

**SCHEDULES OF AREAS
LOT 7292**

SITE AREA		692.00	
ZONING - General Business 2			
PERMISSIBLE COVERAGE	N/A	0.0	
PERMISSIBLE FAR	2.00	1384.00	
EXIST. COVERAGE	30.5%	211.92	
EXIST. FAR	.305	211.92	
NEW COVERAGE	39.96%	276.54	
NEW FAR	.570	392.83	
RESIDENCE AREA			
EX. OUTBUILDING		COV.	FAR
EX. DOUBLE GARAGE / WC/SHW	58.67	58.67	58.67
EX. GROUND FLOOR OFFICES			
OFFICES (EX. SINGLE STOREY BLDG)	148.13	148.13	148.13
COVERED ENTRANCE PORCH	5.12	5.12	5.12
EX. BLD'S SUB- TOTAL	211.92	211.92	211.92
NEW ADDITIONS - GROUND FLOOR			
STAIRCASE & ENTR. FOYER	13.30	13.30	13.30
CARPORT	33.00	33.00	33.00
STORES	15.12	15.12	15.12
STAFF ABLUTIONS	3.20	3.20	3.20
NEW ADD GRD. FL. Sub-Total	64.62	64.62	64.62
NEW ADDITIONS - FIRST FLOOR			
D/V STAIRCASE, LANDING, CORRIDOR	13.61	0	13.61
NEW OFFICES	75.00	0	75.00
EQUIPMENT STORE & BIC	10.70	0	10.70
STAFF ABLUTIONS	7.56	0	7.56
BALCONY	10.05	0	10.05
NEW ADD FIRST FL. Sub-Total	116.29	0	116.29
GRAND - TOTALS	392.83	276.54	392.83
IN HAND	N/A	N/A	991.17
NEW ADDS TOTALS	180.91	64.62	180.91

* SURVEYED SIZE
* SURVEYED SIZE
* SURVEYED SIZE
* SURVEYED SIZE

PARKING CALCULATION
Clause 12 - Parking & Loading Standards
Permissible - 5 per 100 sq.m (Clause 12 - 1.2 Offices)

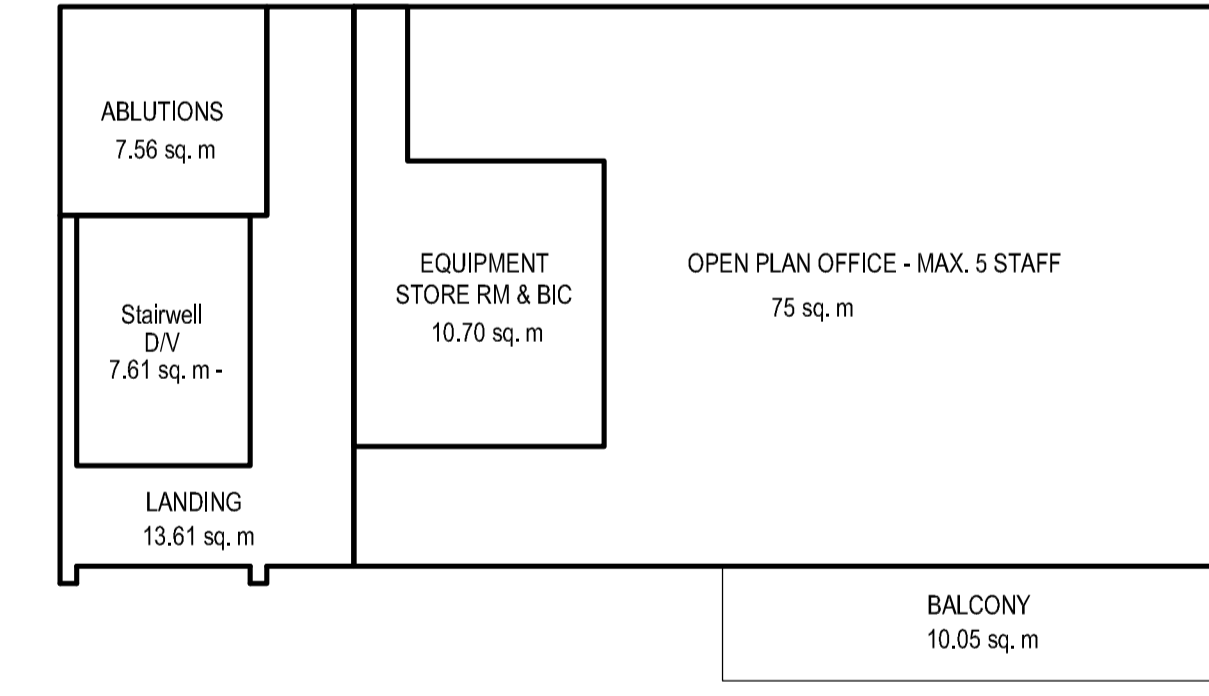
OFFICES (EX. SINGLE STOREY BUILDING - Max. 6 Staff)	148.13 sq.m
NEW FIRST FLOOR OFFICES - Max. 5 STAFF	75.00 sq.m
TOTAL	223.13 sq.m (12 parking bays req)

PARKING SCHEDULE	Required	Provided	Max.# Staff
Ex. offices (5xbay per 100 sq.m)	7.5	7	6
New offices (5xbay per 100 sq.m)	3.75	4	5
Loading Bay (1 bay per 500 sq.m)	1	1	
Tandem Parking bays provided-special consent	3		
Visitors Parking - minimal use	N/A	1	
TOTAL	12.25	16	11

