

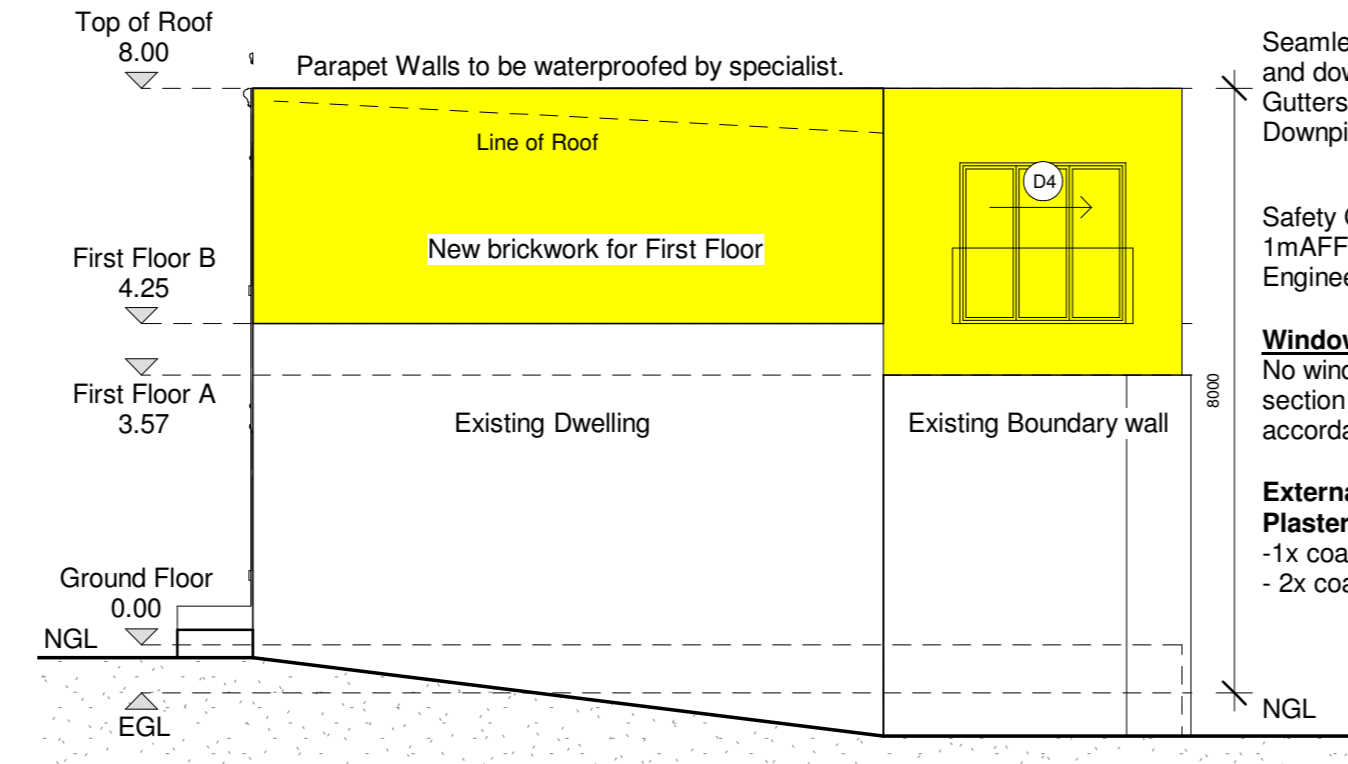
