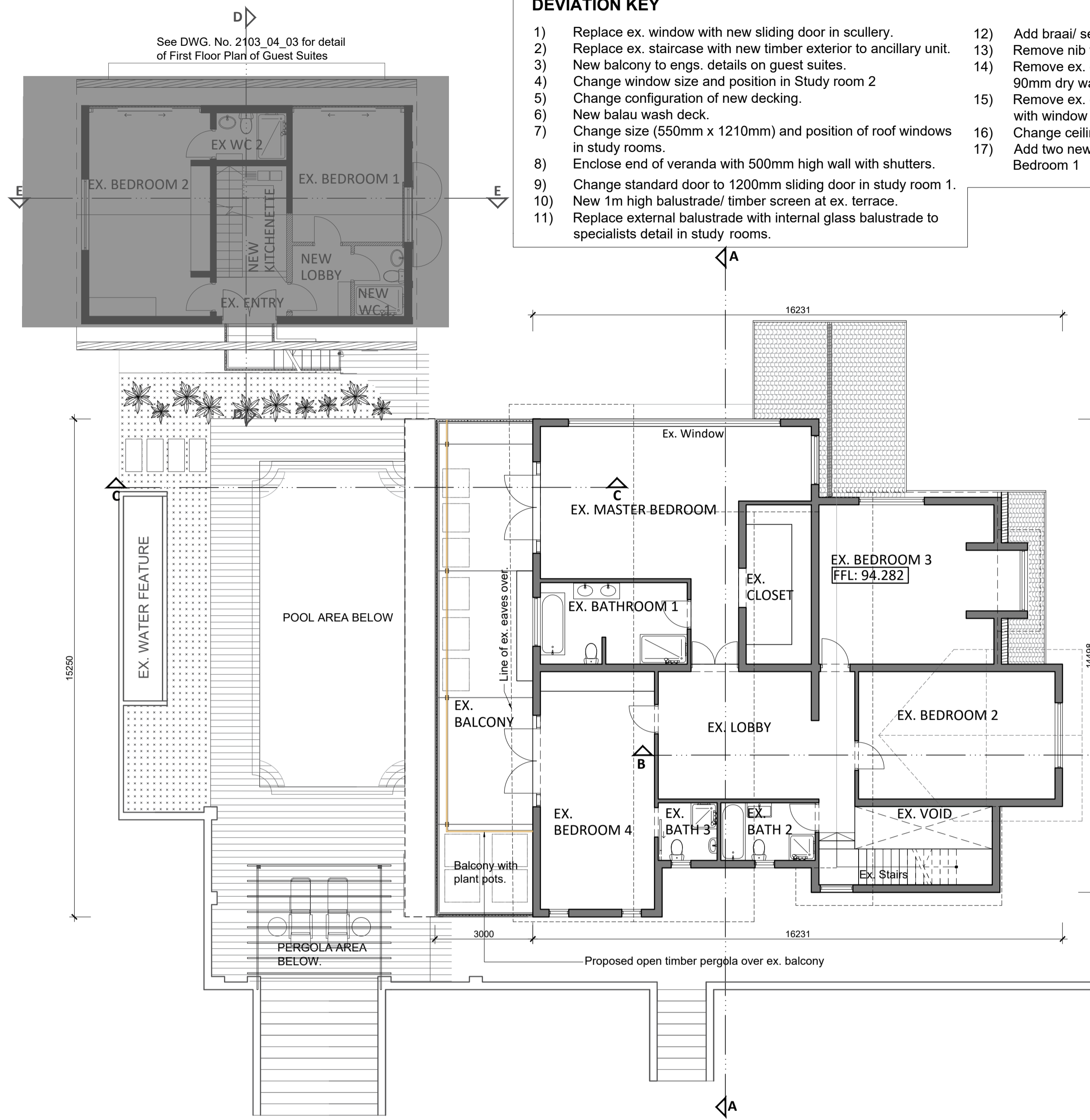
DWG No: 2103\_4.3\_101\_A

REV A

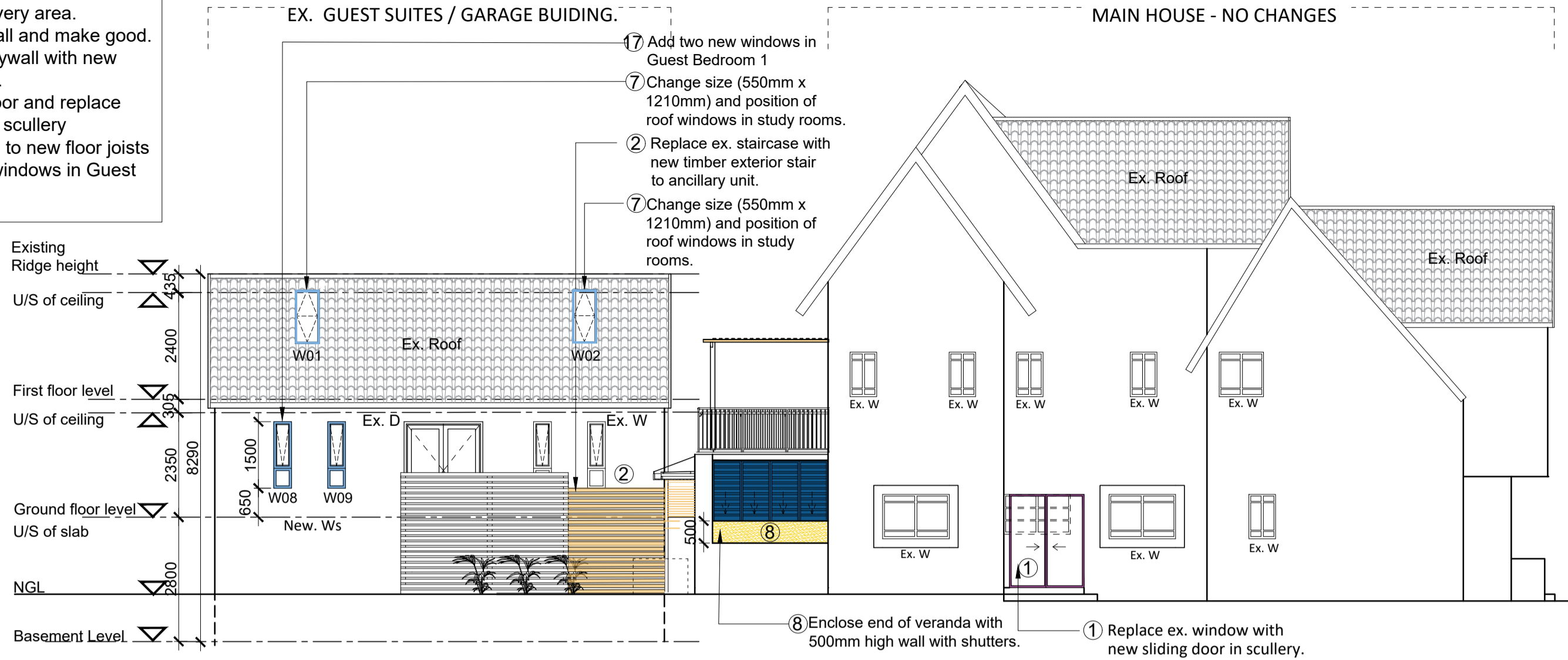
**DEVIATION KEY**

