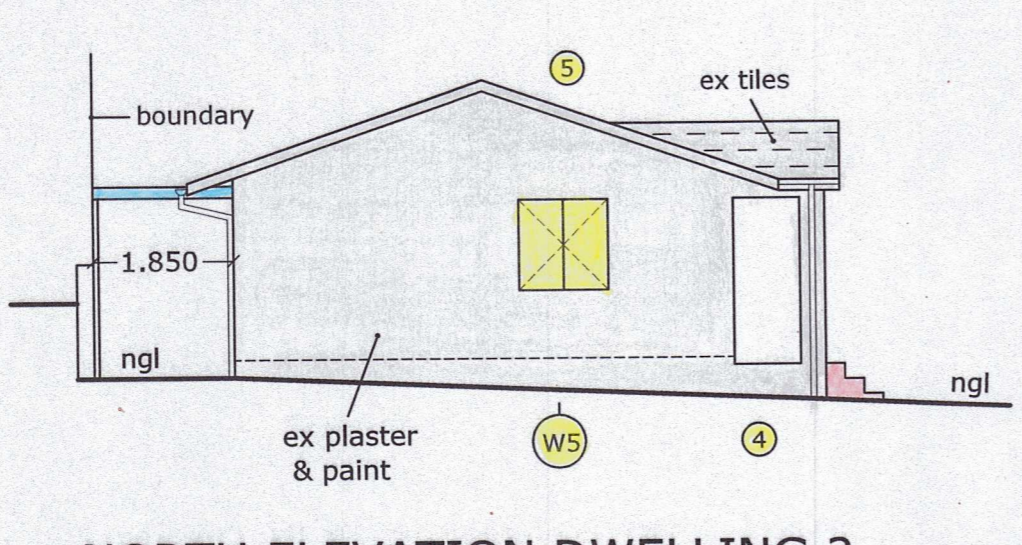
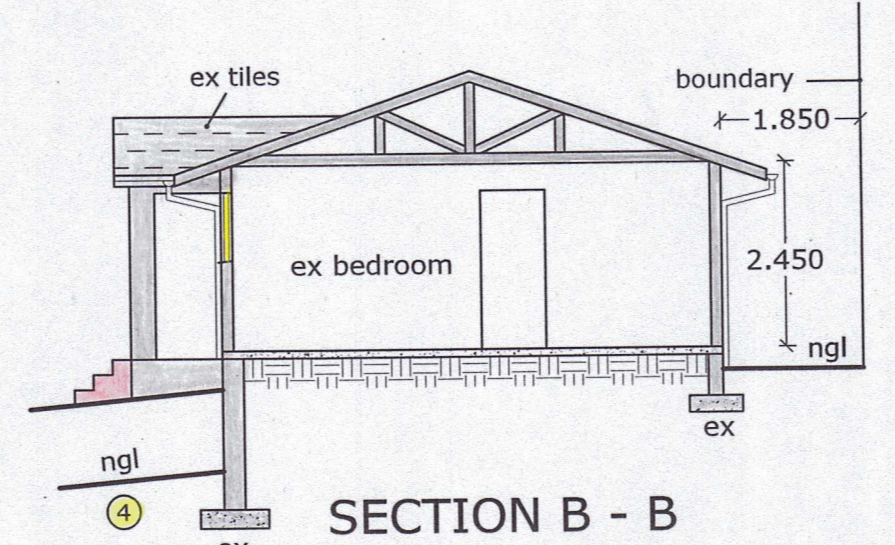


