

ALTERATIONS TO GROUND STOREY OF EXISTING DWELLING No. 1 : FENESTRATION DETAILS AND SPECIFICATIONS

The NETT floor area of the Ground storey of Dwelling No. 1 is 98.19m² Total glazed area = 19.24m² which represents 19.59% of the NETT floor area and therefore complies with Table 4 of SANS 10400-XA:2021 Edition 2.

FENESTRATION CALCULATIONS AND SPECIFICATIONS

Table with 7 columns: Description, Sector, Width, Height, Area, Glass type and specification, Frame. Lists windows W6 to W15 with their respective dimensions and materials.

ALTERATIONS TO FIRST STOREY OF EXISTING DWELLING No. 1 : FENESTRATION DETAILS AND SPECIFICATIONS

The NETT floor area of the Ground storey of Dwelling No. 1 is 98.02m² Total glazed area = 12.80m² which represents 13.06% of the NETT floor area and therefore complies with Table 4 of SANS 10400-XA:2021 Edition 2.

FENESTRATION CALCULATIONS AND SPECIFICATIONS

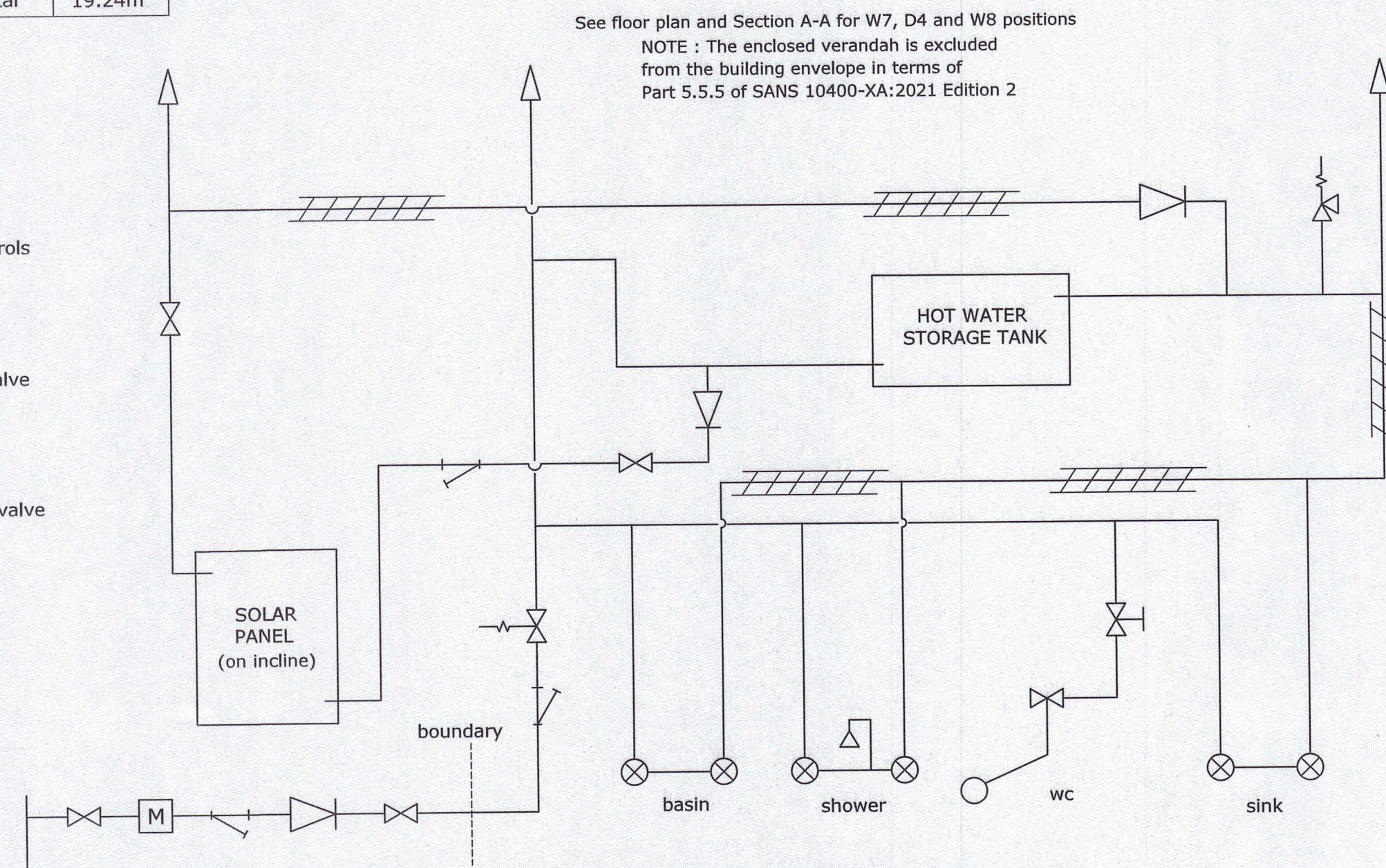
Table with 7 columns: Description, Sector, Width, Height, Area, Glass type and specification, Frame. Lists windows W16 to W24 with their respective dimensions and materials.

