

PHOTO REPORT: 101 & 105 BOTANIC GARDENS ROAD

PROPOSED DEMOLITION TO ACCOMMODATE NEW STUDENT HOUSING DEVELOPMENT AT 101 BOTANIC GARDENS RD, PORTION 12 (OF 2) OF ERF 2292 DURBAN & 105 BOTANIC GARDENS RD, PORTION 2 OF ERF 2292 DURBAN.

1) 105 & 101 BOTANIC GARDENS RD LOCALITY & STREET VIEWS



Figure 1.1: Aerial View of the macro site context & locality for 101 & 105 Botanic Gardens Road



Figure 1.2: Aerial photo showing semi-detached no. 101 and 105 Botanic Gardens Rd & adjacent no. 99



Figure 1.3: Street View. NW Elevation 105 & 101 Botanic Gardens



Figure 1.4: Street View looking NE



Figure 1.5: Street view looking SE down Botanic Ave



Figure 1.6: Street View looking NW up Botanic Rd



Figure 1.7: Street view Botanic Ave to Botanic Gardens Rd



Figure 1.8: Street view Botanic Gardens looking SE to Berea/King Dinuzulu Rd



Figure 1.9: Street view across the street from 101 & 105



Figure 1.10: Rear/SE elevation



Figure 1.11: View of roof slab over 105 & 101

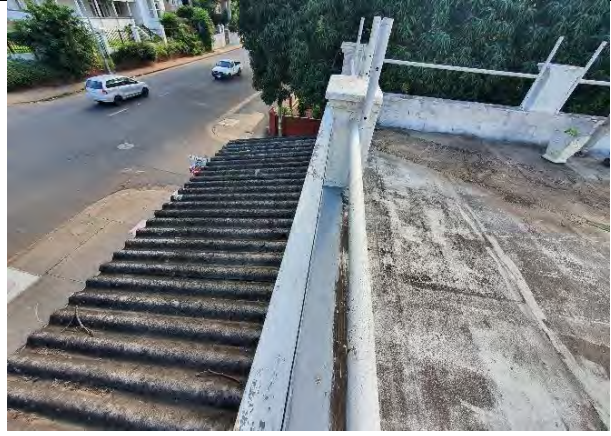


Figure 1.12: Existing asbestos roof



Figure 1.13: View from the roof looking NE



Figure 1.14: View from the roof looking SW



Figure 1.15: View from the roof to the rear yard of 105 & 101 Botanica Gardens Rd



Figure 1.16: Access to 105 from the NW corner of the site at corner of Botanic Gardens Rd & Botanic Ave

2) 105 BOTANIC GARDENS RD



Figure 2.1: Entrance stair below street level



Figure 2.2: Rear of 105 & 101



Figure 2.3: Rear yard



Figure 2.4: Side yard parallel to Botanic Avenue

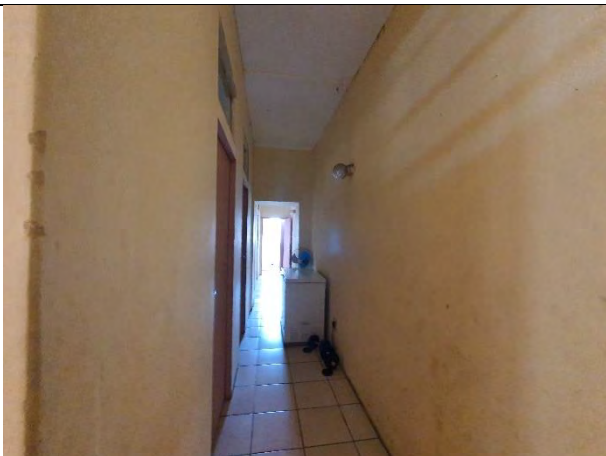


Figure 2.5: Existing lower ground floor passage



Figure 2.6: Existing toilets



Figure 2.7: Existing lower ground floor kitchen



Figure 2.8: Existing lower ground floor bedroom



Figure 2.9: Drywalls



Figure 2.10: Existing door and wooden frames rotted



Figure 2.11: Existing



Figure 2.12: Existing asbestos roofing over entrance



Figure 2.13: Existing oregon pine floors removed & replace with plywood sheets



Figure 2.14: Existing entrance passage



Figure 2.15: Existing wooden staircase to roof

Figure 2.16: Existing passage widths non compliant to fire regulations due to drywall installations.