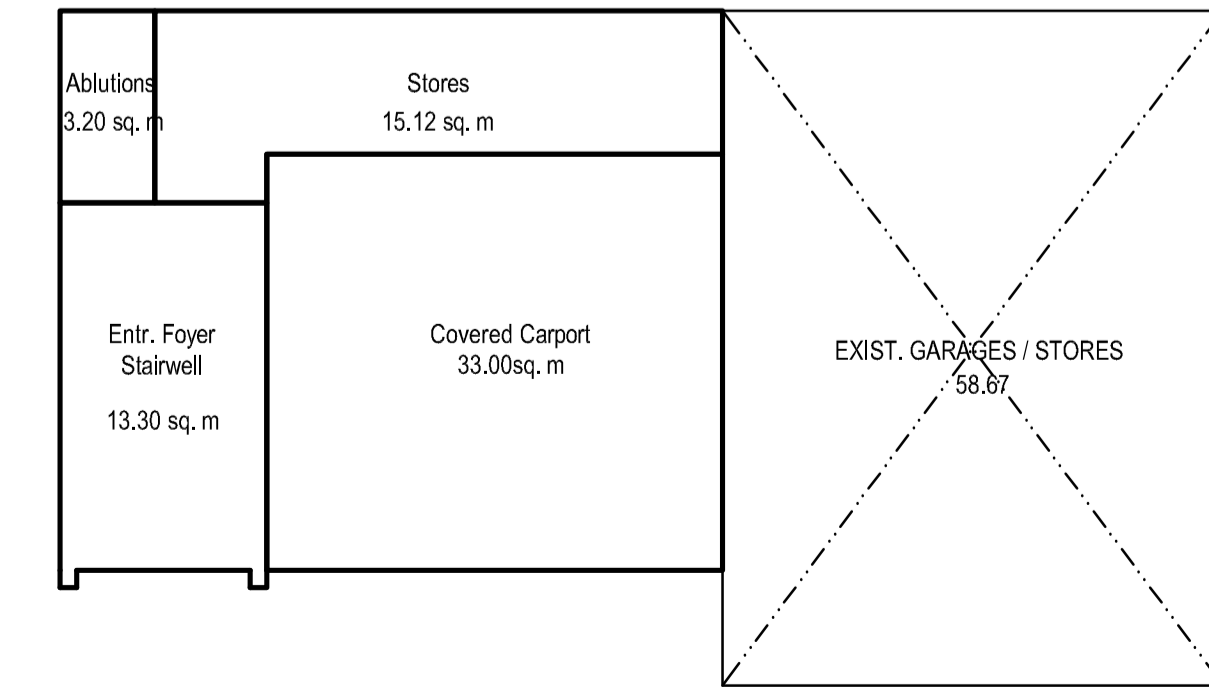
STORMWATER CALCULATION

NEW OFFICES	116.29 sq.m
EX. REAR HARDENED DRIVEWAY	105.09 sq.m
NEW TARRER DRIVEWAY	66.00 sq.m
TOTAL	287.38 sq.m divided by 40 sq.m = 7.18 cubic metres
Attenuation tank Provided	9.00 sq.m
OFFICES (EX. SINGLE STOREY BUILDING)	153.25 sq.m
EX. HARDENED SIDE DRIVEWAY	142.77 sq.m
TOTAL	296.02 sq.m discharges onto surface & ex. munic. stormwater culverts in road

ZONED - GENERAL BUSINESS 2 APPROVED ON 22.03.2022
AS PER DECISION NOTICE APPLICATION # LUM20210840002/CS
(PREVIOUS ZONING - GR 2)
OCCUPANCY CLASSIFICATION G1 - OFFICES



FIRST STOREY PLAN - AREA OVERLAY
SCALE: 1:100



GROUND STOREY PLAN - AREA OVERLAY
SCALE: 1:100

REV.	DATE	BY	REVISION
1	28.11.22	RBJ	1. AMAFA SUBMISSION

Project: PROPOSED ADDITIONS & ALTERATIONS TO EXIST. OUTBUILDING WITH NEW COV. PARKING & CONVERSION thereof TO FIRST FLOOR OFFICES
The Trustees of the COVENANT FAMILY TRUST
ERF 7292 DURBAN
332 UMBILO ROAD

drawing title: **SITE PLAN
AREA SCHEDULE & OVERLAY
SCALE 1:100**

Phase: **BUILDING APPLICATION SET
PHASE - AMAFA APPLICATION**

RbJ
RESIDENTIAL ARCHITECTURE
RITA JOSEPH
Tel: 084 510 3919
For Bespoke Homes
email: rita@sda.co.za

