

PLAN SUBSTITUTED: *16/01/06*  
 SHEET SUBSTITUTED:  
 SHEET ADDED:

SHEET **1/2** COPY  
**ETHEKWINI MUNICIPALITY CENTRAL**  
 Plan No: **328-01-05**  
 APPROVED BY: *[Signature]*  
 18 APR 2006  
 Local Authority

**BOUNDARY BEACONS**  
 FAILURE TO INSTALL THE BOUNDARY BEACONS BEFORE STARTING THIS WORK IS AN OFFENCE

ROOF STRUCTURE TO BE TO "EMPIRICAL RULES" OR TO RATIONAL DESIGN COMPLYING WITH "DEEMED TO SATISFY RULE 88.4"

THE AUTHOR OF THE PLAN IS RESPONSIBLE FOR SHOWING ON THE APPLICATION DRAWINGS THE TOPS OF FOUNDATIONS OF ANY FRONTAGE WORKS AT A MINIMUM DEPTH OF 0.200 METERS BELOW FINISH LEVEL.

**ANTI-SQUAD - VERTICAL D.P.C.**  
 SOIL POISONING REQUIRED

**BALLUSTRADES, HANDRAILS, HEIGHTS AND OPENINGS TO COMPLY WITH M13 AND 028.4 OF SABS 0400.**

THE AUTHOR OF THIS PLAN IS RESPONSIBLE FOR SHOWING ON THE BACK OF THE CONSTRUCTION DRAWINGS THE FOLLOWING INFORMATION:  
 1) THE LOCATION OF ANY ELECTRICAL SERVICES AND SERVICES IN THE VICINITY OF THE PROPOSED WORKS.  
 2) THE LOCATION OF ANY SUBSTATION, METAL WORKING, AND TABLE ETC.

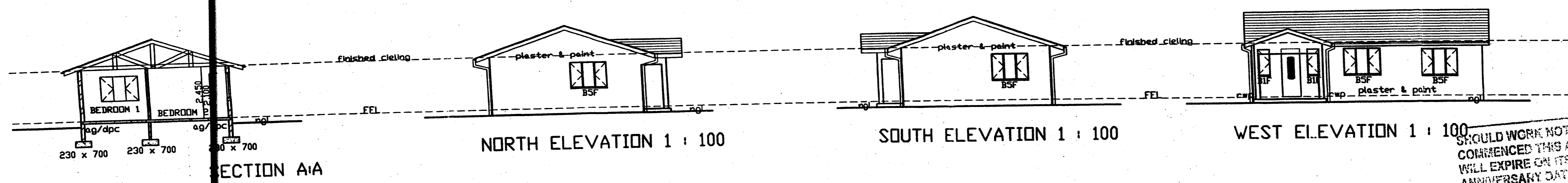
**ALL GLAZING TO COMPLY WITH PART NN2 AND NN3 OF SABS 0400.**

**ELECTRICITY SERVICES**  
 Any person undertaking erection of a structure/sign in accordance with this plan is to ensure that:  
 1) The electrical installation complies with the Code of Practice for the wiring of Premises SABS 0142:1997 as amended, and the Occupational Health and Safety Act 85:1952.  
 2) A certificate of Competence and Application for Permission to Connect is lodged with DME prior to electrical connection to the supply source.  
 3) Adequate earthing to the satisfaction of the Director, Transmission, DME is provided.

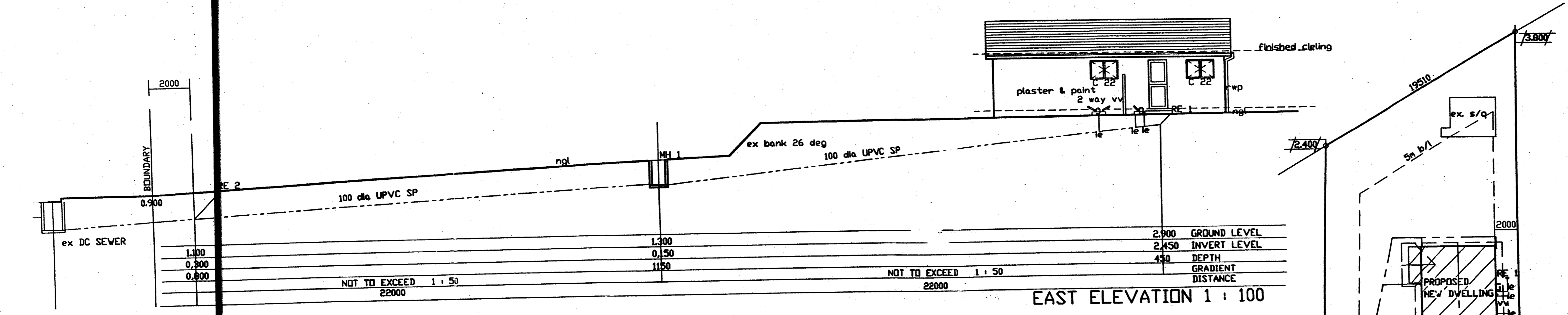
**ELECTRICITY SERVICES**  
 Any person undertaking building operations in accordance with this plan is required to ascertain from the Executive Director, Durban Metro Electricity:  
 1) The location of any electrical services and services in the vicinity of the proposed works.  
 2) DME requirements regarding Substation, Metal working, and Table ETC.