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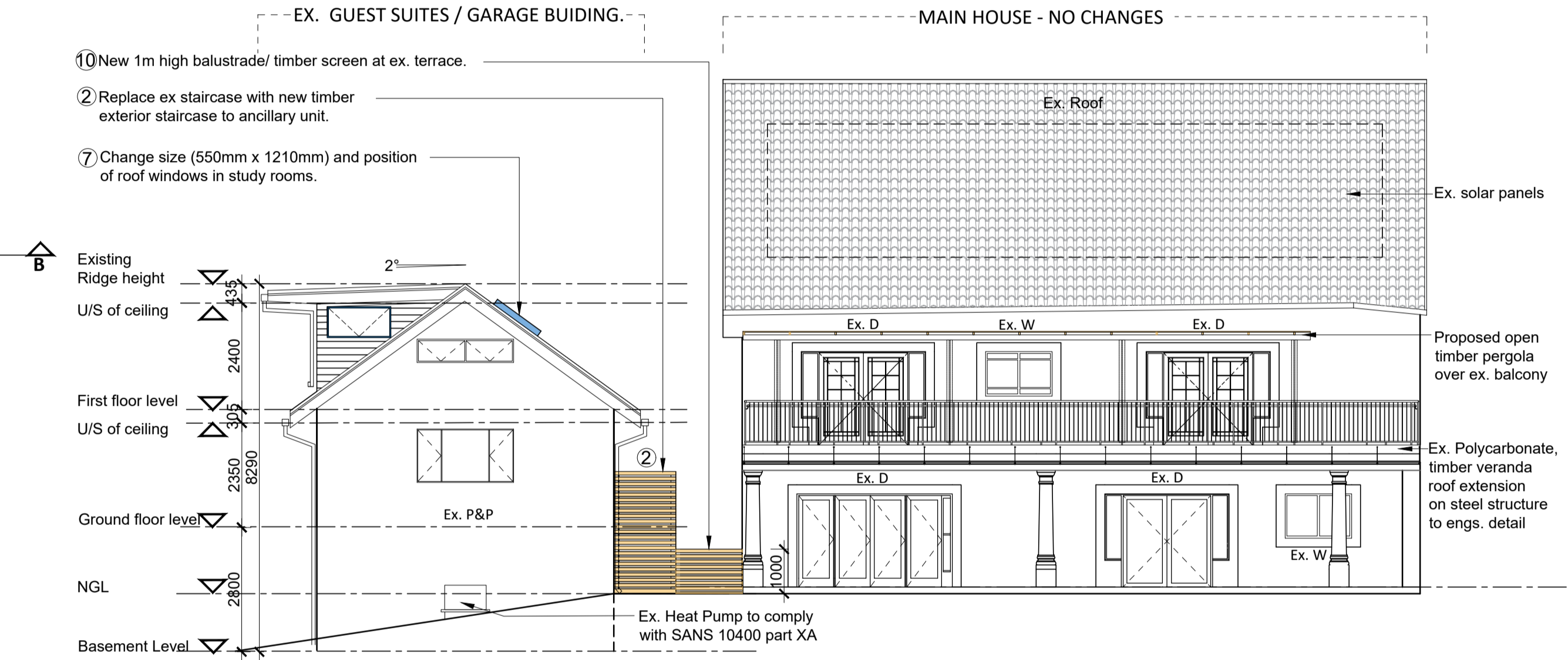
Revisions		
No.	Description	Date
A	Deviations for submission to Authorities	18.11.2022