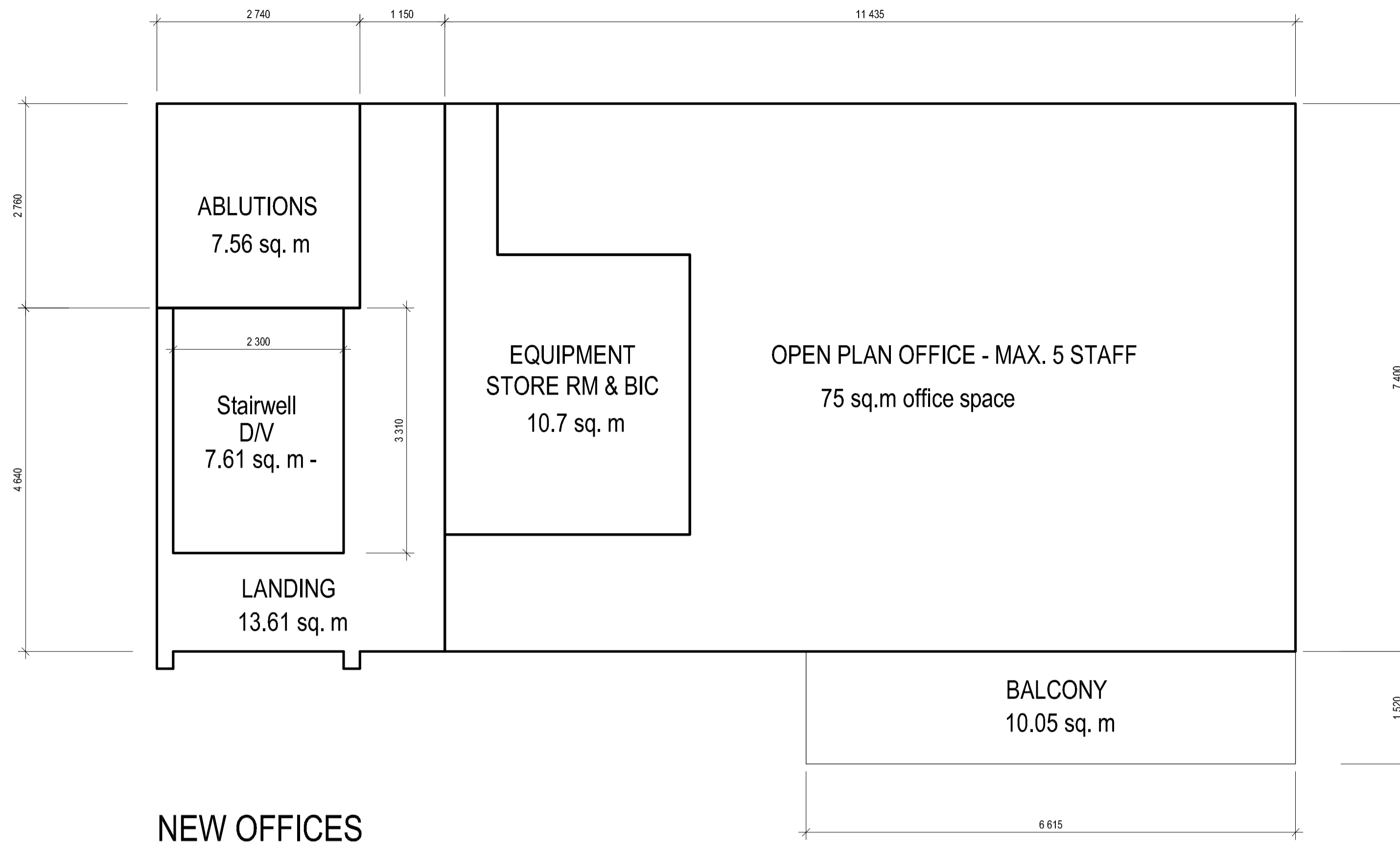
prof. senior arch. tech.
SACAP Reg: ST 2293
44 Frederick Ave,
Marbrough Park
Durban 4052
031- 466 3841

owner: _____

All dimensions and levels are to be checked on site prior to commencement of construction. Figured dimensions are to be taken in preference to scaling off the drawing. Any discrepancies are to be reported to the Prof. Technologist.