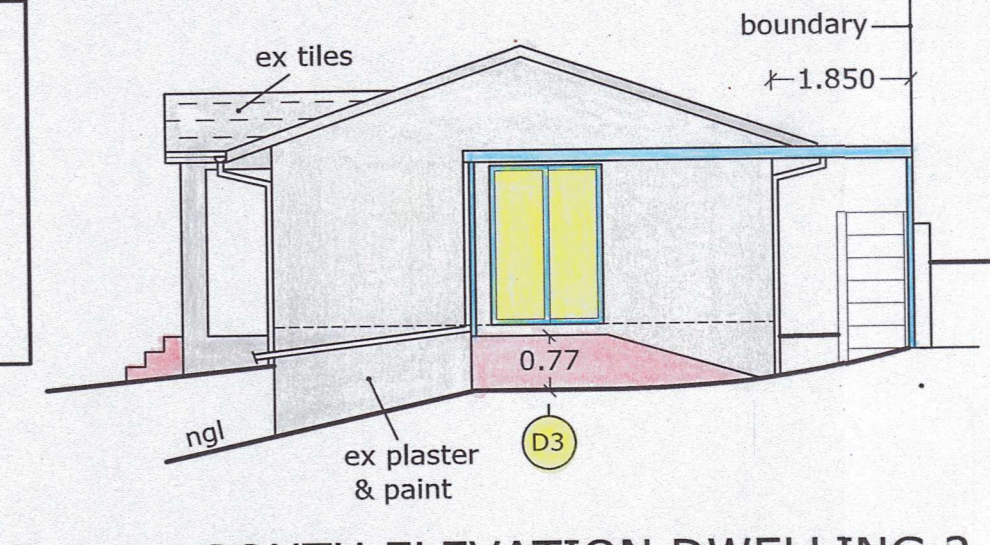
WEST ELEVATION DWELLING 2



NORTH ELEVATION DWELLING 2



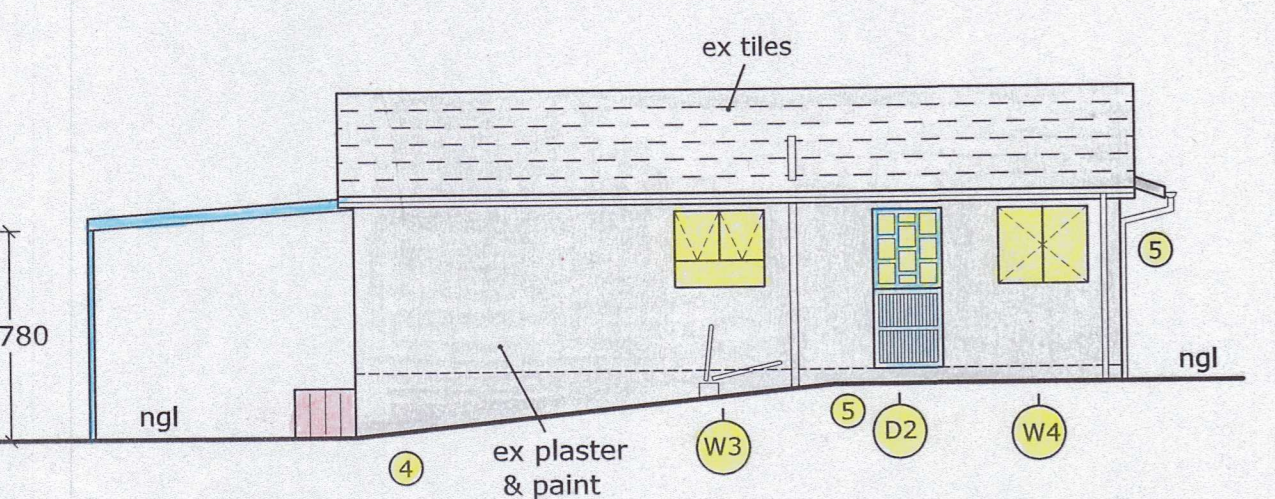
SECTION B - B



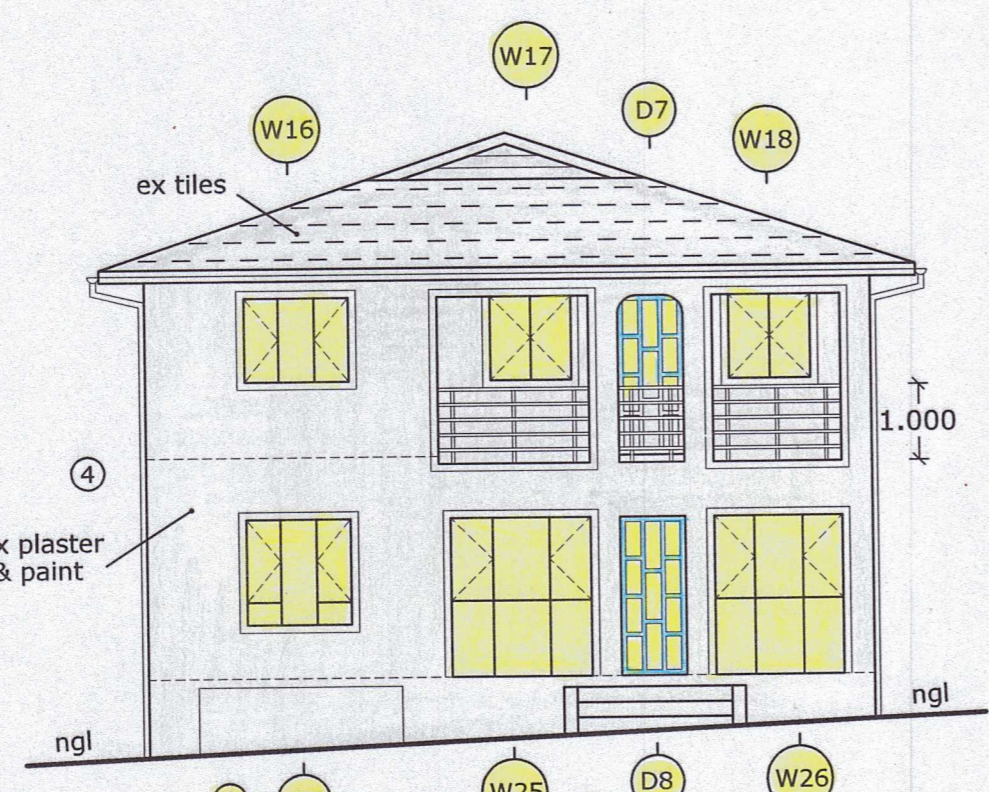
SOUTH ELEVATION DWELLING 2

- ALTERATIONS TO EXISTING DWELLING UNIT 2**
- 1) Existing kitchen converted to lounge.
 - 2) Existing bedroom converted to kitchen.
 - 3) Internal wall omitted resulting in two bedrooms being converted into a single bedroom.
 - 4) Ground levels adjusted to correctly reflect site conditions.
 - 5) Door and window changes to all elevations.

Note: Stormwater from awning to discharge onto roof of existing garage and then into a Jojo Tanks detailed in relevant notes.