Water Reticulation Notes - Calculations and specifications for the Ancillary Unit

The solar water heating system serving the ancillary unit is to be a Close Coupled thermosiphon circulation system with electrical thermostat element that operates when the water temperature drops in the water heater. Necessary steps are to be taken to ensure that additional supporting members are installed within the roof structure wherever necessary so as to adequately support the solar water heating system once filled with water.

Symbols

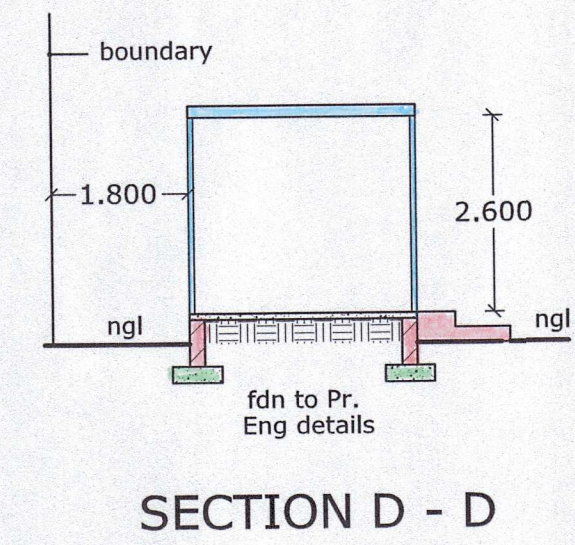
- lagged pipe, mixer manual controls, non-return valve, pressure control valve, water meter, expansion control valve, float valve, isolating valve, shower, stopcock, strainer, vacuum relief valve.