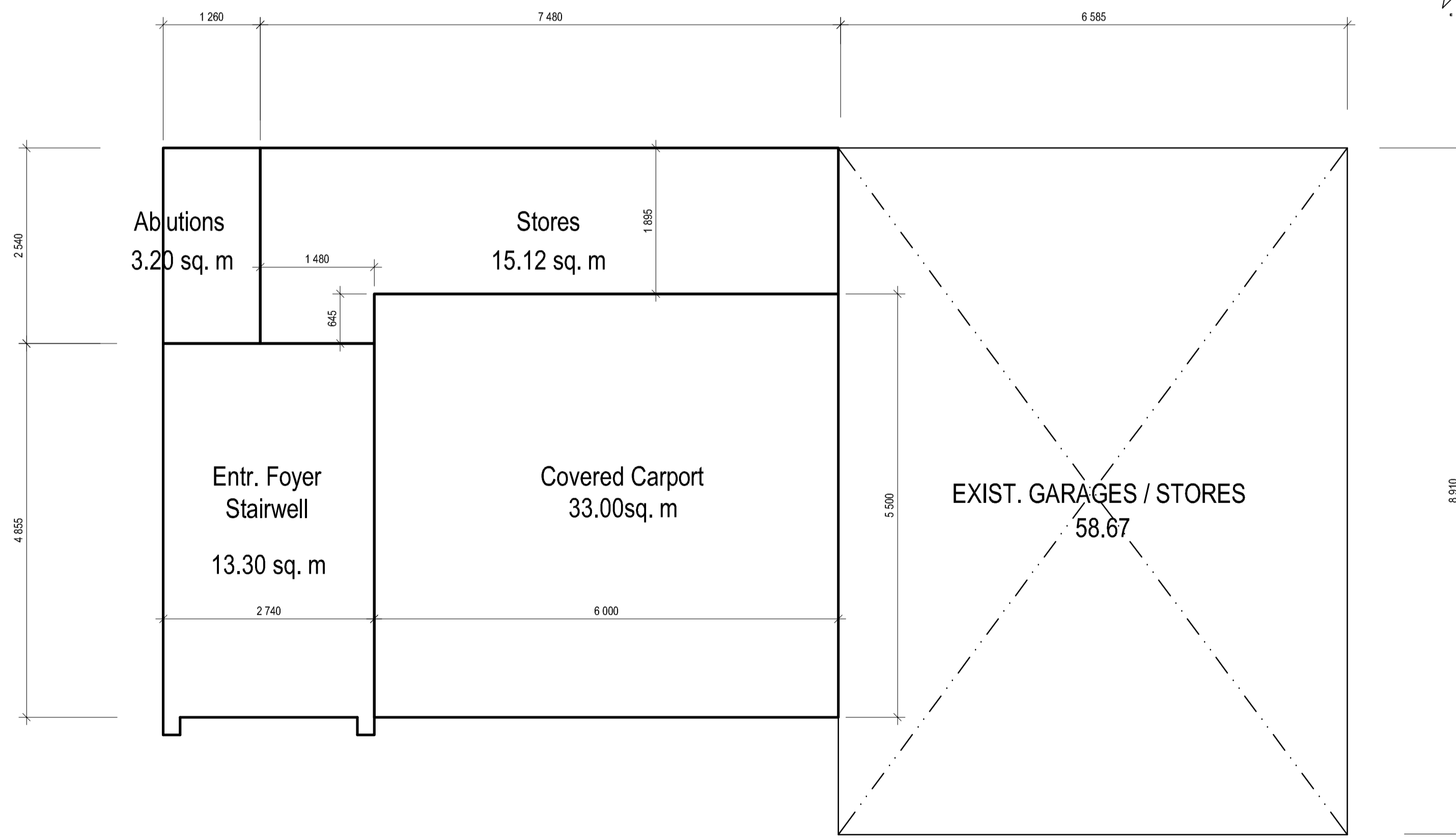
drawing no.	S001 rev. 1	date	OCT, 2022
scale	1:100	project no	106
drawn	RBJ		

REV.	DATE	BY	REVISION
1	02.11.22	RBJ	1. AMAFA SUBMISSION



**NEW OFFICES
FIRST STOREY PLAN - AREA OVERLAY**
SCALE : 1 : 50