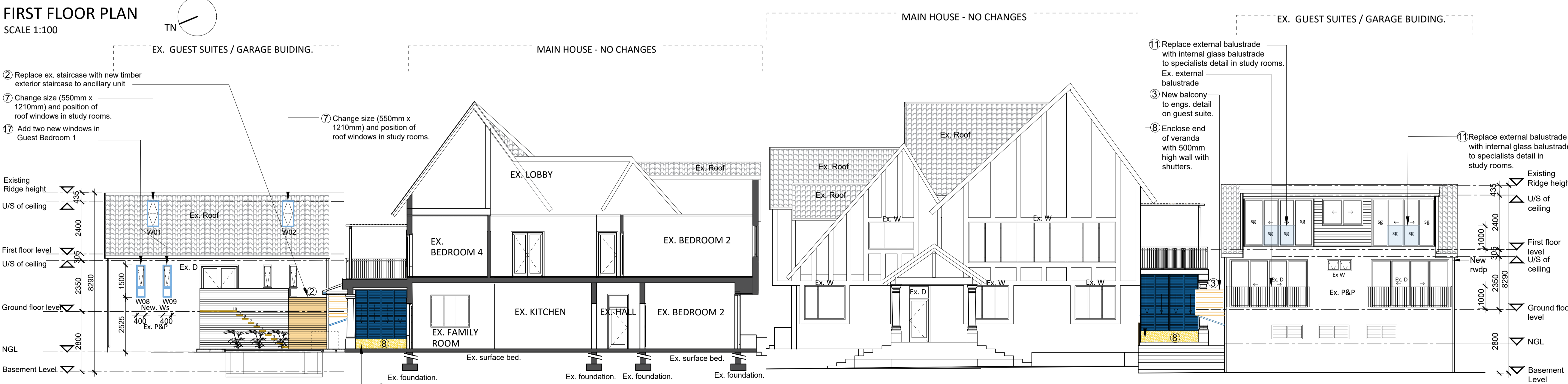
**FIRST FLOOR PLAN**  
SCALE 1:100



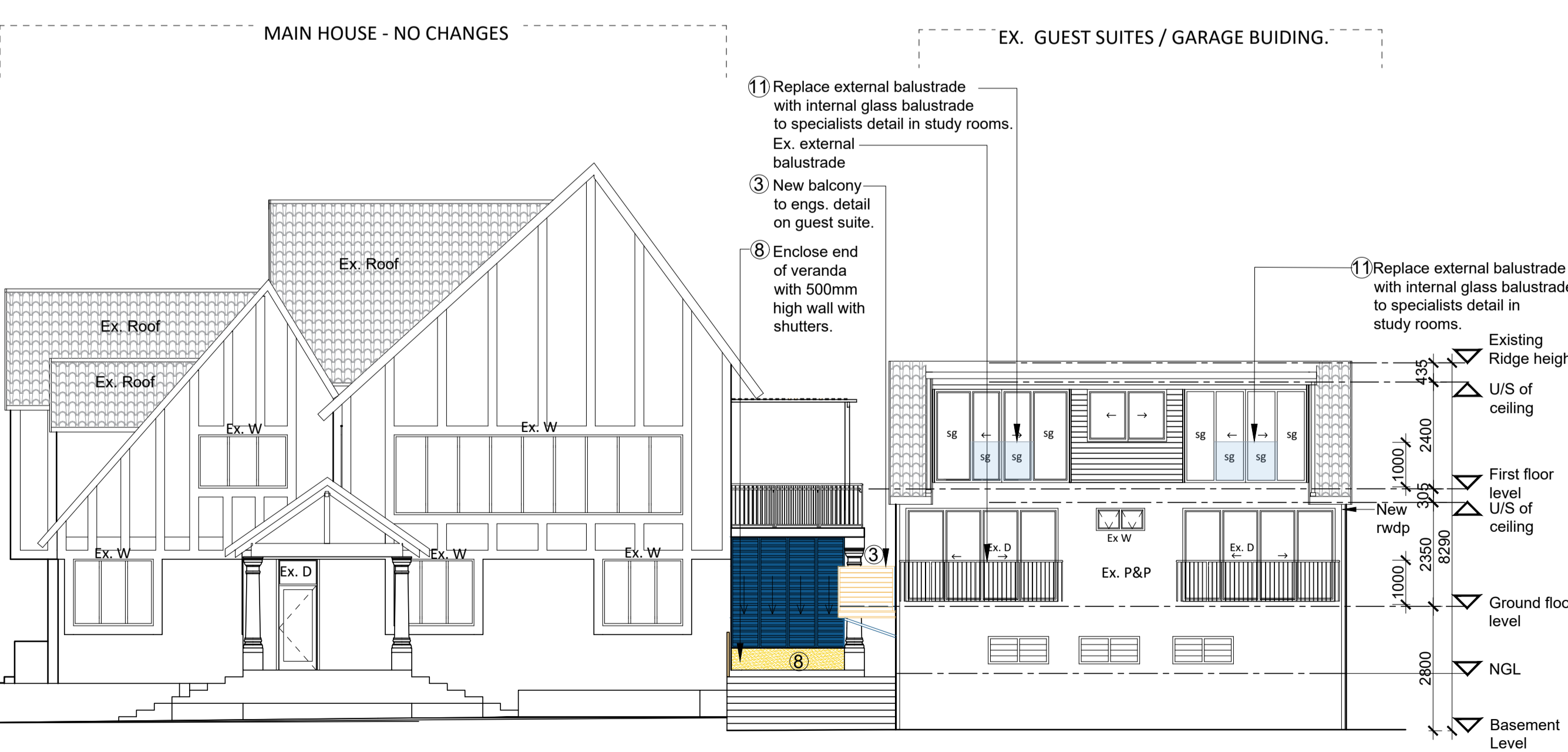
**EAST ELEVATION**  
SCALE 1:100



**NORTH ELEVATION**  
SCALE 1:100



**SECTION ON BB**  
SCALE 1:100



**WEST ELEVATION**  
SCALE 1:100

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**OWNERS**  
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Mrs. N Koyama Blanc