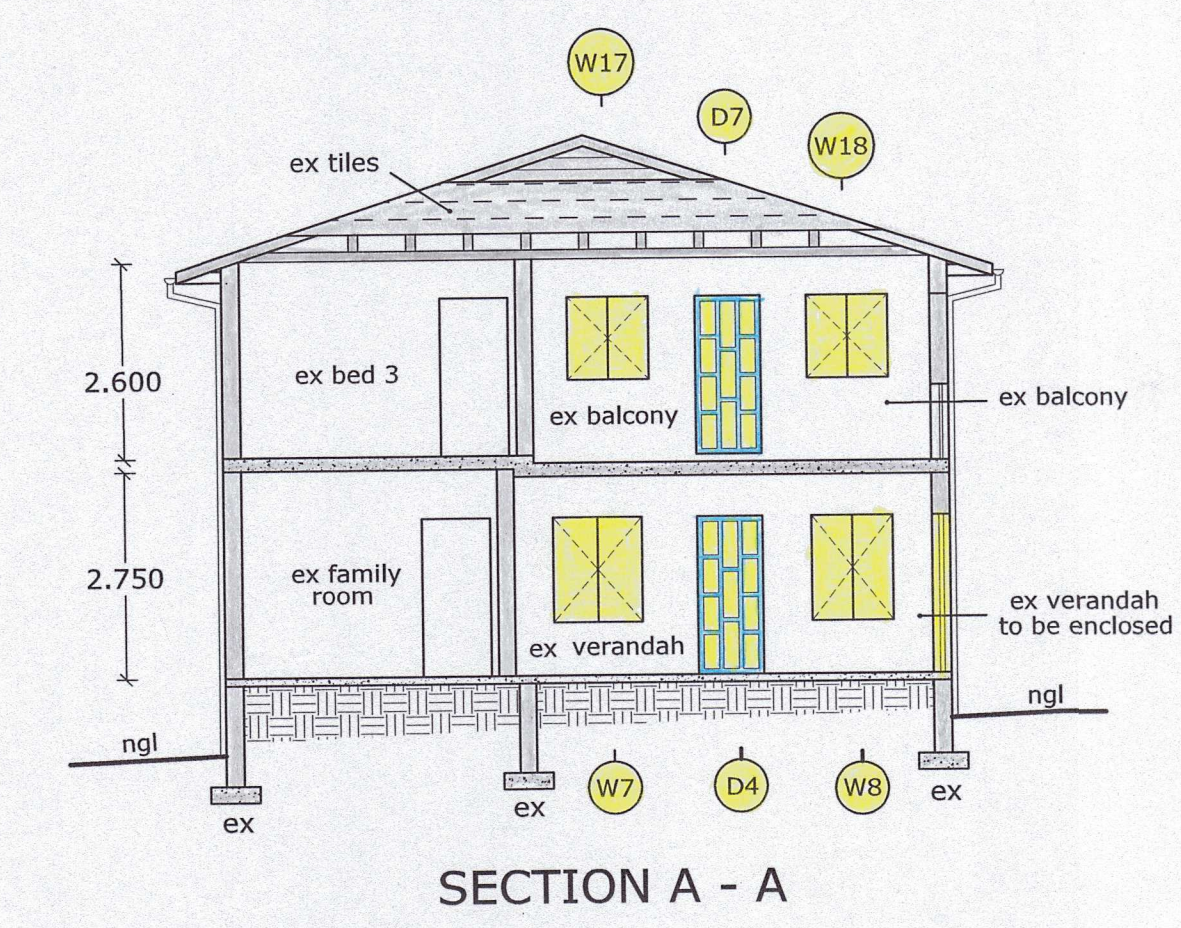
SCHEMATIC WATER LAYOUT FOR ANCILLARY UNIT

See floor plan and Section A-A for W7, D4 and W8 positions