ZONED - GENERAL BUSINESS 2 APPROVED ON 22.03.2022
AS PER DECISION NOTICE APPLICATION # LUM20210840002/CS
(PREVIOUS ZONING - GR 2)
OCCUPANCY CLASSIFICATION J1 - OFFICES

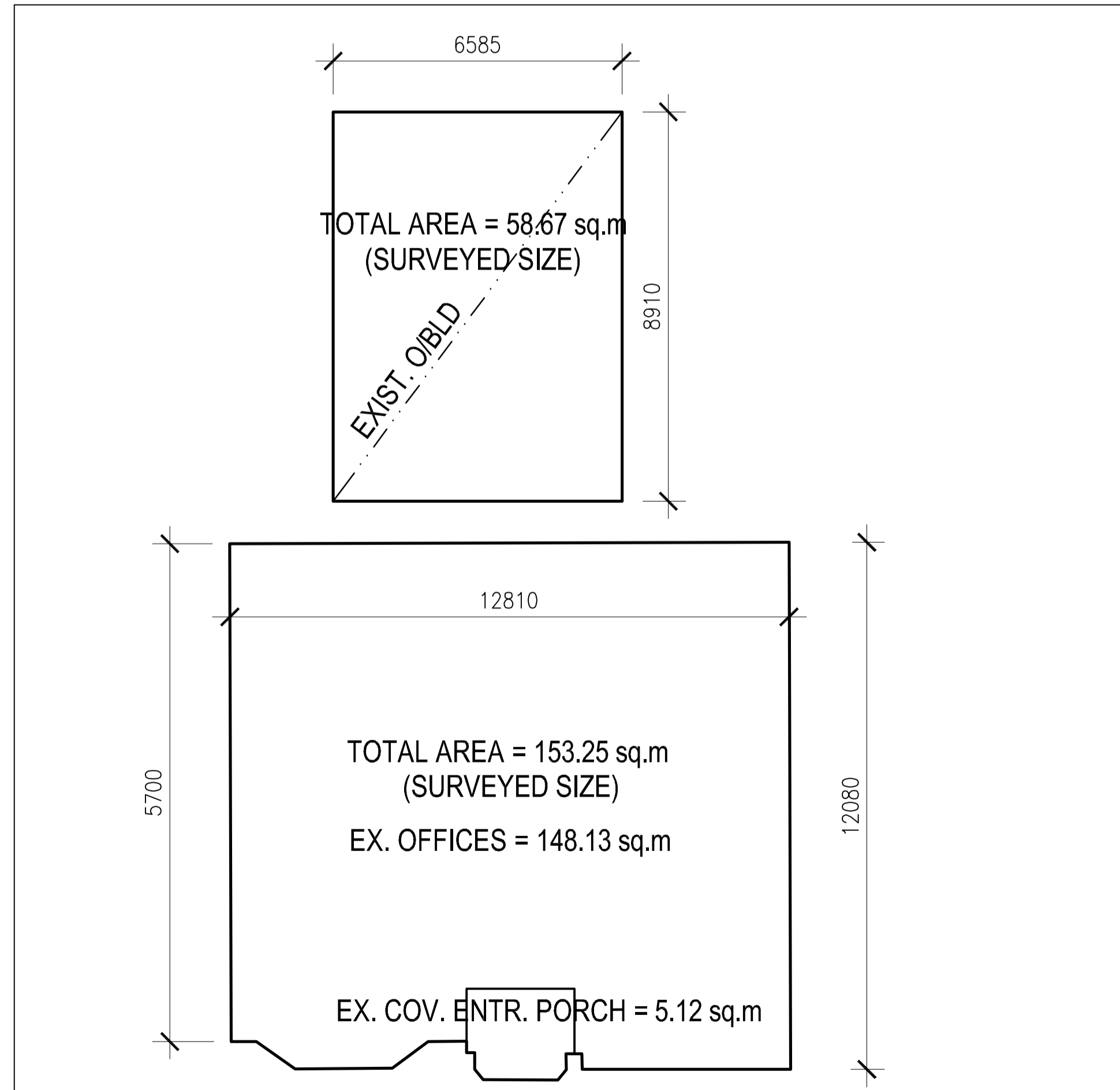
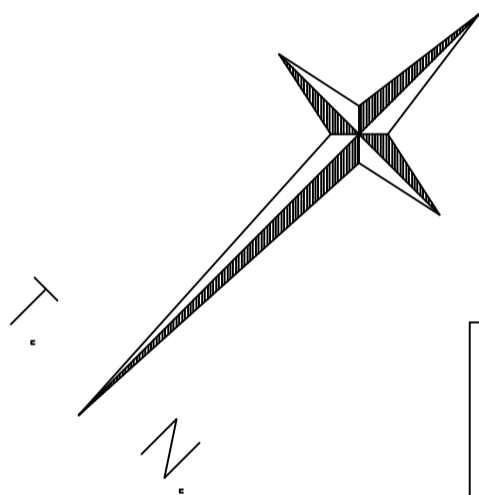