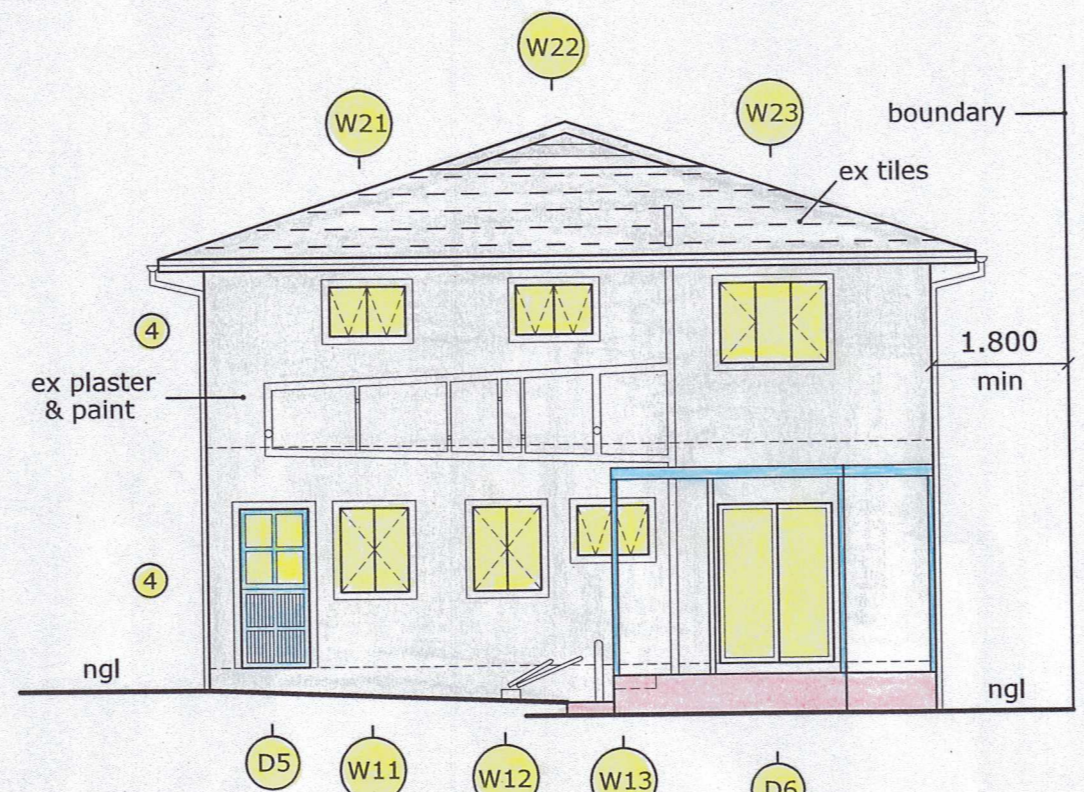


EAST ELEVATION DWELLING 2

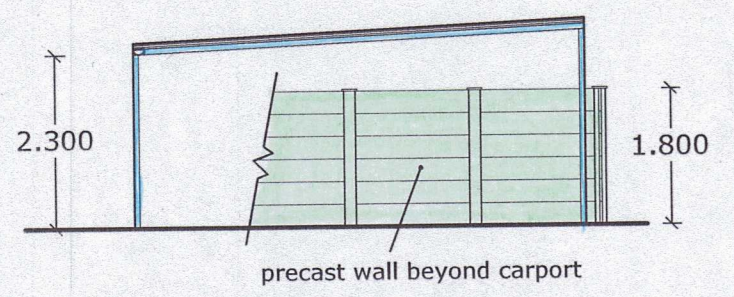


SOUTH ELEVATION DWELLING 1

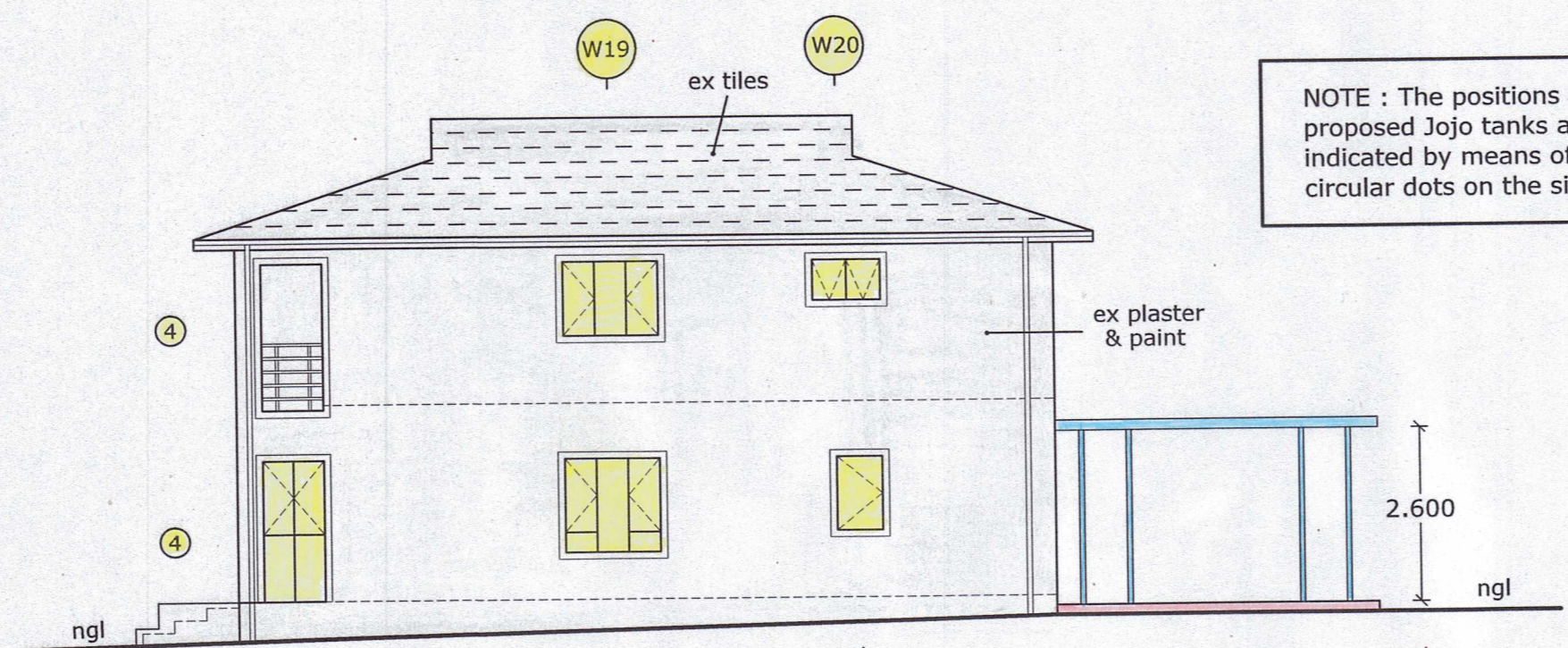
See floor plan and Section A-A for W7, D4 and W8 positions
NOTE: The enclosed verandah is excluded from the building envelope in terms of Part 5.5.5 of SANS 10400-XA:2021 Edition 2