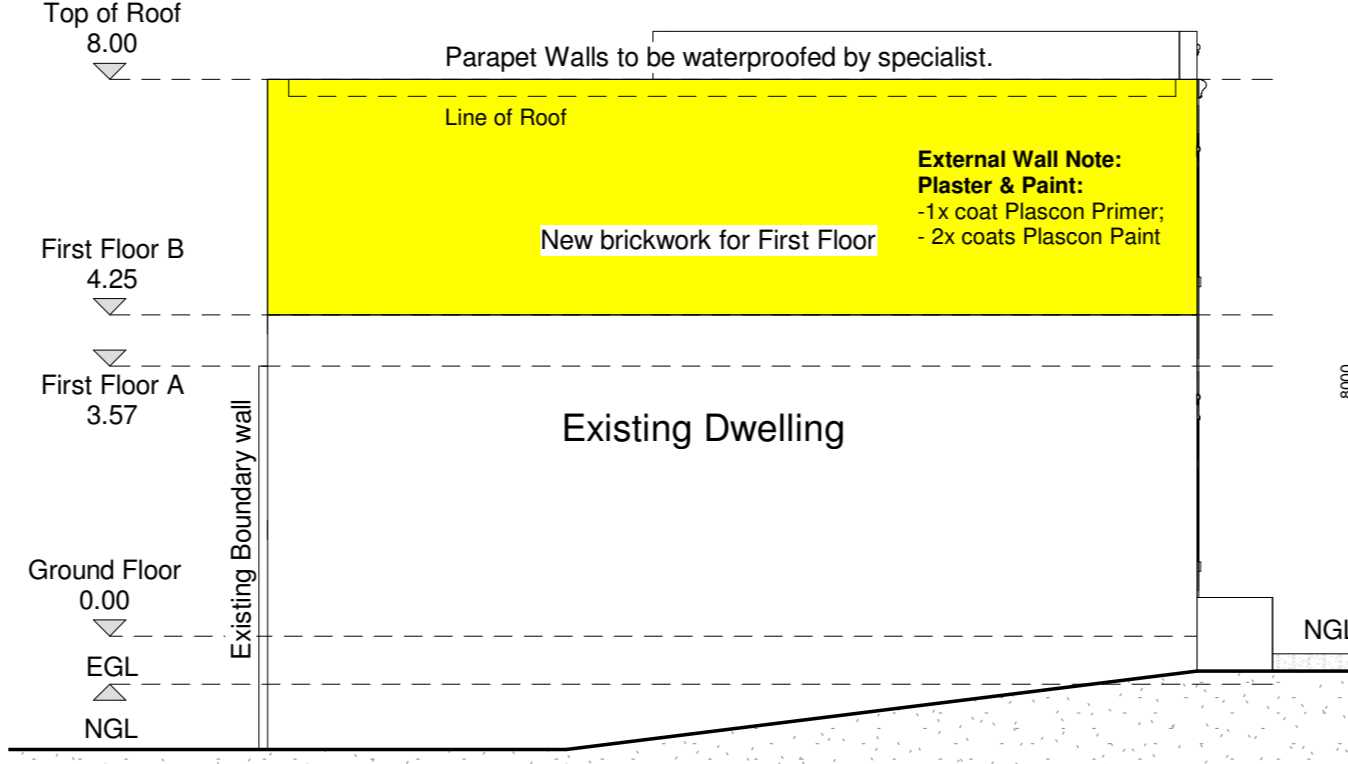
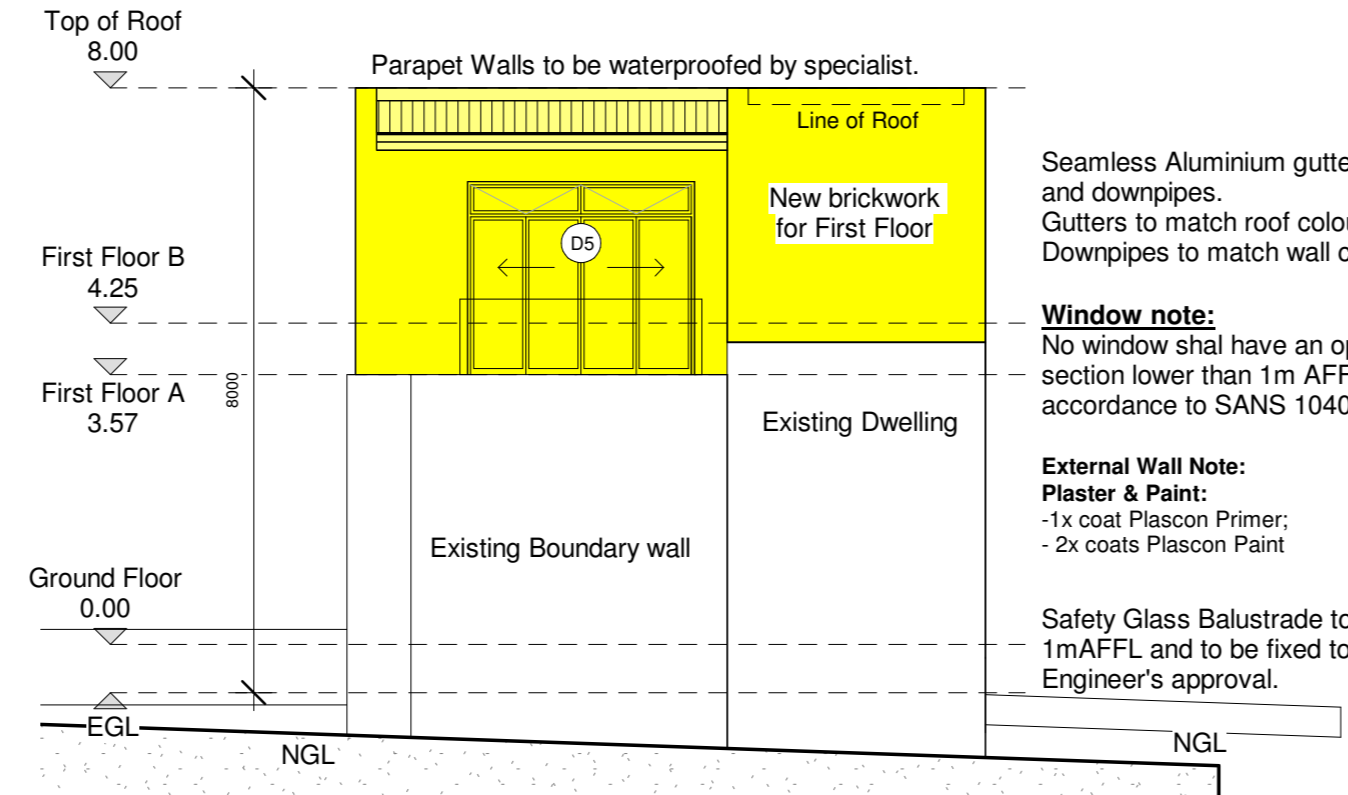