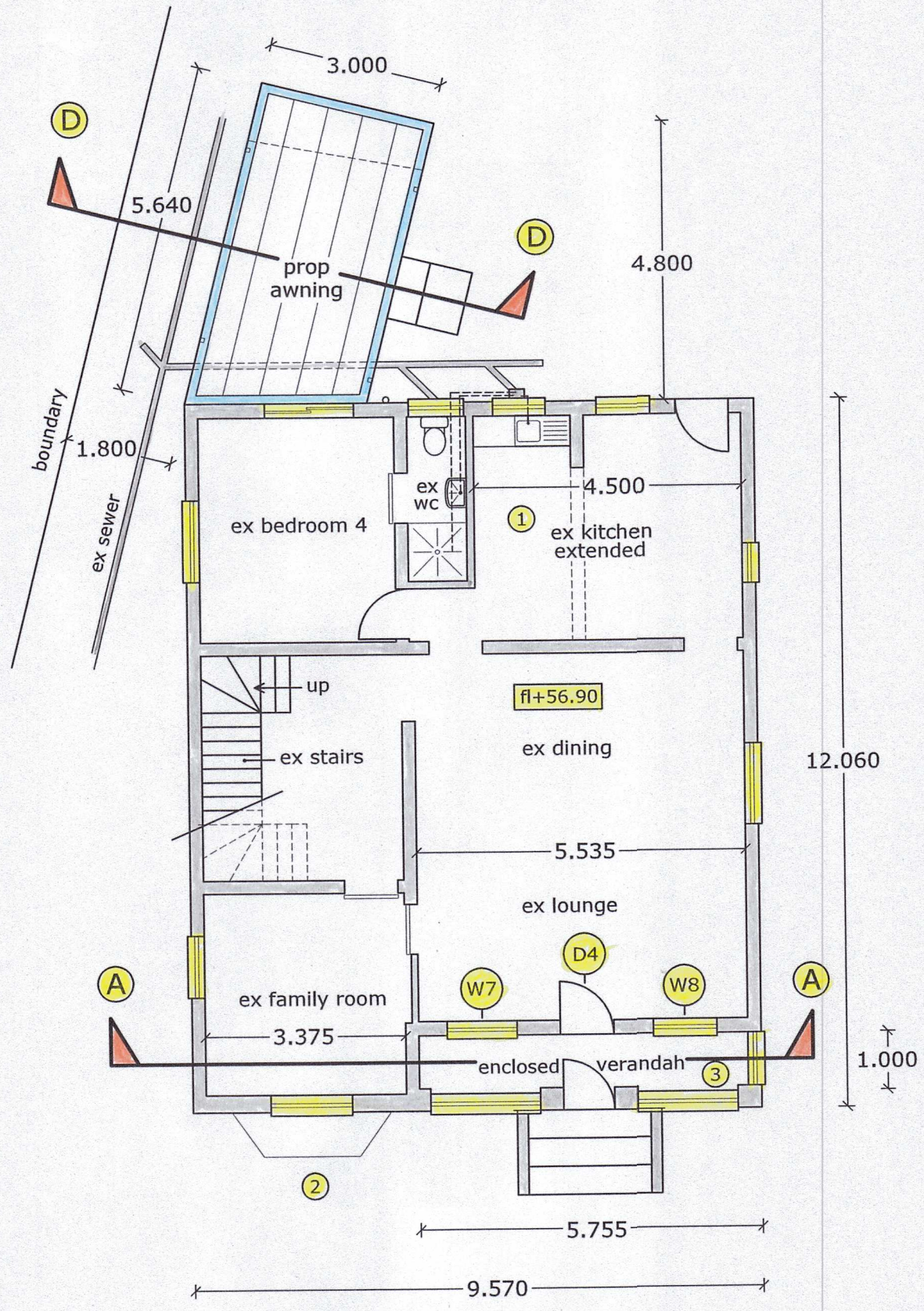
NOTE : The enclosed verandah is excluded from the building envelope in terms of Part 5.5.5 of SANS 10400-XA:2021 Edition 2