NORTH ELEVATION DWELLING 1

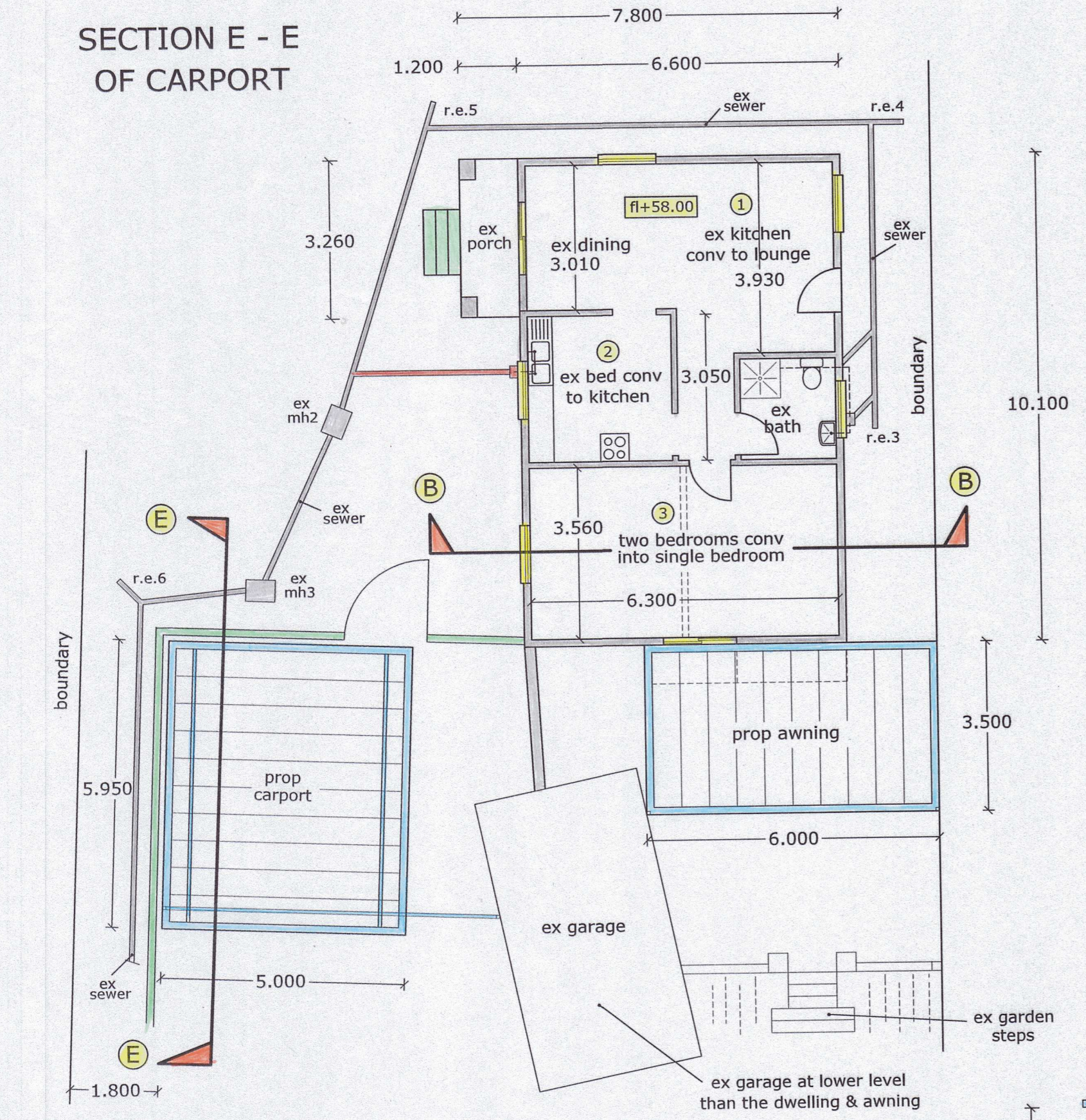


SECTION E - E OF CARPORT