owner: **MR T CAMPBELL**  
 32 MINS ROAD  
 SEA VIEW  
 DURBAN  
 cell : 084 4756 131  
 signature: *[Signature]*

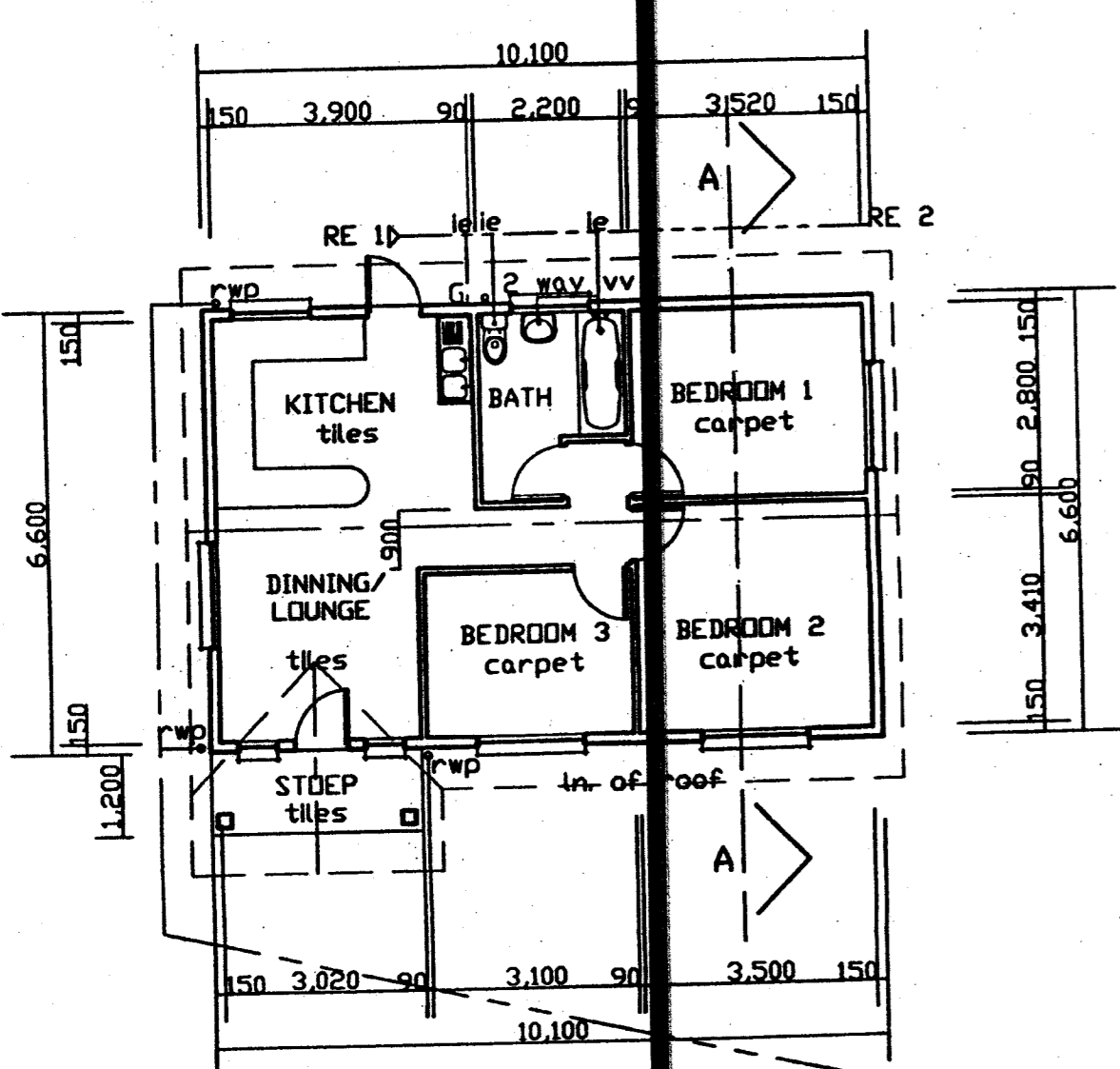
author: **L. NUNAN**  
 P.O. BOX 866  
 DURBAN  
 4000  
 tel: 0723363606  
 signature: *[Signature]*



SHOULD WORK NOT HAVE COMMENCED THIS APPROVAL WILL EXPIRE ON ITS FIRST ANNIVERSARY DATE.

