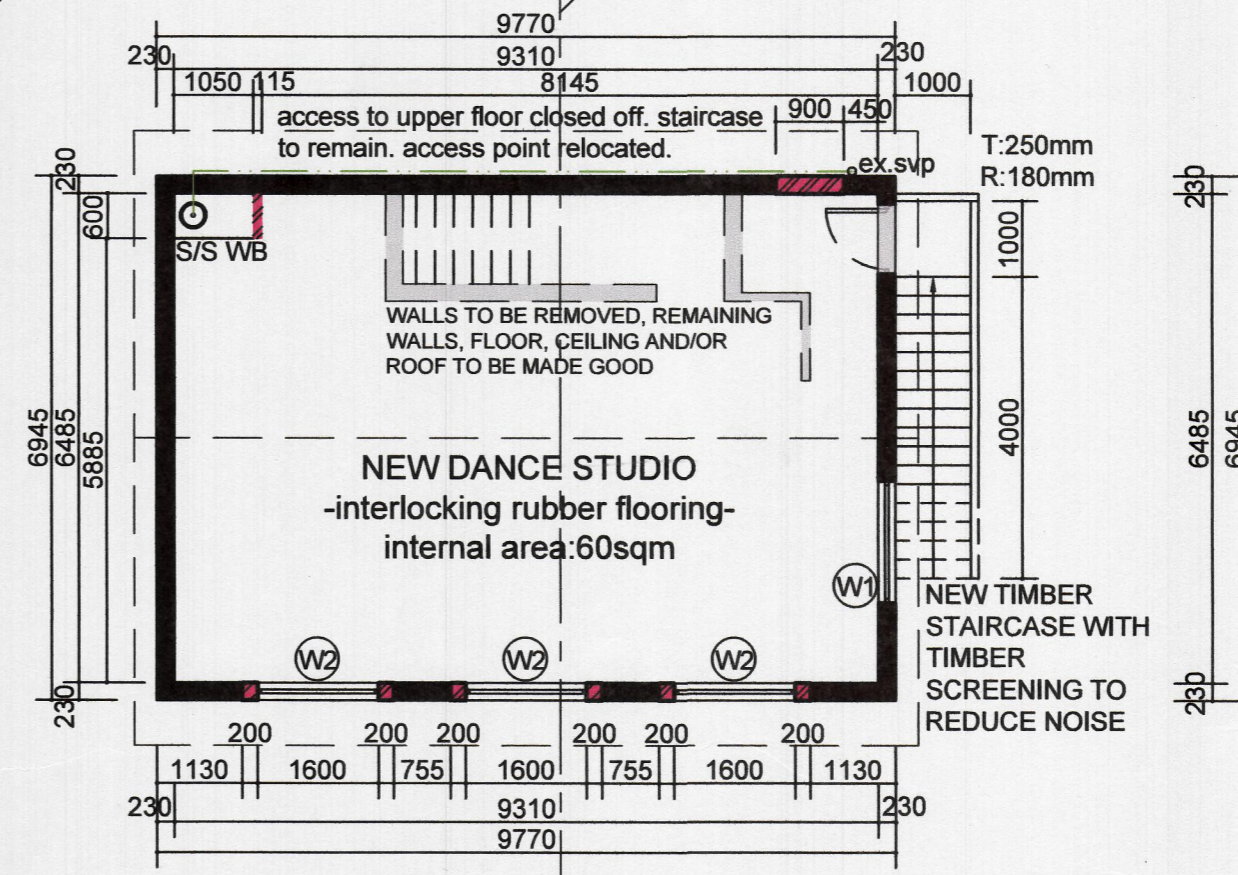


NORTH

- DANCE STUDIO NOTES:**
- AS PER SPECIAL CONSENT APPROVAL NOTICE-
1. THE AMENITIES OF THE AREA SHALL NOT BE DISTURBED. THE HEAD: DEVELOPMENT PLANNING AND ENVIRONMENT & MANAGEMENT SHALL BE RESPONSIBLE FOR THE INTERPRETATION OF THIS CONDITION.
  2. THE SITE SHALL BE MAINTAINED IN A NEAT AND TIDY CONDITION AT ALL TIMES, TO THE SATISFACTION OF THE HEAD: DEVELOPMENT PLANNING ENVIRONMENT & MANAGEMENT.
  3. ALL NOISE ON-SITE SHALL NOT CAUSE A DISAMENITY OR NUISANCE (AS DEFINED IN THE ENVIRONMENTAL CONSERVATION ACT 1989 (No 73 of 1989)) TO THE SURROUNDING AREA. THE BUILDING SHALL BE SOUND PROOFED TO THE SATISFACTION OF THE HEAD: HEALTH SERVICES.
  4. HOURS OF OPERATION SHALL BE RESTRICTED TO 09:00-18:00 WEEKDAYS AND 09:00-13:00 ON SATURDAYS. NO WORK SHALL OCCUR ON SUNDAYS AND PUBLIC HOLIDAYS.
  5. ADEQUATE ON SITE PARKING SPACES AND TURNING AREA SHALL BE PROVIDED AT ALL TIMES FOR VEHICLES OF THE RESIDENTS AND ALL VISITORS. A MINIMUM OF 3 PARKING BAYS SHALL BE PROVIDED AND DEMARCATED TO THE SATISFACTION OF THE HEAD: ETA. NO PARKING SHALL BE PERMITTED ON THE VERGE. ARRANGEMENTS FOR OVER-FLOW PARKING SHALL BE IN ACCORDANCE WITH THE LETTER SUBMITTED BY URBIS CONSULTING (REF: U108.L16) DATED 26 NOVEMBER 2021.
  6. THE DANCE STUDIO SHALL BE RESTRICTED TO A MAXIMUM OF 12 STUDENTS PER CLASS AND ONE CLASS PER SESSION.
  7. DANCE STUDIO TO HAVE A MAXIMUM FLOOR AREA OF 60sqm AND A MAXIMUM OF 12 STUDENTS PER CLASS.
  8. THE INGRESS ACCESS GATE IS TO BE SET BACK A MINIMUM OF 6.5m FROM THE PROPERTY BOUNDARY.
  9. ALL REQUIREMENTS OF THE CHIEF FIRE OFFICER SHALL BE COMPLIED WITH PRIOR TO OCCUPATION AND TO THE SATISFACTION OF METRO FIRE: PINETOWN.