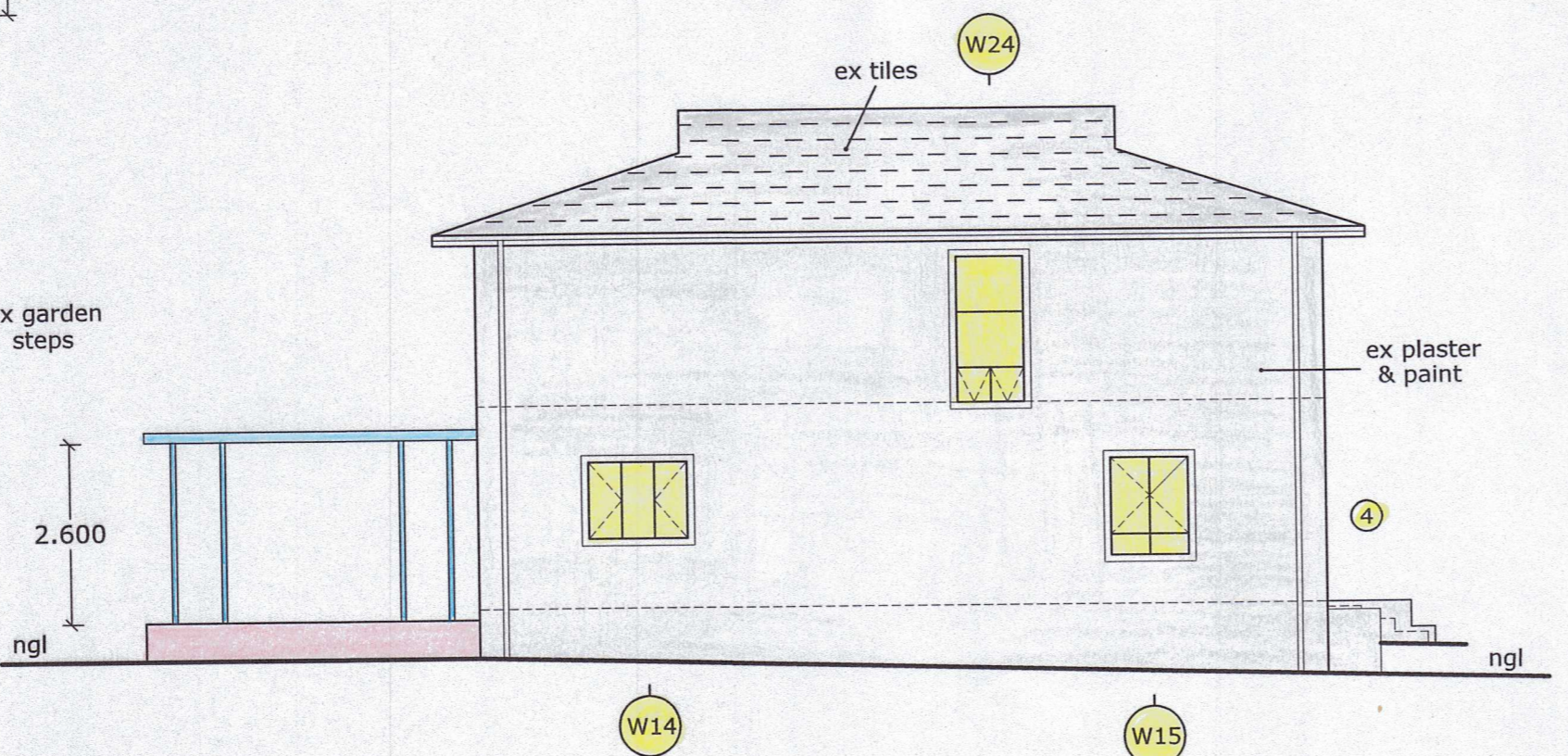


EAST ELEVATION DWELLING 1

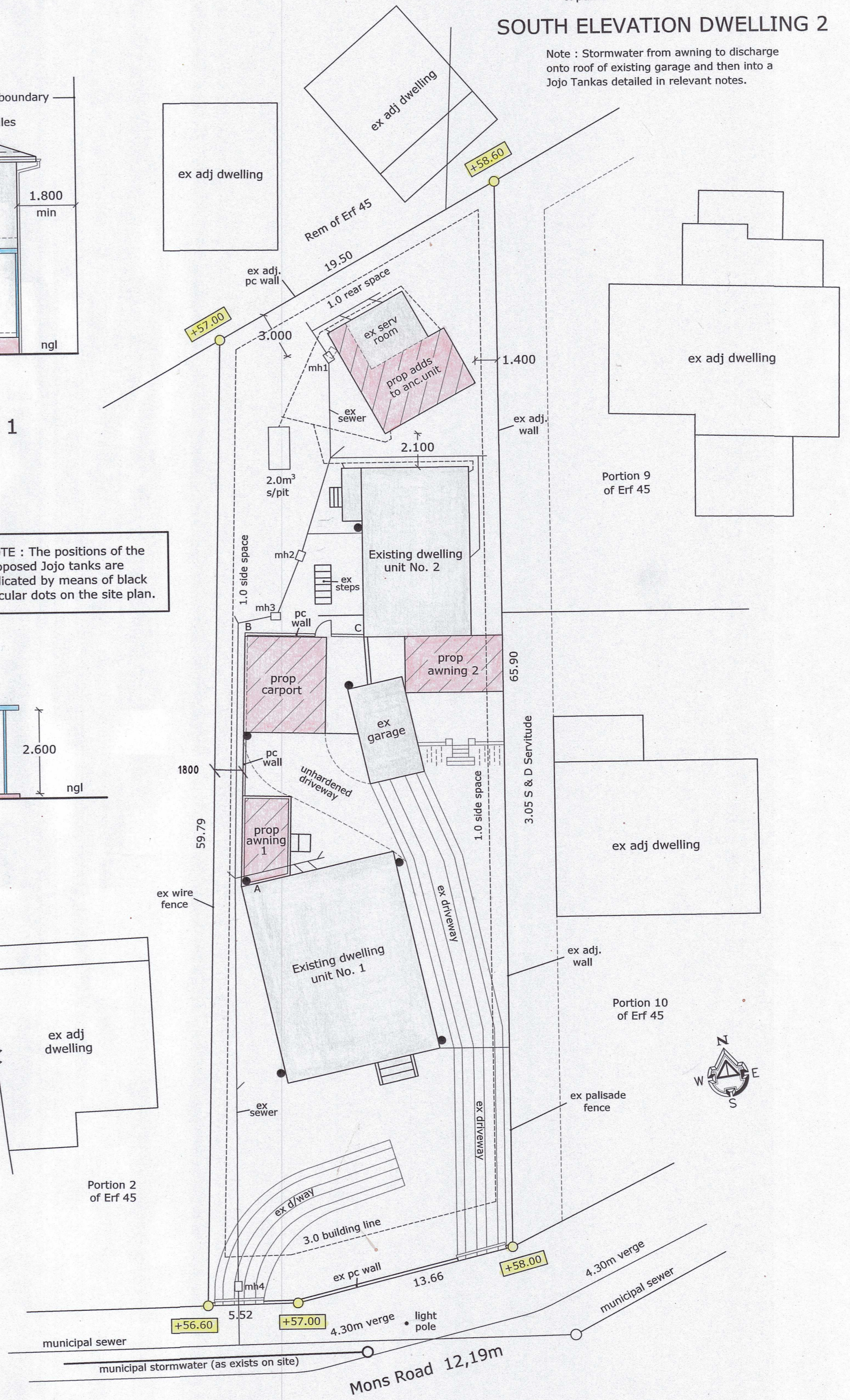
NOTE: The positions of the proposed Jojo tanks are indicated by means of black circular dots on the site plan.