**STREET ADDRESS**  
3 Monmouth Crescent, Durban North

**CADASTRAL DESCRIPTION**  
ERF 2701 OF DURBAN NORTH

**NAMES & SIGNATURES**  
Architect & Applicant:

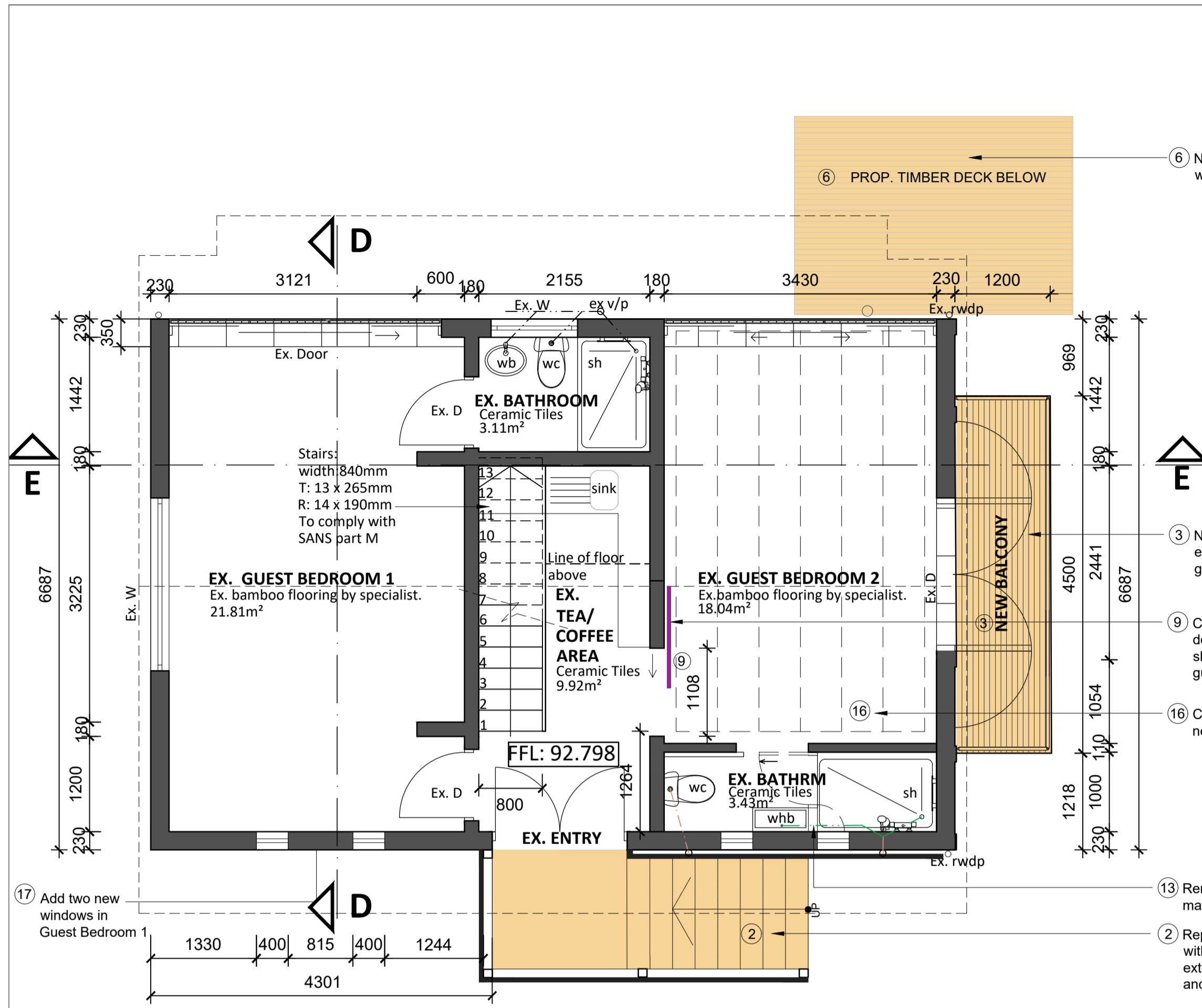
**Owner**

**DRAWING**  
FIRST FLOOR PLAN & ELEVATIONS

**DEVIATION PLANS**

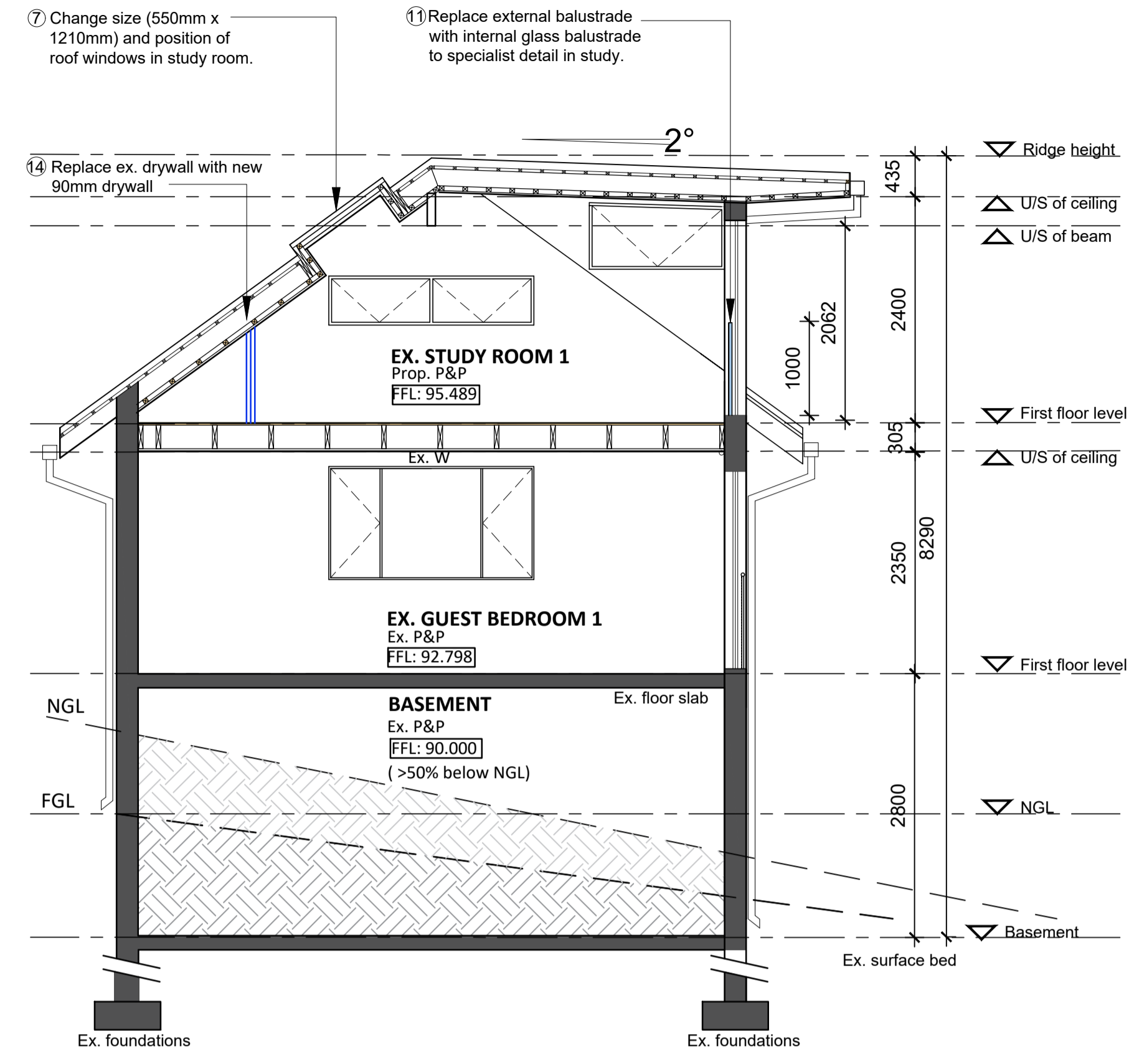
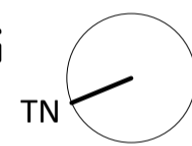
Project Number: 2103  
Date: 18 November 2022  
Drawn: SN Thusi  
Checked: AK Lead  
Scale: As shown @ A1