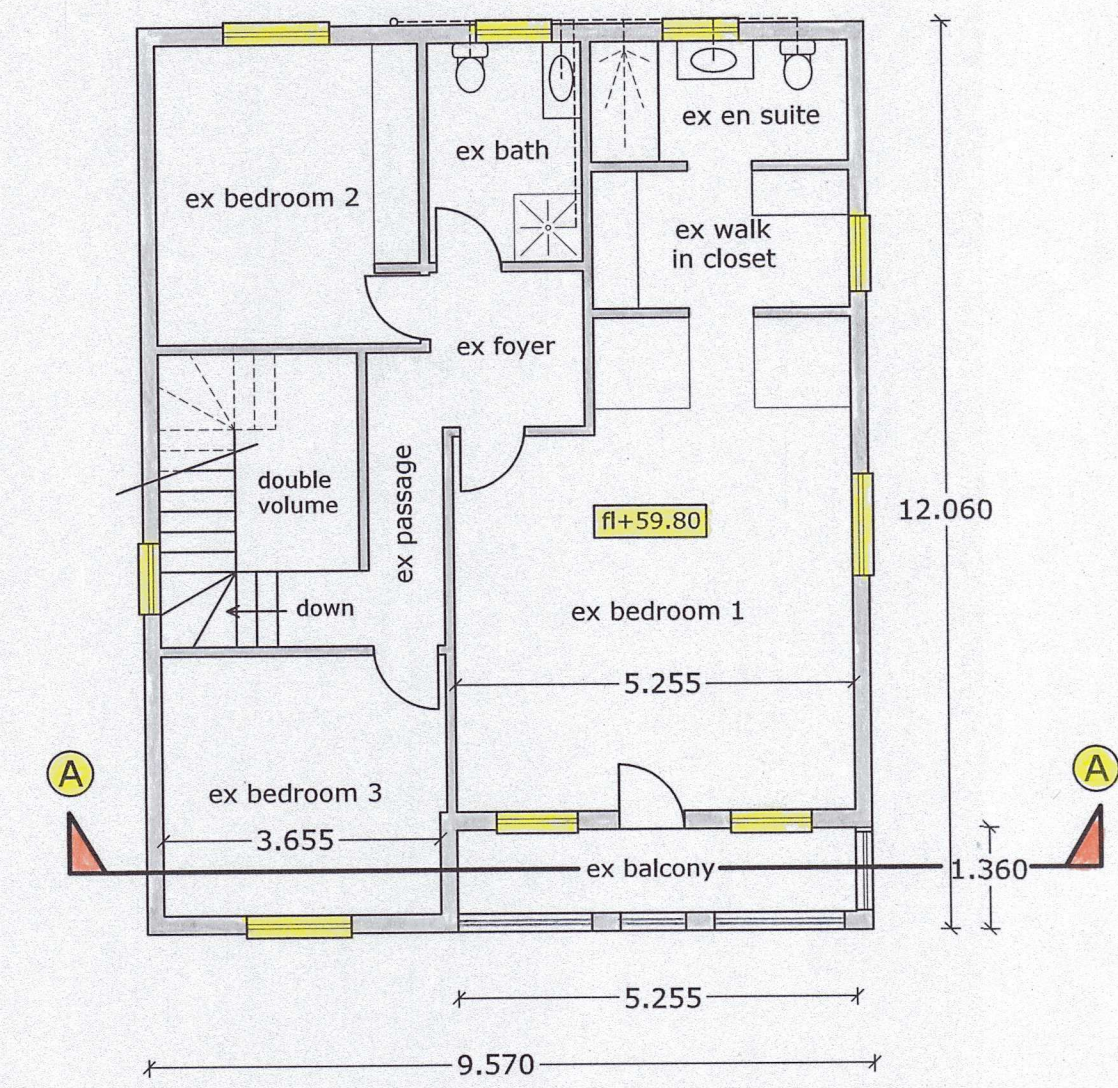
SECTION D - D



SECTION A - A



GROUND STOREY PLAN of EXISTING DWELLING 1



FIRST STOREY PLAN of EXISTING DWELLING 1

- ALTERATIONS TO EXISTING DWELLING UNIT 1: 1) Ground floor bathroom omitted and kitchen extended accordingly. 2) Bay windows omitted on the south elevation. 3) Ground floor verandah enclosed. 4) Window changes to all elevations.

- ALTERATIONS TO EXISTING DWELLING UNIT 2: 1) Existing kitchen converted to lounge. 2) Existing bedroom converted to kitchen. 3) Internal wall omitted resulting in two bedrooms being converted into a single bedroom. 4) Ground levels adjusted to correctly reflect site conditions. 5) Door and window changes to all elevations.

- ALTERATIONS TO EXISTING SERVANT'S QUARTERS: 1) Existing servant's quarters to be converted into an ancillary unit. 2) Existing window to be bricked up. 3) New tiled roof to be erected to the ancillary unit. 4) Manhole 1 to be repositioned onto existing domestic sewer line.

Carport and Awning Notes: Proposed carport and awnings constructed of chromadeck sheeting and fascias with 150mm galvanized gutter leading to 75mm diameter pvc downpipes discharging into JoJo tanks all as detailed within the stormwater notes and of which such positions are indicated on the site plan.

Calculations on Thermal Insulation: R Value (m K/w) of roof and ceiling material = 0.41. Requirement of 2.7 less 0.41 = 2.29 R still required to be made up with flexible fibre glass blanket (Think Pink Aerolite).

Drainage Notes: Any damaged fittings to be replaced. All gully surrounds and manhole covers to be 75mm above ground level. Existing sewer drain to be exposed before commencing work.

Name: JACQUES ABRAHAM IRITSHAN, Address: 10 Mons Road, Signature: [Signature], Date: 04 JANUARY 2023

NOTE: The AMAFA/SAHRIS APPLICATION IS ONLY IN RESPECT OF THE PROPOSED ALTERATIONS AND ADDITIONS TO THE EXISTING OUTBUILDING

ENERGY ZONE 5H, SITE CLASS DESIGNATION: P/C 1, The attention of the owner is drawn to the fact that deviations to this plan and / or specifications after formal approval is likely to invalidate such approval.

CLASSIFICATION H3, LITTLEFIELD & ASSOCIATES Specialists in Residential Developments

Proposed Alterations and Additions to the existing Outbuilding, Alterations to the existing Dwellings, New Carport and new awnings to both dwellings for Mr. & Mrs. A.E. & D. Campbell at 32 Mons Road, Bellair. Remainder of Portion 1 of Erf 45 of Sea View.