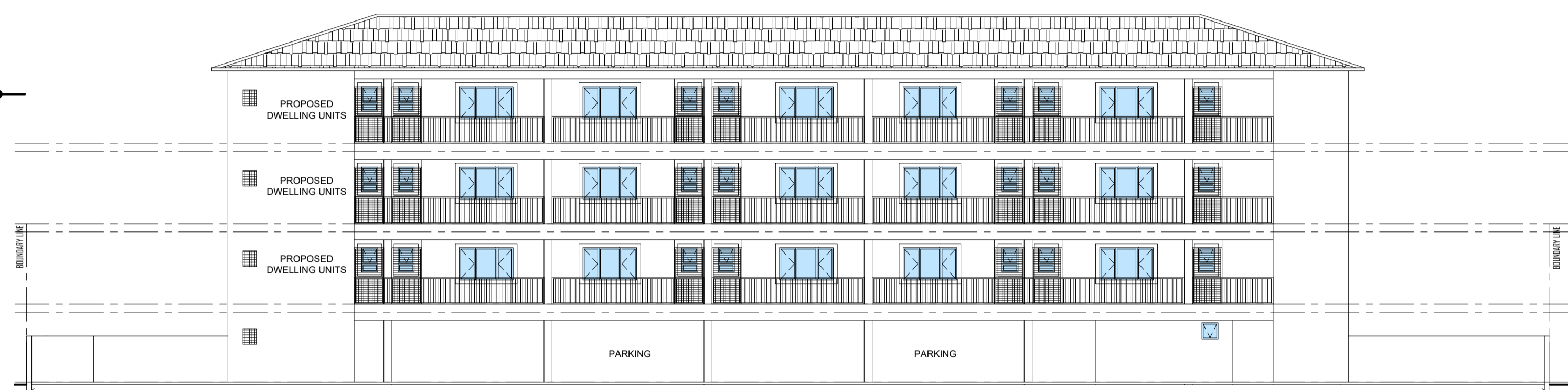
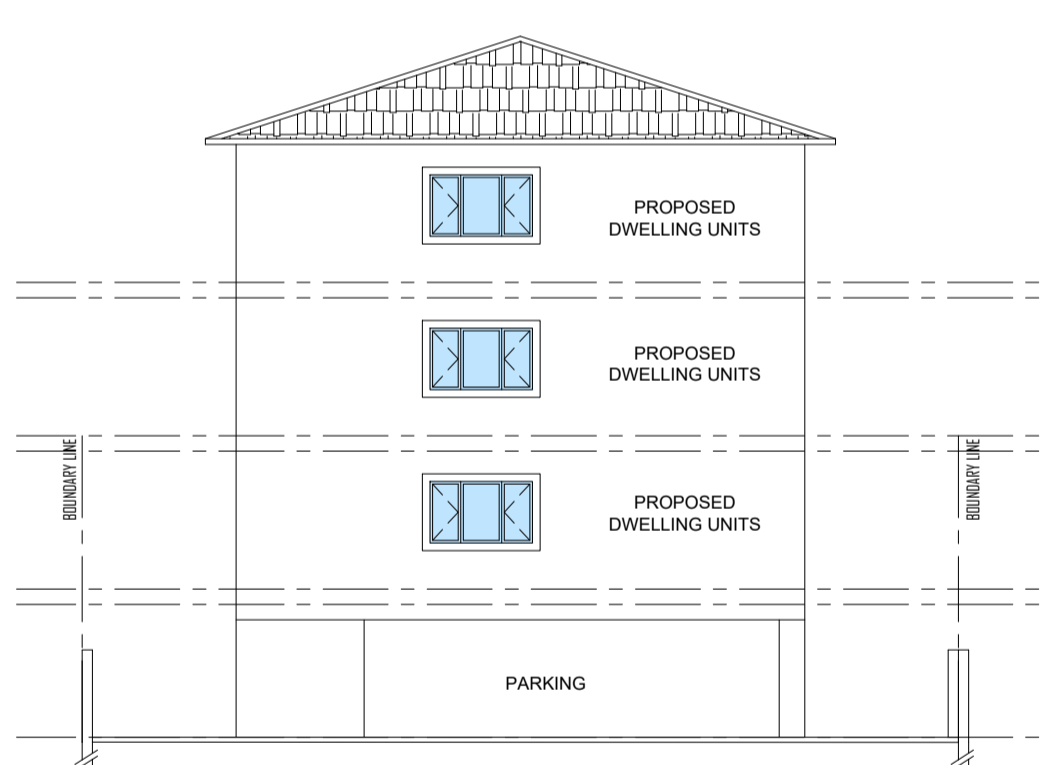