DWG No: 2103\_4.3\_102\_A REV A



GROUND FLOOR PLAN - GUEST SUITES & GARAGE BUILDING

1:50 @ A1

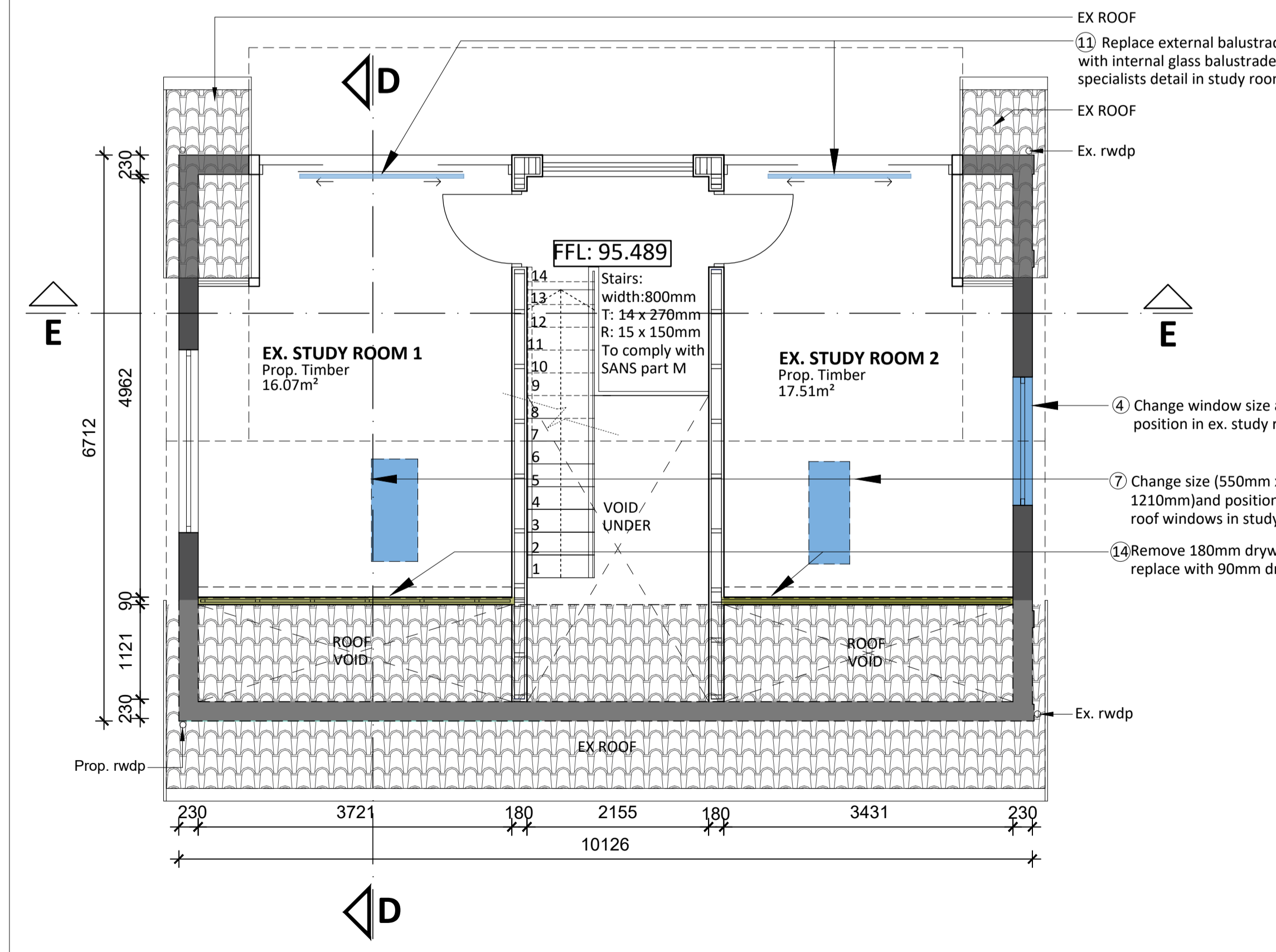


SECTION ON DD - GUEST SUITES & GARAGE BUILDING

1:50 @ A1

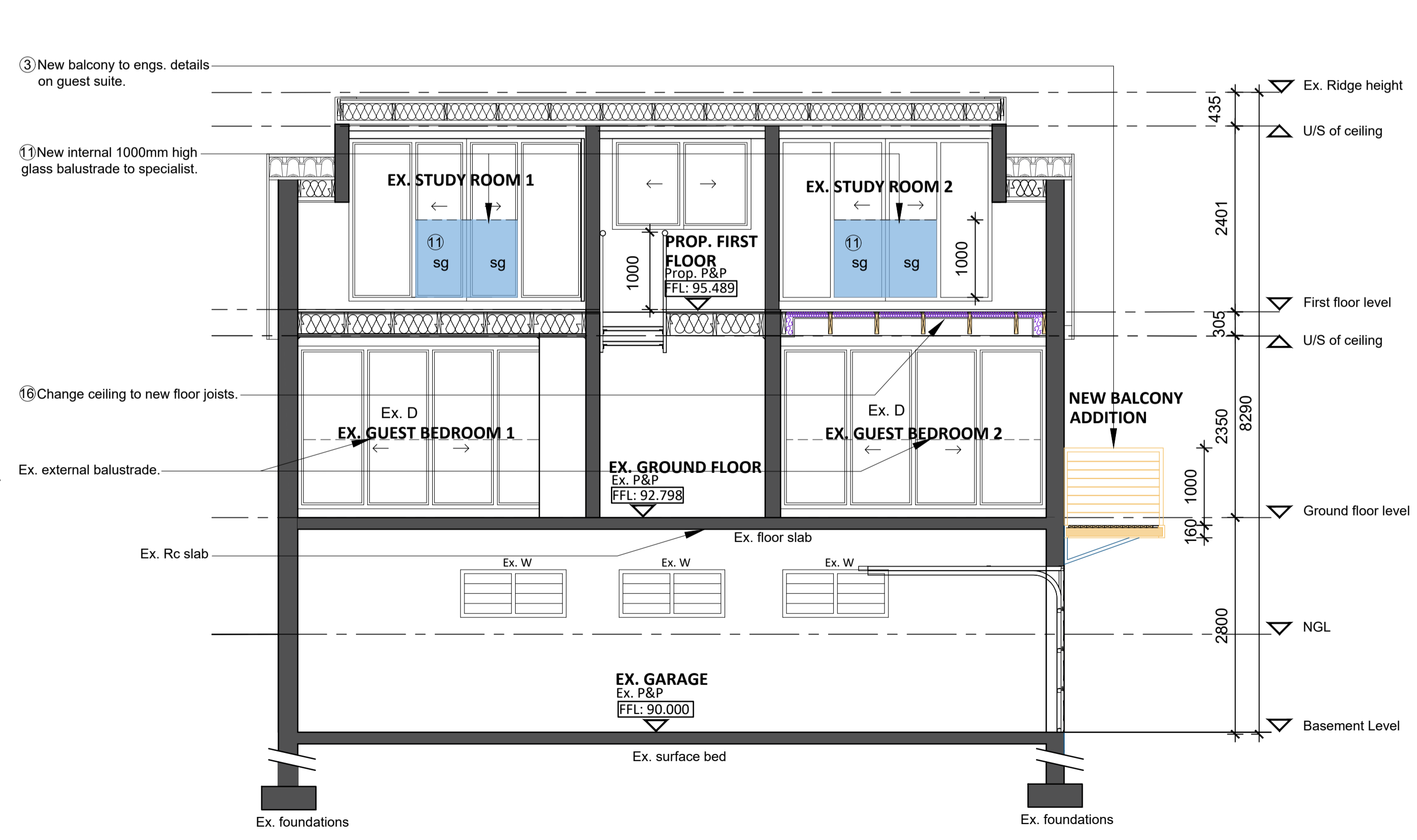
**DEVIATION KEY**

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- 4) Change window size and position in Study room 2
- 5) Change configuration of new decking.
- 6) New balau wash deck.
- 7) Change size (550mm x 1210mm) and position of roof windows in study rooms.
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- 9) Change standard door to 1200mm sliding door in study room 1.
- 10) New 1m high balustrade/ timber screen at ex. terrace.
- 11) Replace external balustrade with internal glass balustrade to specialists detail in study rooms.
- 12) Add braai/ servery area.
- 13) Remove nib wall and make good.
- 14) Replace ex. drywall with new 90mm drywall
- 15) Remove ex. door and replace with window in scullery.
- 16) Change ceiling to new floor joists.
- 17) Add two new windows in Guest Bedroom 1



FIRST FLOOR PLAN - GUEST SUITES & GARAGE BUILDING

1:50 @ A1



SECTION ON EE - GUEST SUITES & GARAGE BUILDING

1:50 @ A1

**Revisions**

No.	Description	Date
A	Deviations for submission to Authorities	18.11.2022