**NEW CARPORT, STORES & OFFICE ENTRANCE
GROUND STOREY PLAN - AREA OVERLAY**
SCALE : 1 : 50

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LOT 7292**

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* SURVEYED SIZE
* SURVEYED SIZE
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EXIST. OFFICES & O/BLD - AREA OVERLAY
SCALE : 1 : 100

Project
PROPOSED ADDITIONS & ALTERATIONS
TO EXIST. OUTBUILDING WITH NEW COV. PARKING
& CONVERSION thereof TO FIRST FLOOR OFFICES
**The Trustees of the
COVENANT FAMILY TRUST**
ERF 7292 DURBAN
332 UMBILO ROAD

drawing title
**AREA OVERLAY
NEW GROUND & FIRST STOREY PLANS
SCALE 1:50**

Phase
**BUILDING APPLICATION SET
PHASE - AMAFA APPLICATION**



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44 Frederick Ave,
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Rita Joseph

owner
[Signature]

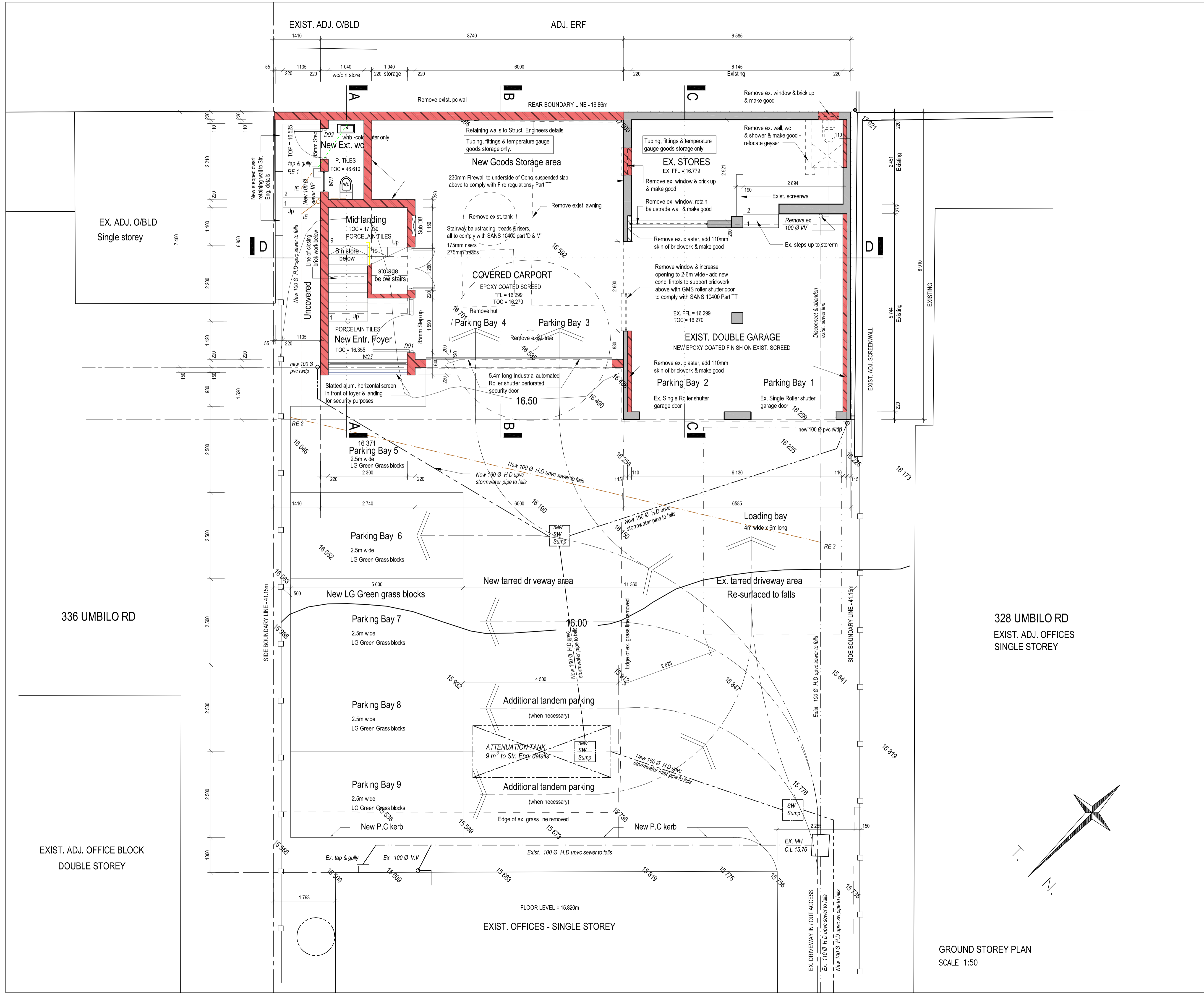
All dimensions and levels are to be checked on site prior to commencement of construction. Figured dimensions are to be taken in preference to scaling off the drawing. Any discrepancies are to be reported to the Prof. Technologist.