Figure 2.17: Existing verandah enclosed to create kitchen



Figure 2.18: Existing showers

3) 101 BOTANIC GARDENS RD



Figure 3.1: Cracks on rear elevation where balcony is enclosed



Figure 3.2: Rear/SE elevation



Figure 3.3: Side space adjacent to 99 Botanic Gardens



Figure: 3.4: Entrance to lower ground floor



Figure 3.5: Lower ground floor kitchen

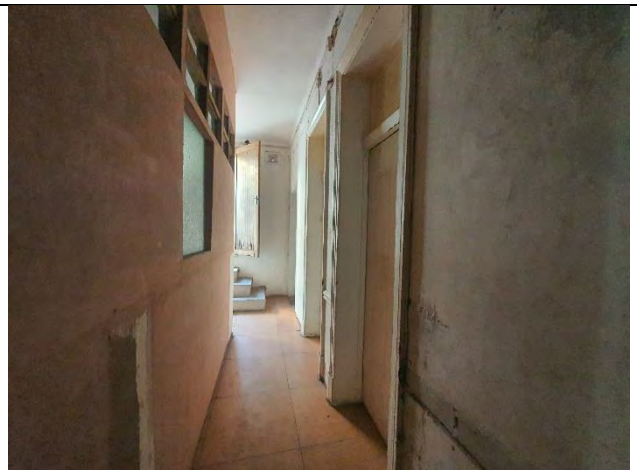


Figure 3.6: Lower ground floor passage & entrance

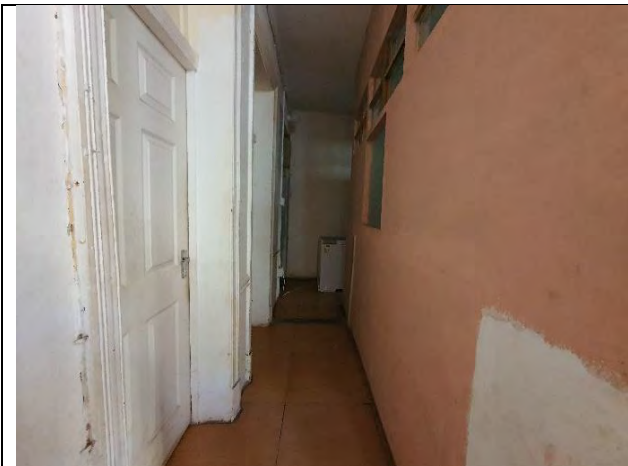


Figure 3.7: Existing lowr ground floor passage



Figure 3.8: Cracks on structural party wall between 105 & 101



Figure 3.9: Structural cracks to internal walls & slab



Figure 3.10: Structural cracks to internal walls



Figure 3.11: Water damage to walls & soffit from roof slab leaks



Figure 3.12: As per 3.9

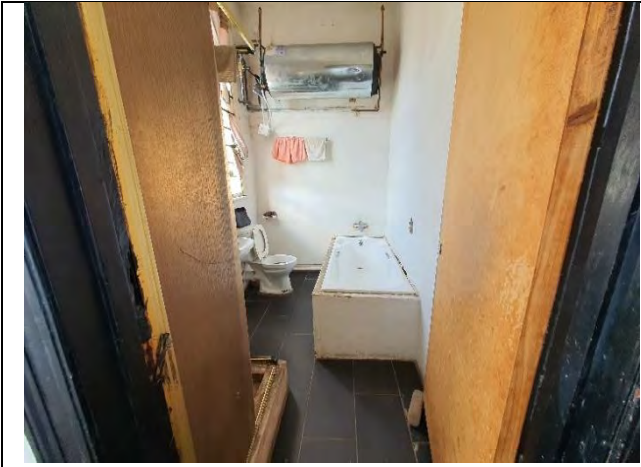


Figure 3.13: Existing bathroom

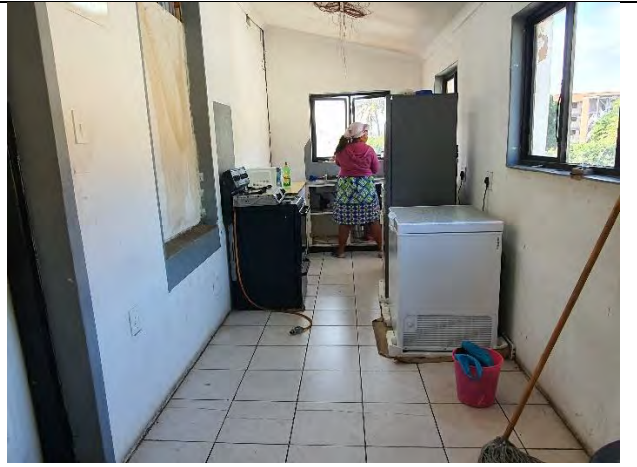


Figure 3.14: Verandha enclosed to create upper ground floor kitchen



Figure 3.15: Existing entrance passage. Stair to roof removed



Figure 3.16: Condition of existing ceilings & drywalls



Figure 3.17: Existing passage



Figure 3.18: External lower ground floor windows