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**PROJECT**  
DEVIATION TO APPROVED PLANS TO DWELLING AT 3 MONMOUTH CRESENT, DURBAN NORTH

**OWNERS**  
Mr. JB Blanc  
Mrs. N Koyama Blanc

**STREET ADDRESS**  
3 Monmouth Crescent, Durban North

**CADASTRAL DESCRIPTION**  
ERF 2701 OF DURBAN NORTH

**NAMES & SIGNATURES**  
Architect & Applicant:  
Owner

**DRAWING**  
PROPOSED FLATLET GROUND FLOOR PLAN, FIRST FLOOR PLAN, SECTION D-D & SECTION E-E.

**DEVIATION PLANS**

Project Number: 2103  
Date: 11 November 2022  
Drawn: SN Thusi  
Checked: AK Lead  
Scale: As shown @ A1

DWG No: 2103\_4.3\_103\_A REV  
A

<b>DOOR SCHEDULE - Outbuilding</b> 1:50 @ A1	
Finishes Note (See Finishes schedule) All interior faces of timber doors: Varnish Spec 1 All Exterior faces of timber doors: Varnish Spec 2	
REFERENCE: <b>North Elevation</b> Ex. Scullery	
PLAN	
EX/NEW: Ex	D07
QTY: 1 Off	
Size :	1618mm x 2100mm
Glass:	6.3mm laminated safety glass
Description:	Purpose-made, timber framed sliding door to match TDM "Homefront, Belfast, Horizontal - grooved door" supplied unpainted. Frame - single hardwood stop for lock 44x50x 2100 recessed into wall and timber pelmet over to conceal track.
Finish:	Exterior varnish spec.