  10. NO EXTERNAL ADVERTISING SHALL BE PERMITTED ON THE SITE OTHER THAN A MAXIMUM OF ONE UN-ILLUMINATED SIGN ON EACH ROAD FRONTAGE AND EACH SIGN SHALL NOT EXCEED 0.2sqm IN AREA.



**FIRST STOREY LAYOUT (ABOVE GARAGE)**  
SCALE 1:100

SCHEDULE OF AREAS	
EXISTING SITE AREA:	1830m <sup>2</sup>
PERMISSIBLE COVERAGE:	30% = 549m <sup>2</sup>
PERMISSIBLE F.A.R.:	0.3 = 549m <sup>2</sup>
LOWER GROUND FLOOR:	71.38m <sup>2</sup>
GROUND FLOOR:	337.75m <sup>2</sup>
FIRST FLOOR:	67.85m <sup>2</sup>
TOTAL AREA:	476.98m <sup>2</sup>
EX. COVERAGE:	489.94m <sup>2</sup>
PROP. ADDITIONAL COVERAGE:	0m <sup>2</sup>
COVERAGE RETURNED:	(33.1m <sup>2</sup> )
TOTAL NEW COVERAGE:	476.98m <sup>2</sup> (25.8%)
EX. F.A.R.:	505.26m <sup>2</sup>
PROP. ADDITIONAL F.A.R.:	2.8m <sup>2</sup>
F.A.R. RETURNED:	(31.09m <sup>2</sup> )
TOTAL NEW F.A.R.:	476.98m <sup>2</sup> (2)

WALL HATCH KEY	
	NEW COMMON BRICK WALL
	EXISTING WALL
	TO BE DEMOLISHED/REMOVED. REMAINING WALLS, FLOOR, CEILING AND ROOF TO BE MADE GOOD TO MATCH EXISTING

No.	DATE:	DESCRIPTION:

- GENERAL NOTES**
1. IF IN DOUBT, ASK.
  2. ALL WORK CARRIED OUT TO BE IN ACCORDANCE WITH THE LOCAL AUTHORITY SPECIFICATIONS AND THE NATIONAL BUILDING REGULATIONS.
  3. FIGURED DIMENSION TO BE TAKEN IN PREFERENCE WITH SCALING.
  4. CHECK ALL DIMENSIONS ON SITE.

OWNERS SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

**TOWNSCAPE DESIGNS**  
PROJECT MANAGEMENT AND DESIGN

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SIAAT No.: 32155

**PROPOSED ALTERATIONS TO EXISTING DWELLING FOR L KANDIELALL AT 30 HOPSON ROAD, WOODSIDE, DURBAN ON ERF 283**

DRAWING NAME: SUBMISSION DRAWING: FLOOR LAYOUT	DATE: APR 2022	SCALE: 1:100 @ A1
DRAWING No.: 2022-48-102	DRAWN BY: C. KNUDSEN	