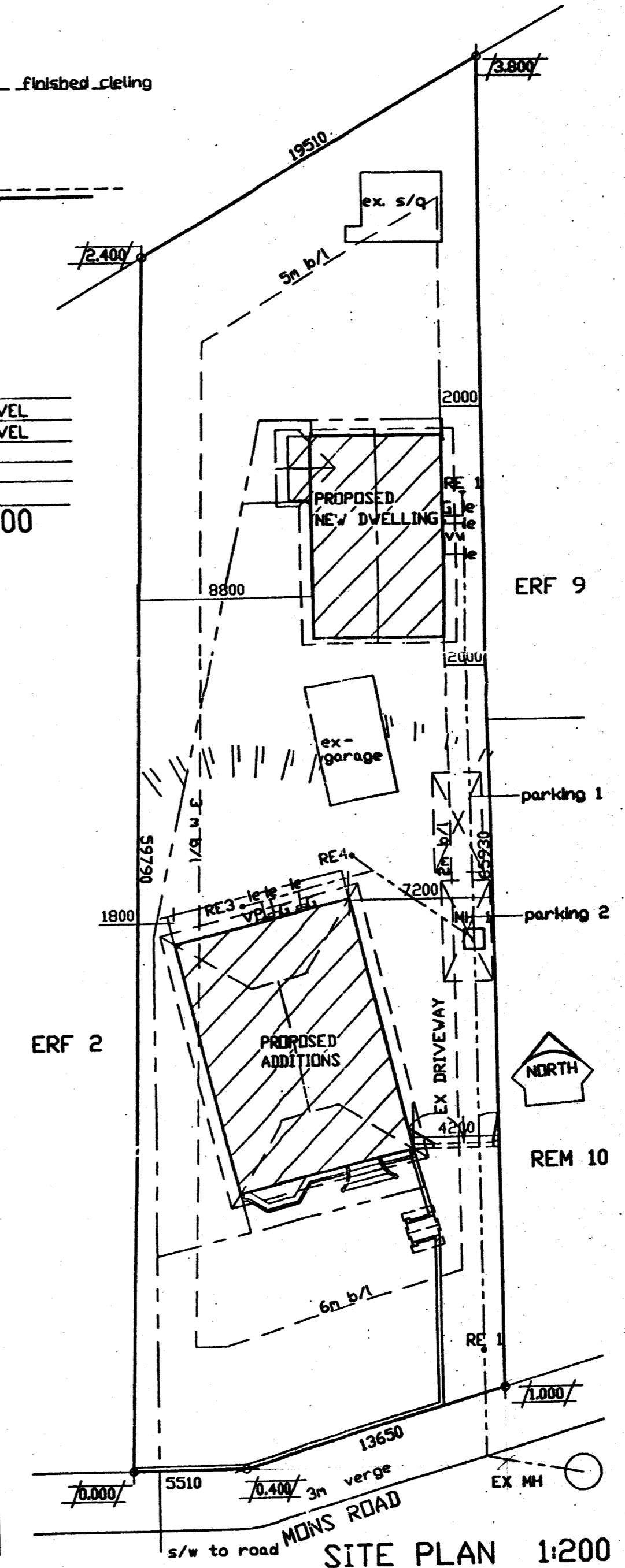


2.900	GROUND LEVEL
2.450	INVERT LEVEL
450	DEPTH
NOT TO EXCEED 1 : 50	GRADIENT
22000	DISTANCE



**NEIGHBOURS CONSENT**

NAME: <b>MRS. S.V. ENGBRECHT SIGN:</b>	TELE: 082 372 5341
ID.NO: 620202 0229 080	ADDRESS: 36 MONS ROAD
NAME: <b>MRS. J. HEATH SIGN:</b>	TELE: 085 278 2471
ID.NO: 51015 0228 088	ADDRESS: 16 MONS ROAD
NAME: <b>MR. L.B.W. CURTIS SIGN:</b>	TELE: 465 5718
ID.NO: 33 MONS ROAD	ADDRESS: 33 MONS ROAD
NAME: <b>MR. N. BARNARD SIGN:</b>	TELE: 085 3575 104
ID.NO: 31 MONS ROAD	ADDRESS: 31 MONS ROAD
NAME: <b>P. GOVENDER SIGN:</b>	TELE: 02 37827104
ID.NO: 35 MONS ROAD	ADDRESS: 35 MONS ROAD
NAME: SIGN:	TELE: 465 0234
ID.NO: ADDRESS:	ADDRESS: 10 MONS ROAD
NAME: SIGN:	TELE:
ID.NO: ADDRESS:	ADDRESS:
NAME: SIGN:	TELE:
ID.NO: ADDRESS:	ADDRESS:



**ROOF NOTES**  
 ROOF PITCH: AS SHOWN  
 DOUBLE ROMAN CONC. ROOF TILES ON 38 X 38 BATTENS ON "GUNPLAS DUKSEEL" 400 MICRON WATER PROOFING MEMBRANE LAID ON "HYDRONAL" TRUSSES, TIED DOWN 12 COURSES INTO BVK. WITH GALVANISED HDOP IRON TIES.  
 114 X 38 WALL PLATES  
 126 mm H R ASBESTOS GUTTERS & DOWNPIPE FIXED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS

**RETAINING WALLS**  
 ALL WALLS RETAINING EARTH ARE TO BE BUILT STRICTLY IN ACCORDANCE WITH PROFESSIONAL STRUCTURAL ENGINEERS DETAILS.  
 ORANGE "HYPERLASTIC" WATERPROOFING TO BE LAID TO ALL INTERNAL RETAINING WALLS IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS. AGRI. DRAINS TO BE PROVIDED BEHIND ALL RETAINING WALLS.  
 CONTRACTOR TO ENSURE GRADING TO FALL & ADEQUATE STORMWATER DRAINAGE PROVIDED

**NOTES FOR CONTRACTOR**  
 BEFORE COMMENCING ANY BUILDING WORK-- CHECK ALL DIMENSIONS & LEVELS. REPORT ANY DISCREPANCIES IMMEDIATELY TO AUTHOR. CONTRACTOR TO CONFIRM ENTRANCE & FLOOR LEVELS PHYSICALLY ON SITE WITH LOCAL AUTHORITY FALLS & GARAGE FLOOR LEVELS ARE CORRECT.  
 BANKS TO BE CUT AT 26 DEG.  
 ALL WORK TO COMPLY WITH NBR & SABS 0400. NO PART OF ANY BUILDING TO ENCRDACH BOUNDARY.

**FLOORS (other than suspended floors)**  
 100mm CONC. SLAB REINFORCED WITH 6mm DIAMETER STEEL RODS AT 300 CENTERS IN BOTH DIRECTIONS OR EQUIVALENT BRC MESH ON "GUNPLAS" USB GREEN WATERPROOFING AS PER MANUFACTURER'S RECOMMENDATIONS ON WELL RAMMED SAND BED. SUB FLOOR GROUND TO BE POISONED WITH PENTACHLOROPHENOL SOLUTION IN ACCORDANCE SABS CODES OF PRACTICE.  
**BALLUSTRADES**  
 MIN. BALLUSTRADE HEIGHT 1000mm

**WALLS**  
 2 COURSES OF BVK. ARE TO BE REINFORCED WITH BRICKFORCE. USE SOLID JOINTS IN CEMENT MORTAR IN ALL WALLS BELOW WINDOW SILL, WINDOW HEAD, & ROOF PLATE LEVELS.  
 GALV. WIRE TIES TO BE BUILT IN ALL 230 WALLS AT 800 CENTRES HORIZONTALLY & EVERY 6th COURSE VERTICALLY.  
 DAMP PROOF COURSE & ANT GUARD USED TO COMPLY WITH NATIONAL BUILDING REGS.

**GENERAL NOTES**  
 IF ON EXCAVATION THIS SITE IS FOUND TO CONTAIN EXPANSIVE CLAY EXCESSIVE GROUND WATER OR OTHER POOR SOIL CONDITIONS THEN ALL FOUNDATIONS ARE TO BE BUILT TO PROFESSIONAL SOIL ENGINEERS DETAILS & UNDER HIS SUPERVISION.  
 ALL FOUNDATIONS ARE TO BE TAKEN TO HARD VIRGIN GROUND. WHERE LOCAL GOVERNMENT BUILDING REGULATIONS REQUIRE MORE STRINGENT REQUIREMENTS THAN SHOWN ON PLAN THEY ARE TO BE COMPLIED WITH AFTER FIRST OBTAINING THE OWNERS CONSENT.

**TITLE: ADDS & ALTS BOUNDARY WALL NEW DWELLING**  
 SUBSTITUTE FOR PLAN NO.368-01-05

CAD. DESC. R OF 1 OF 45 OF SEAVIEW  
 ADDRESS: 32 MINS ROAD  
 RATE NUMBER: 30 000 555