- DEVIATION KEY**
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  - 16) Change ceiling to new floor joists.
  - 17) Add two new windows in Guest Bedroom 1

**Revisions**  
No deviations made to Electrical layout. All as per previously approved plans.

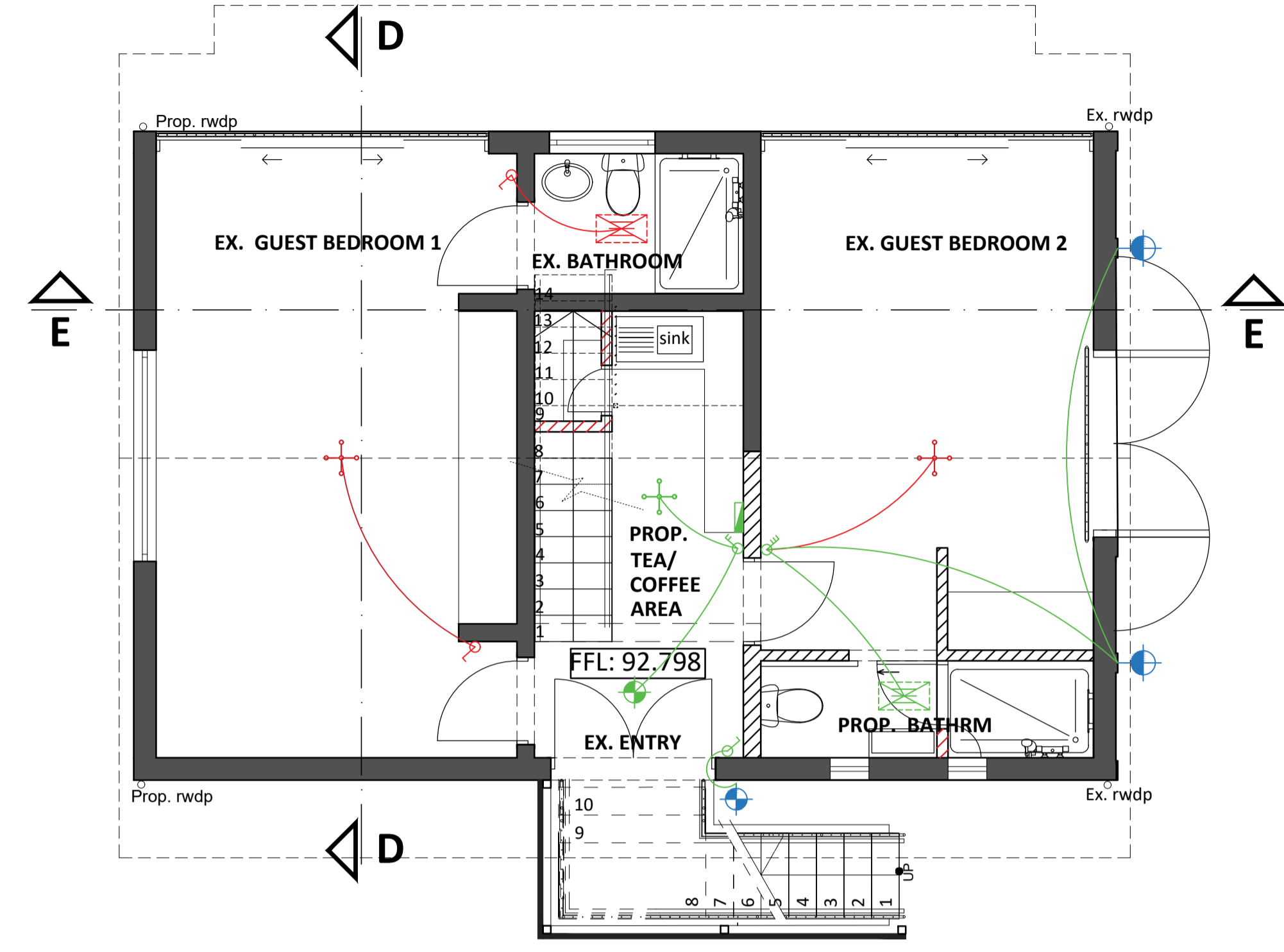
<b>WINDOW SCHEDULE - Outbuilding</b> 1:50 @ A1	
REFERENCE: <b>North &amp; South Elevation</b> Proposed Studyroom 1 & Proposed Studyroom 2	REFERENCE: <b>East Elevation</b> Ex. guest Bedroom 1
EX/NEW: NEW	EX/NEW: NEW
QTY: 2	QTY: 2
Part XA	Part XA
Orientation	Orientation
P: G: H:	P: G: H:
Size :	550mm x 1210mm
Glass:	6.3mm laminated clear safety glass.
Description:	"Casement 36 Window System" single casement window
Finish:	Charcoal powdercoated.
Ironmongery:	Integral black handles with locks.
Size :	400mm x 1500mm
Glass:	6.3mm laminated clear safety glass.
Description:	"Casement 36 Window System" single top-hung window with fixed window below.
Finish:	Charcoal powdercoated.
Ironmongery:	Integral black handles with locks

- GENERAL NOTES**
1. All work to comply with the SANS 10400. All materials used to be of SABS approved approved.
  2. All dimensions and levels to be checked on site.
  3. All drawings are not to be scaled.
  4. All structural works to be to engineers detail and spec and under their supervision.
  5. All sliding and sliding folding doors to be safety glass and to comply with SANS 10400 Part N.
  6. All Glazing in doors and windows to comply with the requirements of SANS 10400 Part N with respect to the provision of safety glass.
  7. All waterproofing to be installed by a qualified person to the manufacturers spec & detail.
  8. All internal walls are generally plastered and painted.
  9. Two courses of brick force minimum to be built in at window & door head levels & @ cill levels where possible.
  10. Any discrepancies to be immediately brought to the attention of the architect.
  11. All structural components - foundations, retaining walls, lintols, beams, roof structure, slabs and stairs - to be designed by competent person ( Structures) and to comply with detailed requirements of Parts B, H, J, K, L, M & N of SANS 10400.
  12. All dimensions work to comply with Parts D & E of SANS 10400.
  13. All site work to comply with Parts F & G of SANS 10400.
  14. All non-masonry external walls to achieve minimum R-value of 1.9 (4.4.3.1 of Part XA of SANS 10400).
  15. All new timber to be treated against wood eating insects with approved product strictly to manufacturers specification.
  16. All steel to be galvanised, primed and painted with enamel to manufacturer's specification.