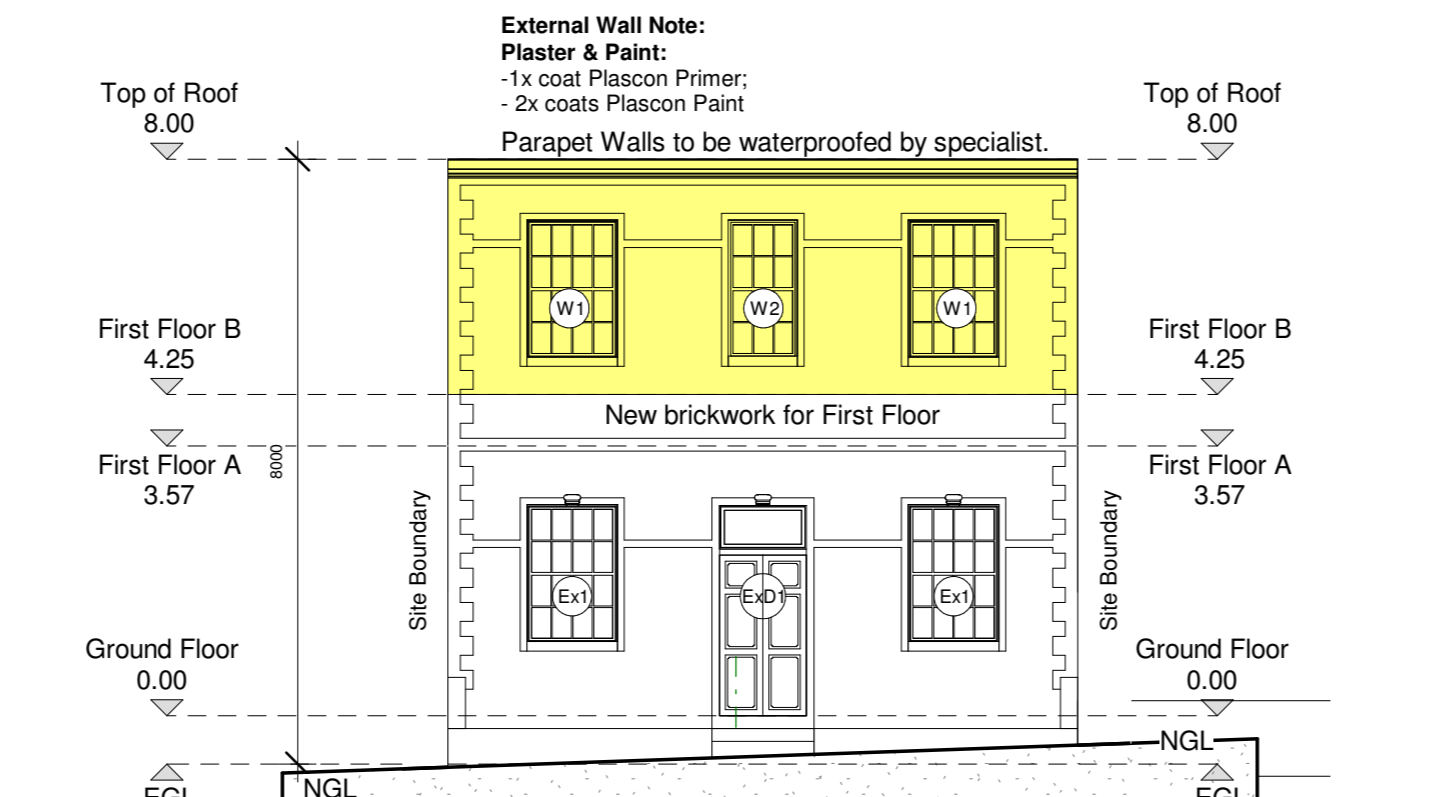