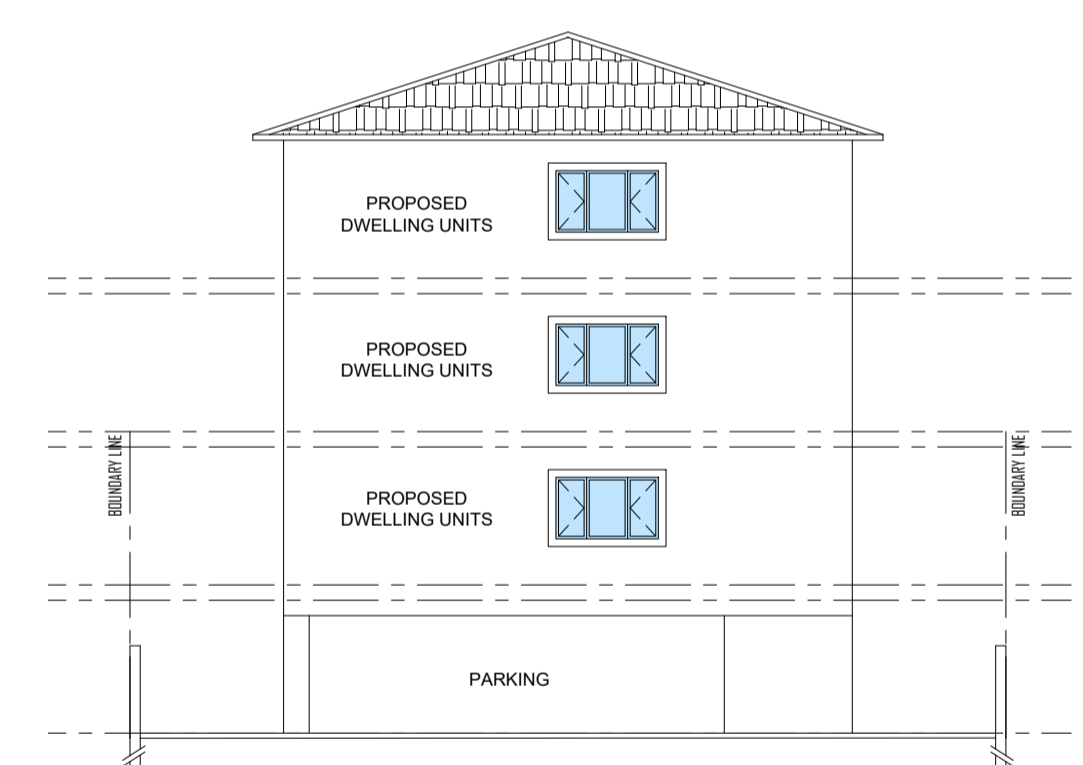
EAST ELEVATION  
SCALE:1:100



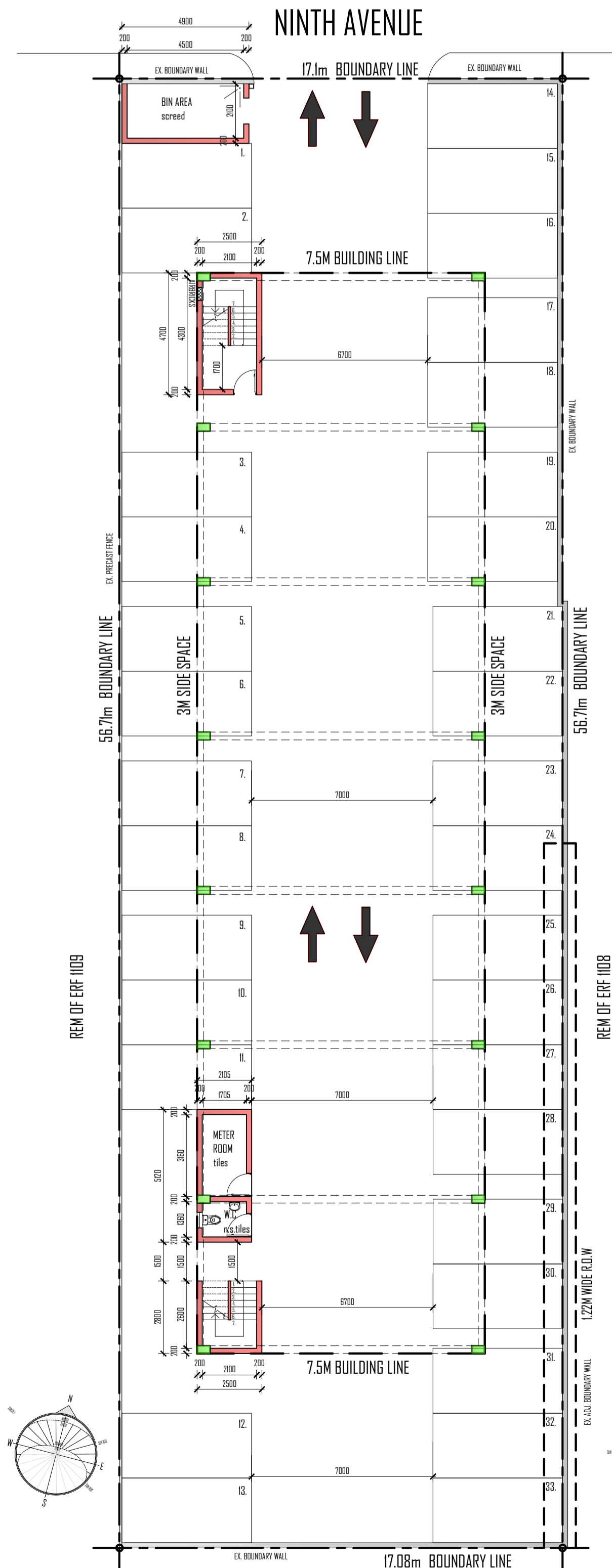
WEST ELEVATION  
SCALE:1:100



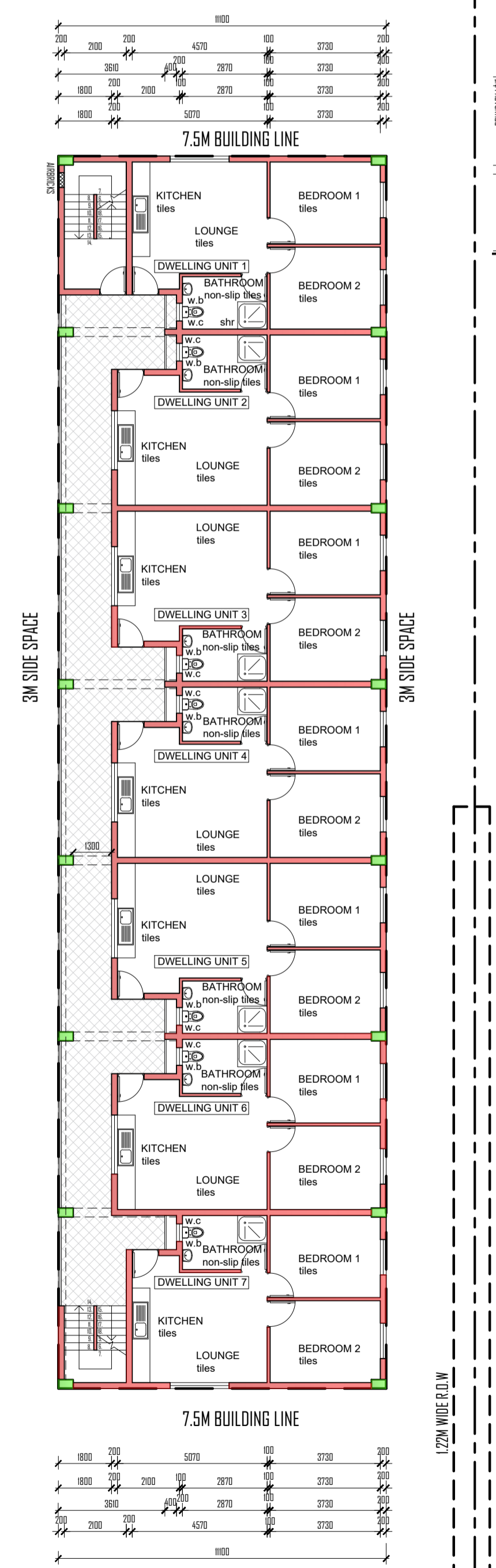
SOUTH ELEVATION  
SCALE:1:100



NORTH ELEVATION  
SCALE:1:100



SITE PLAN AND GROUND FLOOR PLAN  
SCALE:1:100



TYPICAL FLOOR PLAN (FIRST, SECOND AND THIRD FLOOR)  
SCALE:1:100

**PARKING SCHEDULE**

21 DWELLING UNITS (2 BEDROOM EACH)	
1 BAY/UNIT (RESIDENTS)	21
0.5 BAYS/UNIT (VISITORS)	10.5
TOTAL PARKING BAYS REQUIRED	32
TOTAL PARKING BAYS PROVIDED	33

**SCHEDULE OF AREAS - GENERAL RESIDENTIAL 2**

SITE AREA	= 987.00m <sup>2</sup>