drawing no. S002 rev. 1 date OCT, 2022

scale 1:50 project no.

drawn RBJ 106

REV.	DATE	BY	REVISION
1	28.11.22	RBJ	1. AMAFA SUBMISSION



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The Trustees of the COVENANT FAMILY TRUST
 ERF 7292 DURBAN
 332 UMBILO ROAD

drawing title
GROUND STOREY PLAN
 SCALE 1:50

Phase
BUILDING APPLICATION SET PHASE - AMAFA APPLICATION

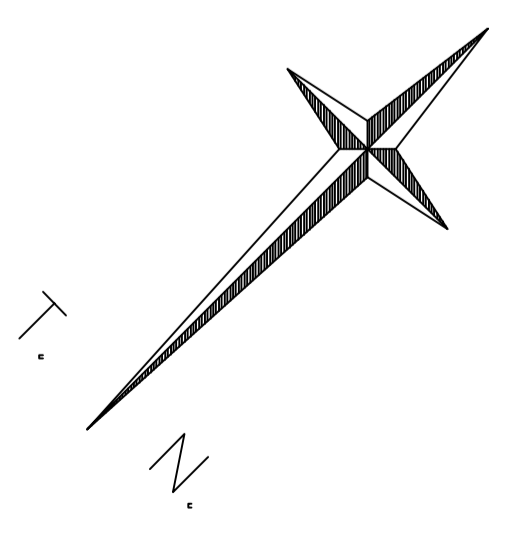


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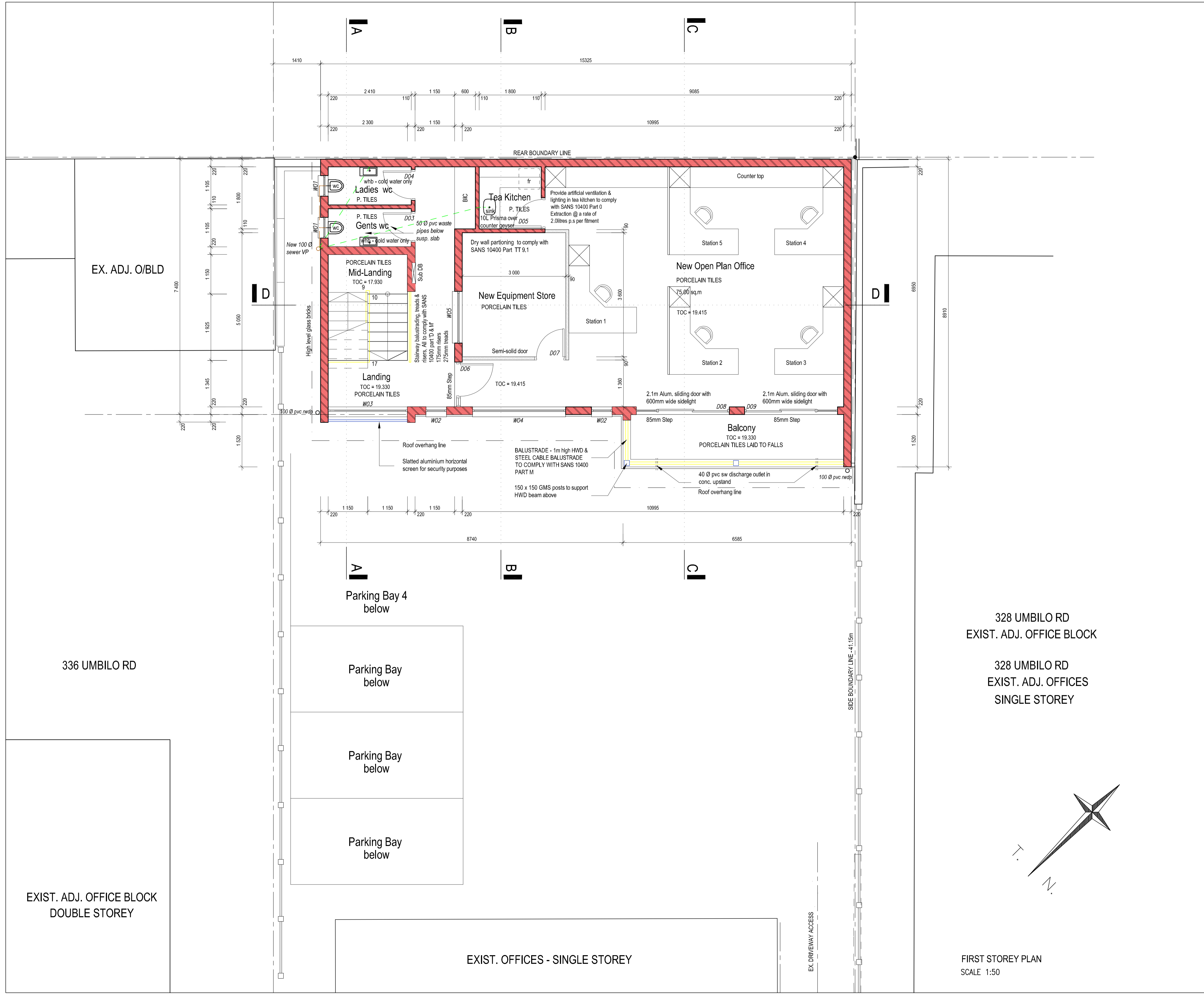
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owner	<i>[Signature]</i>	
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drawing no.	S100 rev. 1	date
scale	1:50	project no
drawn	RBJ	106