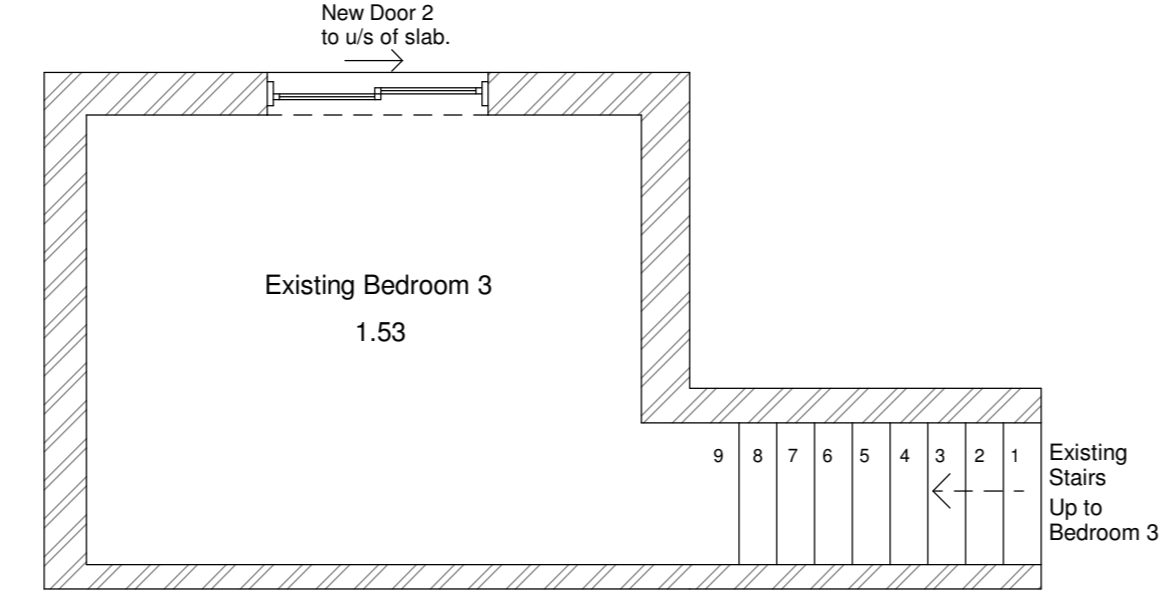
GENERAL NOTES:

All dimensions and levels are to be checked on site by contractors before starting with the works. These drawings should not be used to scale. In the case of discrepancies, or in a case where there are no dimensions brought onto the drawing, the discrepancies need to be confirmed by the architect.
All building work to comply with The National Building Regulators (NBR), Local Municipality Regulations, and Private Estate Regulations, and referred to Engineer's specifications.

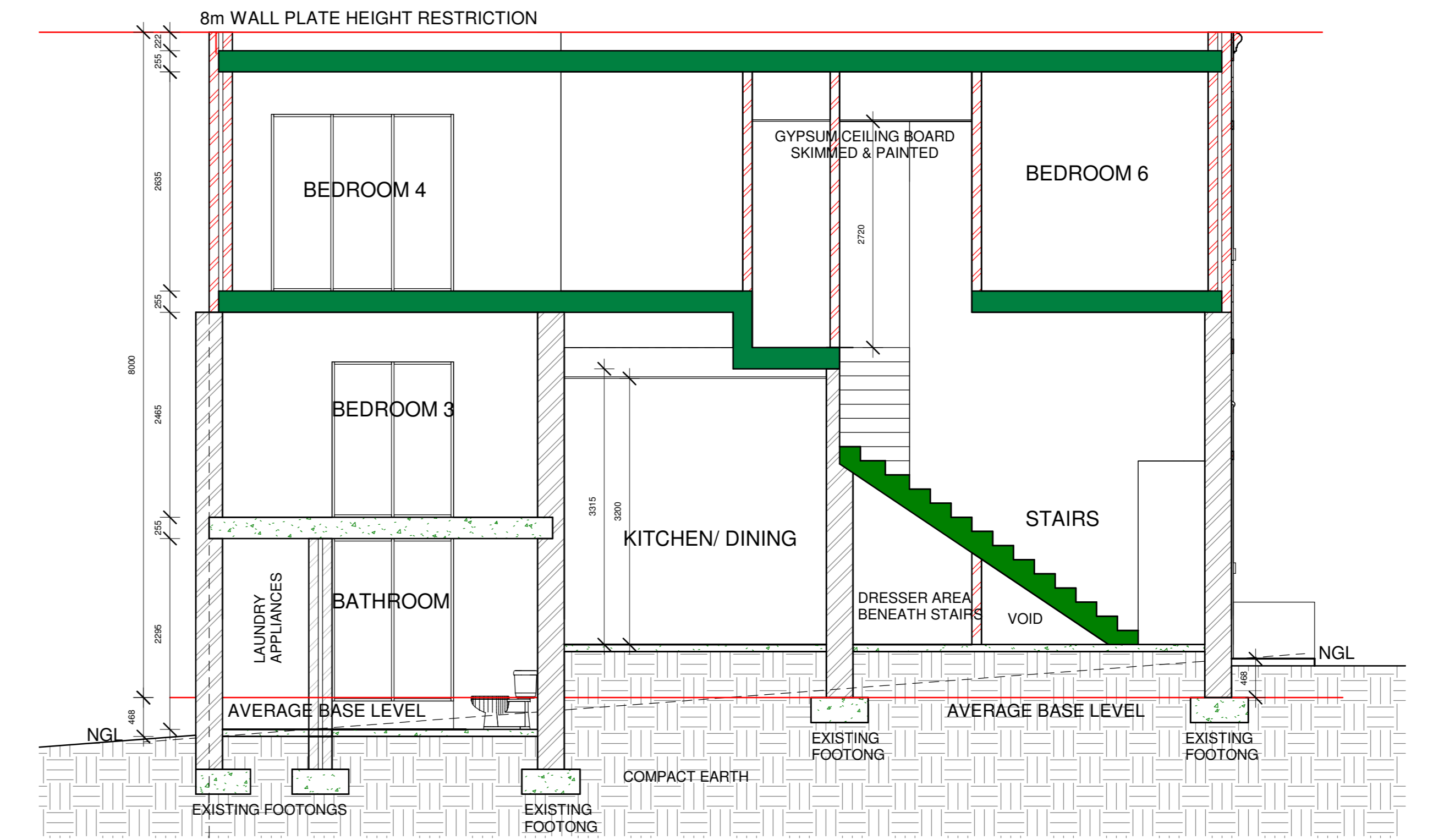
REVISION SCHEDULE			
NR	DATE	DRAWN	DESCRIPTION

AREA SCHEDULE:

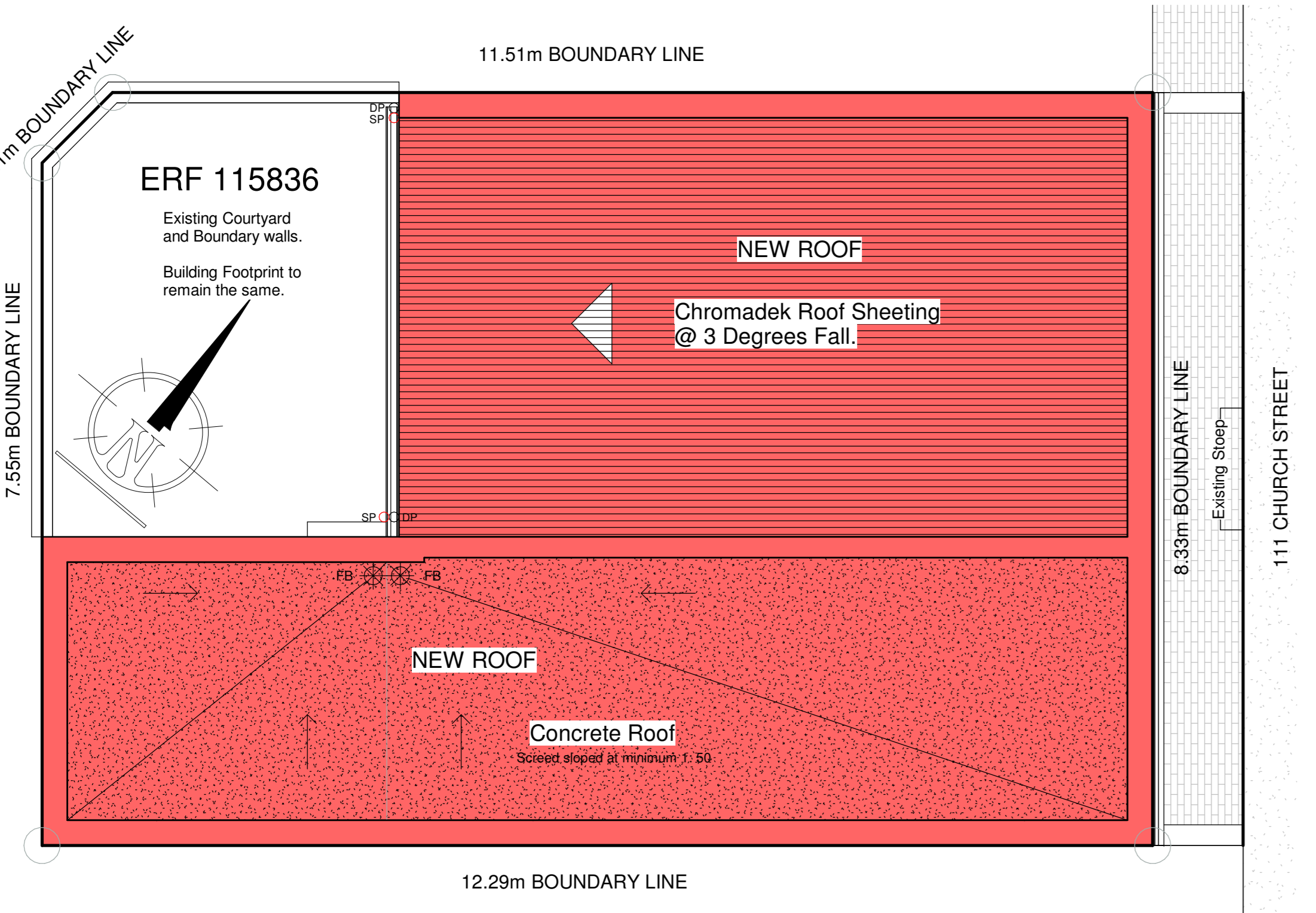
ERF 115836	
ERF Size:	102.07m ²
Existing Ground Floor Area:	80.72m ²
New Ground Floor Area:	2.41m ²
Existing Mezzanine Area:	13.49m ²
New First Floor Area:	82.96m ²
Total Dwelling Area:	179.58m ²
Footprint Area:	83.13m ²
Coverage (unchanged)	81.44%