PERMITTED COVERAGE (1.50%)	= 1480.50m <sup>2</sup>
PERMITTED FAR (0.2)	= 198.40m <sup>2</sup>
PROPOSED COVERAGE	= 463.00m <sup>2</sup>
COVERAGE IN HAND	= 20.50m <sup>2</sup>
PROPOSED FAR	= 102.00m <sup>2</sup>
FAR IN HAND	= 58.40m <sup>2</sup>
<b>SUBMISSION AREA</b>	<b>= 177.00m<sup>2</sup></b>

**CLASSIFICATION H3**

ISSUED DATE: 2022-08-30 ISSUED FOR: MUNICIPALITY SUBMISSIONS

**PROPOSED 21 DWELLING UNITS AND PARKING**

PROPERTY DESCRIPTION:  
**305 AVONDALE ROAD  
PORTION 1 OF 595 HUB  
URBAN**

DRAWING DESCRIPTION:  
**SITE PLAN, FLOOR PLANS AND ELEVATIONS**

JOB DESCRIPTION:  
CATEGORY OF PROJECT: DWELLING  
OCCUPANCY: RESIDENTIAL  
DATE: 26/08/2022

CONSULTANT:  
**NIA** NEO INNOVATIVE ARCHITECTS  
TEL: 021 925 1520  
CELL: 083 270 8385  
E-MAIL: VISHAL@NIAARCH.CO.ZA  
POSTAL-ADD: 22 ADELAIDE TAMBOR DRIVE  
UNIT 12 PENNYLANE PARK  
64 EBENFIELD AVENUE

NAME: VISHAL BHANUJAN DIN  
SACAP REGISTERED PERSON: PSAT 22049030

CLIENT / OWNER DETAILS:  
THE TRUSTEES OF THE WOODBURY BOUTIQUE TRUST  
(M. NOOR WAHED)

SIGNATURE FOR ACCEPTANCE:  
CLIENT / AUTHORIZED REPRESENTATIVE / OWNER

DRAWING NUMBER:  
**305AR30082022**