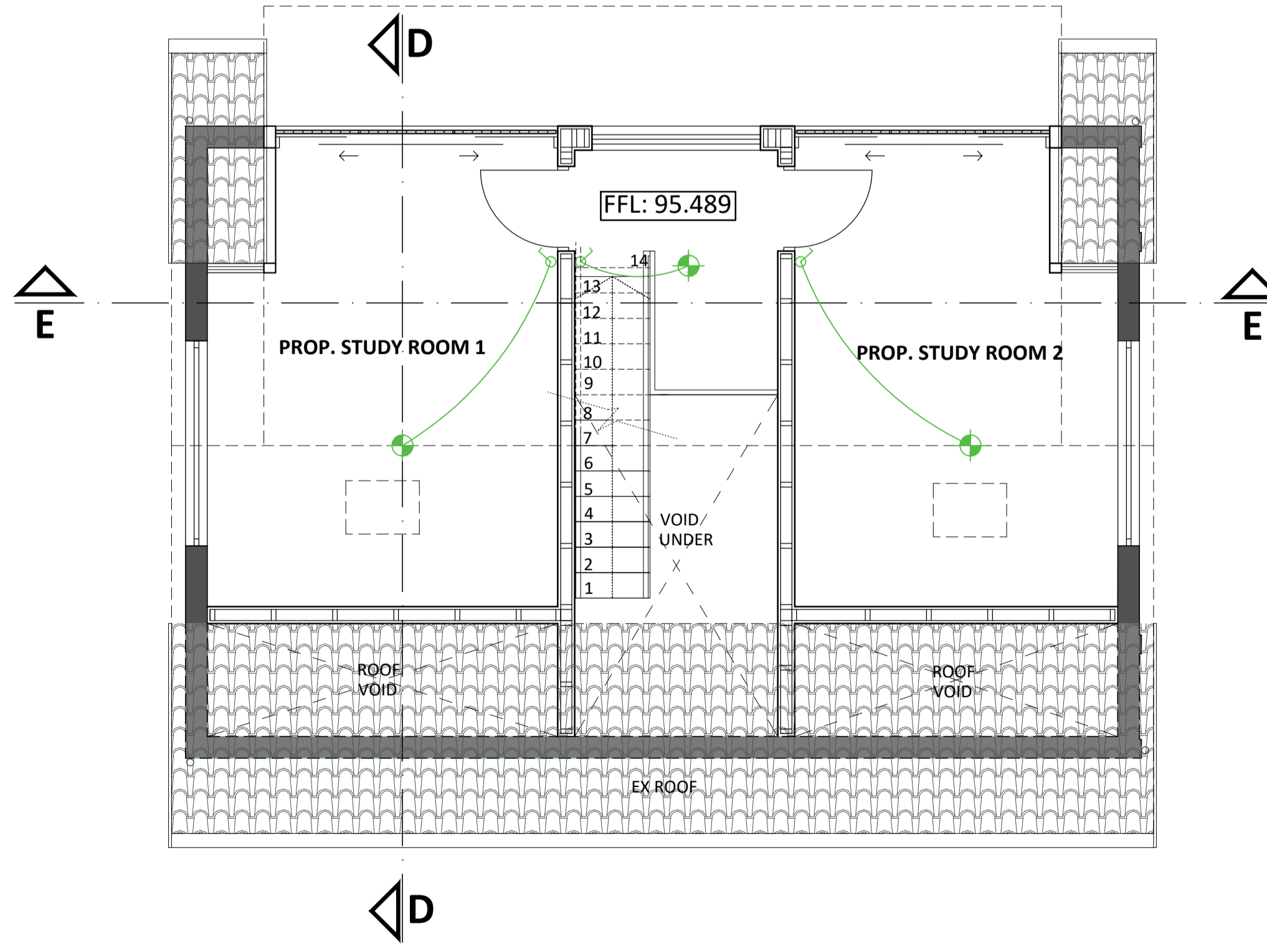
**SITE OPERATIONS**  
1. All Works to comply with SANS Part F

**ELECTRICAL LEGEND**

- Denoted security fitting location (colour blue)
- Denoted new electrical fitting location (colour green)
- Denoted existing electrical fitting (colour red)
- EX Denotes existing fitting
- CR Denotes fitting location - Center of Room
- DS Denotes double switch with parallel wiring
- DM Denotes dimmer switch
- AFFL Denotes height of fitting above FFL
- Panic Button
- Switch
- Distribution Board
- Single 3 pin plug
- Double 3 pin plug
- Pendant light fitting
- Wall mounted light fitting
- Wall mounted security beam
- Wall mounted flood light
- Extractor Fan
- Fan and pendant combo
- 600 x 1200 Fluorescent Fitting
- Chandelier
- One-way switch
- Two-way switch



**GROUND FLOOR PLAN - GUEST SUITES & GARAGE BUILDING ELECTRICAL LAYOUT**  
1:50 @ A1



**FIRST FLOOR PLAN - GUEST SUITES & GARAGE BUILDING ELECTRICAL LAYOUT**  
1:50 @ A1

Revisions		
No.	Description	Date

A	Deviations for submission to Authorities	18.11.2022
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54 EDMONDS ROAD, GLENWOOD, DURBAN, 4001.  
TEL: (031) 205 1410  
EML: amanda@leadarchitects.co.za

**PROJECT**  
PROPOSED ADDITIONS/ALTERATIONS TO DWELLING AT 3 MONMOUTH CRESCENT, DURBAN NORTH

**OWNERS**  
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Mrs. N Koyama Blanc

**STREET ADDRESS**  
3 Monmouth Crescent, Durban North

**CADASTRAL DESCRIPTION**  
ERF 2701 OF DURBAN NORTH

**NAMES & SIGNATURES**  
Architect & Applicant:

Owner

**DRAWING**  
**PROPOSED ELECTRICAL LAYOUT, WINDOW AND DOOR SCHEDULE**

Project Number: 2103  
Date: 11 November 2022  
Drawn: SN Thusi  
Checked: AK Lead  
Scale: As shown @ A1

DWG No: 2103\_04\_104  
REV A