GROUND STOREY PLAN EX DWELLING 2 INCLUDING AWNING & CARPORT



WEST ELEVATION DWELLING 1



SITE PLAN

Name: JACQUEL ARAMIAN TRYSMAN
Address: 10 Mons Road
Signature: [Signature]
Phone No. 0844 6936 72
Date: 04 JANUARY 2023

Name: KAREL ANTONIA BOSTER
Address: 16 Mons Road
Signature: [Signature]
Phone No. 076 532 0710
Date: 02 DEC 2022

SCHEDULE OF AREAS

Site area:	1127m ²
Existing dwelling No. 1:	
Existing Ground floor dwelling:	107.99m ²
Existing Ground floor verandah:	7.42m ²
Existing First floor dwelling:	107.97m ²
Existing first floor balcony:	7.44m ²
Existing Dwelling No. 2:	
Existing floor area:	66.66m ²
Existing porch:	3.91m ²
Existing garage:	20.90m ²
Existing servant's room:	13.66m ²
Proposed additions to Servant's room and conversion to Ancillary Unit: (Ancillary Unit totals 42.00m ²)	28.34m ²
Proposed awning 1 to Dwelling 1:	15.66m ²
Proposed awning 2 to Dwelling 2:	21.00m ²
Proposed carport:	29.75m ²
Total New Area:	94.75m ²
Existing Coverage:	220.54m ²
which represents:	19.57%
Proposed Coverage:	94.75m ²
which represents:	8.41%
Total Coverage:	315.29m ²
which represents:	27.98%
Existing FAR:	296.28m ²
Proposed FAR:	28.34m ²
Total FAR:	324.62m ²
which represents:	0.288

NOTE: The AMAFA/SAHRIS APPLICATION IS ONLY IN RESPECT OF THE PROPOSED ALTERATIONS AND ADDITIONS TO THE EXISTING OUTBUILDING

ENERGY ZONE 5H
SITE CLASS DESIGNATION: P/C 1

The attention of the owner is drawn to the fact that deviations to this plan and / or specifications after formal approval is likely to invalidate such approval.

CLASSIFICATION H3
LITTLEFIELD & ASSOCIATES
Specialists in Residential Developments

Proposed Alterations and Additions to the existing Outbuilding, Alterations to the existing Dwellings, New Carport and new awnings to both dwellings for Mr. & Mrs. A.E. & D. Campbell at 32 Mons Road, Bellair. Remainder of Portion 1 of Erf 45 of Sea View.