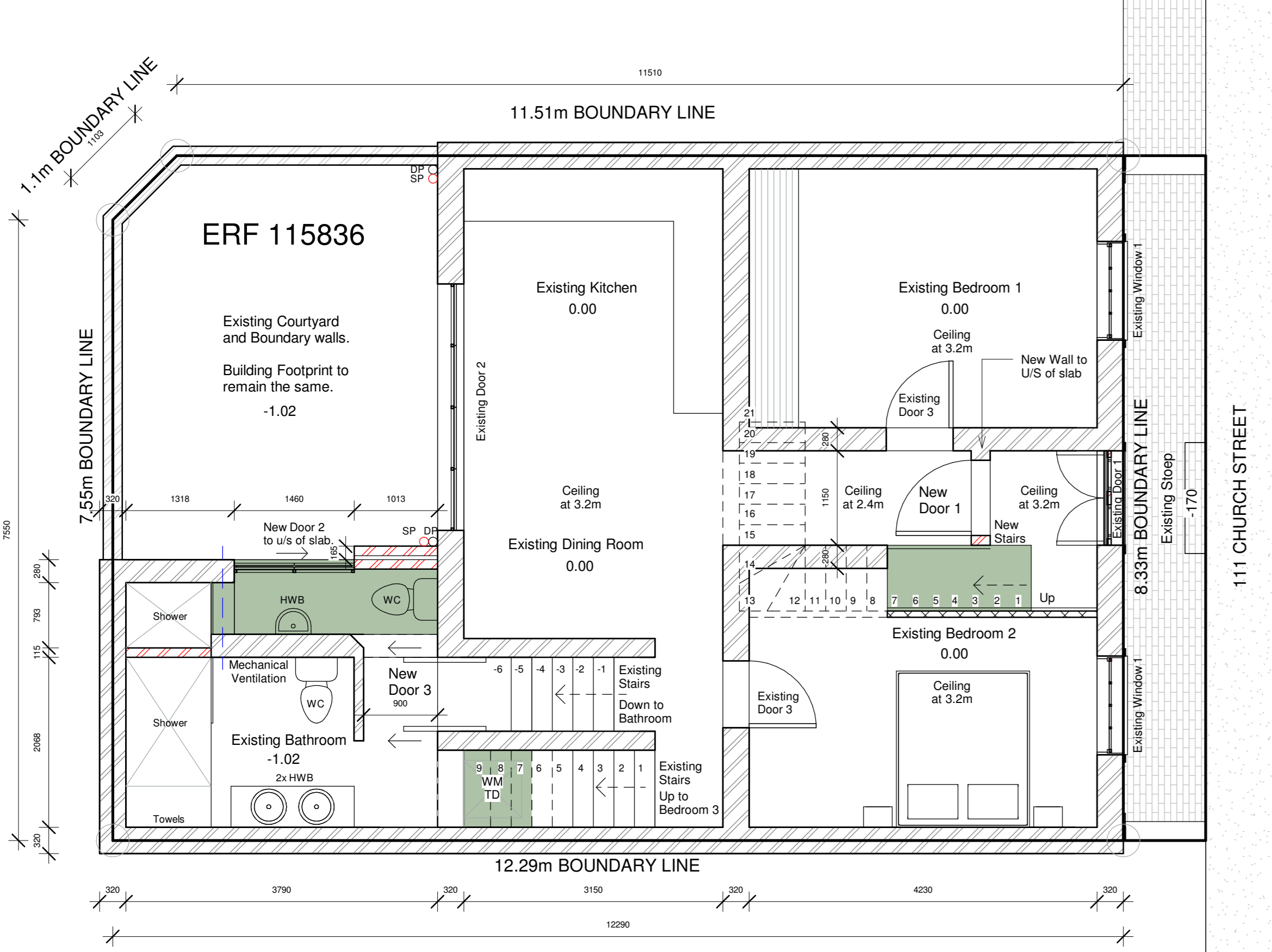
STREET VIEW PERSPECTIVE



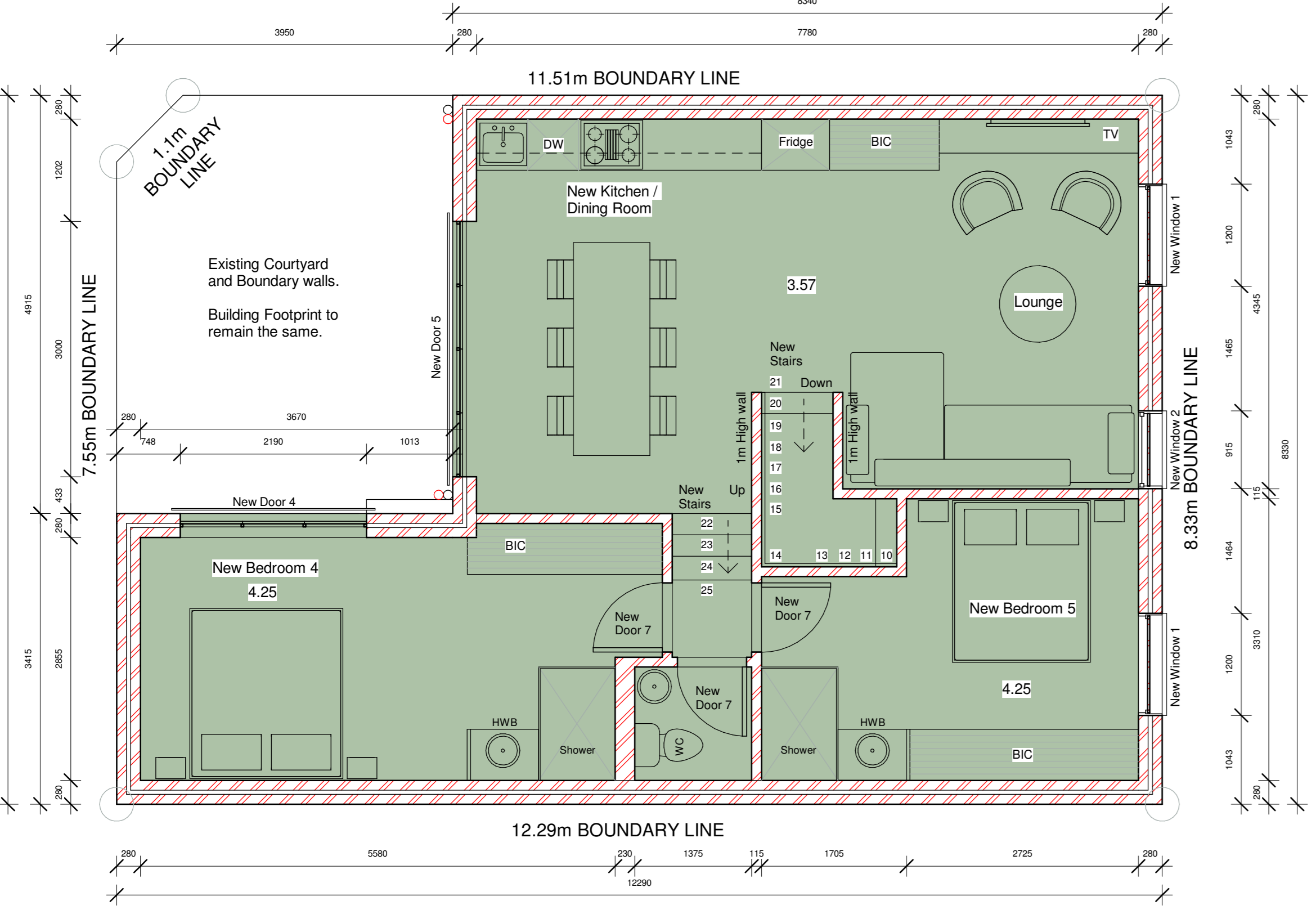
SECTION A-A
scale 1: 50



SITE & ROOF PLAN
scale 1: 50



GROUND FLOOR PLAN
scale 1: 50



FIRST FLOOR PLAN
scale 1: 50



STANDER

ARCHITECTS

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27 MILAN STREET
WALMER ESTATE
CAPE TOWN
7925

CLIENT, JOB TITLE & LOCATION:
PROPOSED ADDITIONS FOR
MR. G. VAN DER WATT ON
ERF 115836, BO-KAAP,
CAPE TOWN.

PLANS, SECTION & ELEVATION.

DRAWING TITLE:

SCALE: As indicated | DRAWN BY: DS

PROJECT NO: 1860/4 | DRAWING NO: W001

REVISION: | DATE: 2019.05.14

ORIGINAL SIZE: A0