GROUND STOREY PLAN
 SCALE 1:50



REV.	DATE	BY	REVISION
1	28.11.22	RBJ	1. AMAFA SUBMISSION



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 ERF 7292 DURBAN
 332 UMBILO ROAD

drawing title
FIRST STOREY PLAN
 SCALE 1:50

Phase
BUILDING APPLICATION SET PHASE - AMAFA APPLICATION


RbJ
 RESIDENTIAL ARCHITECTURE
 RITA JOSEPH
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owner

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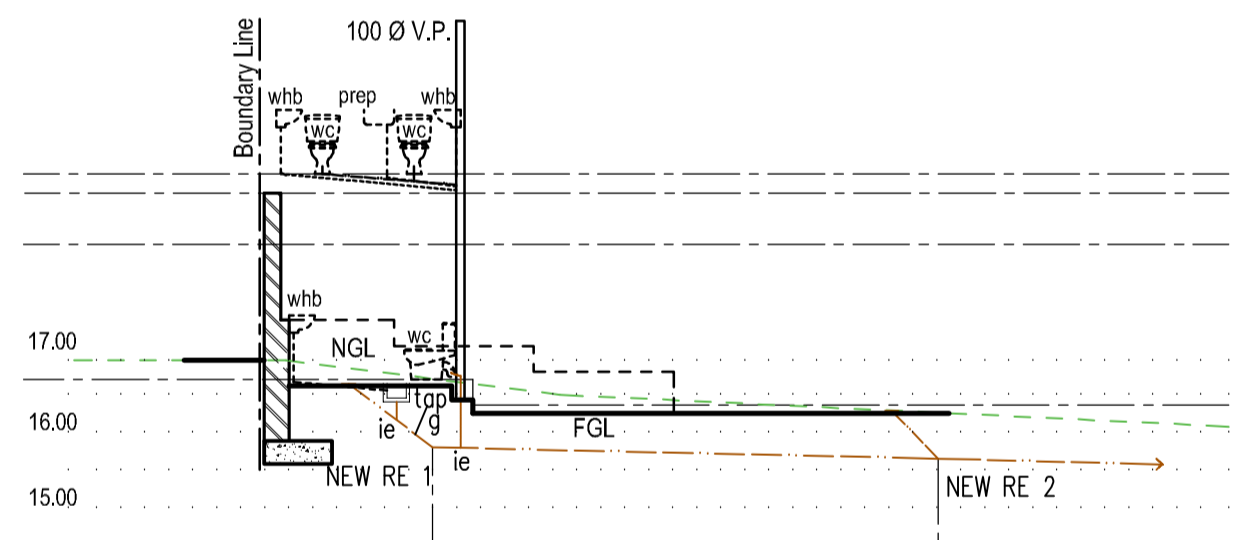
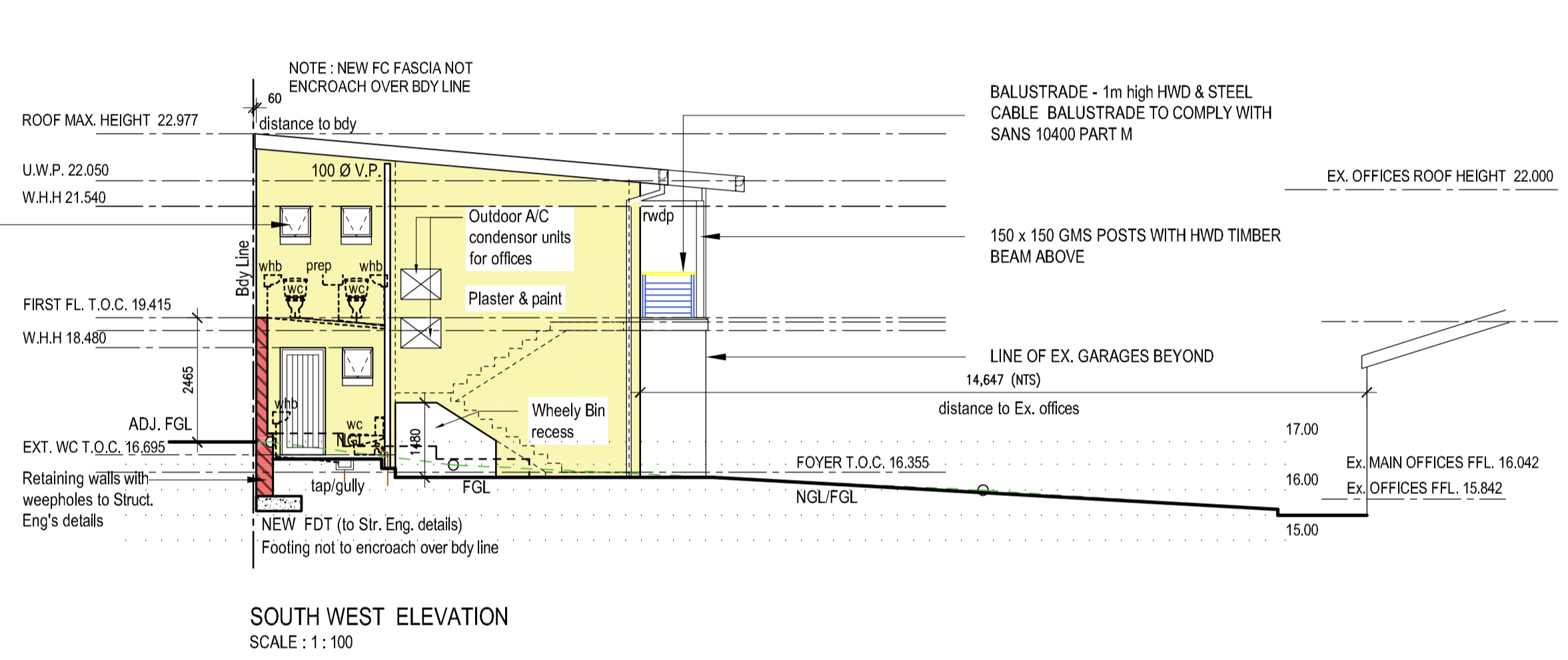
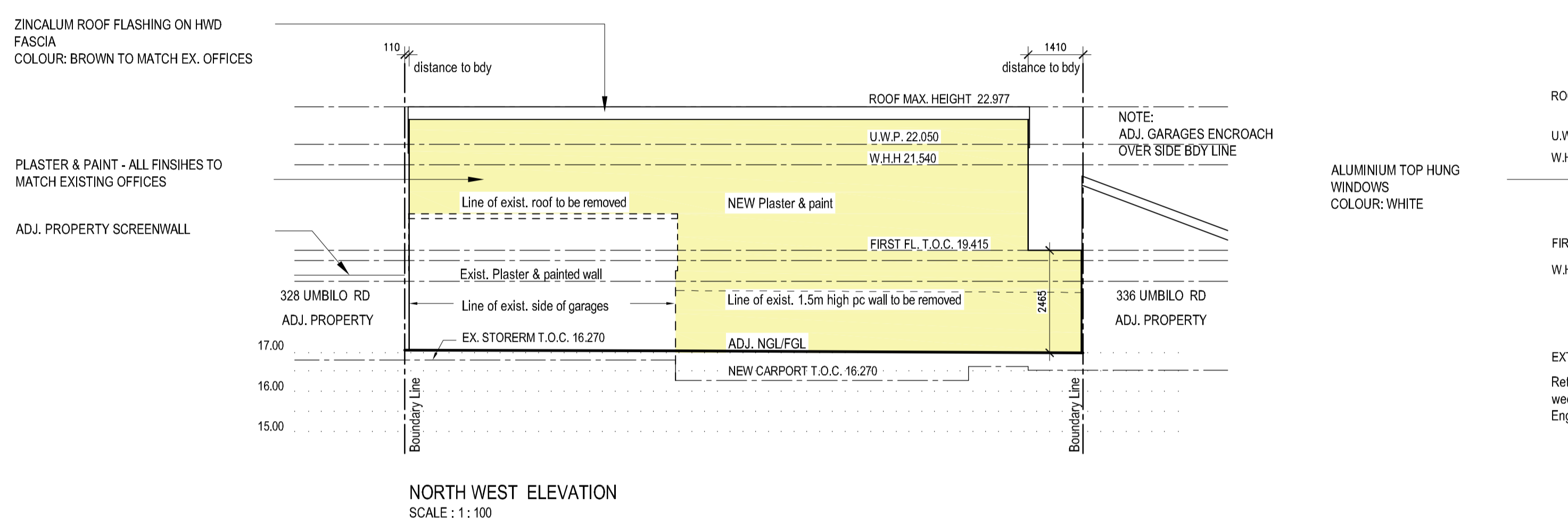
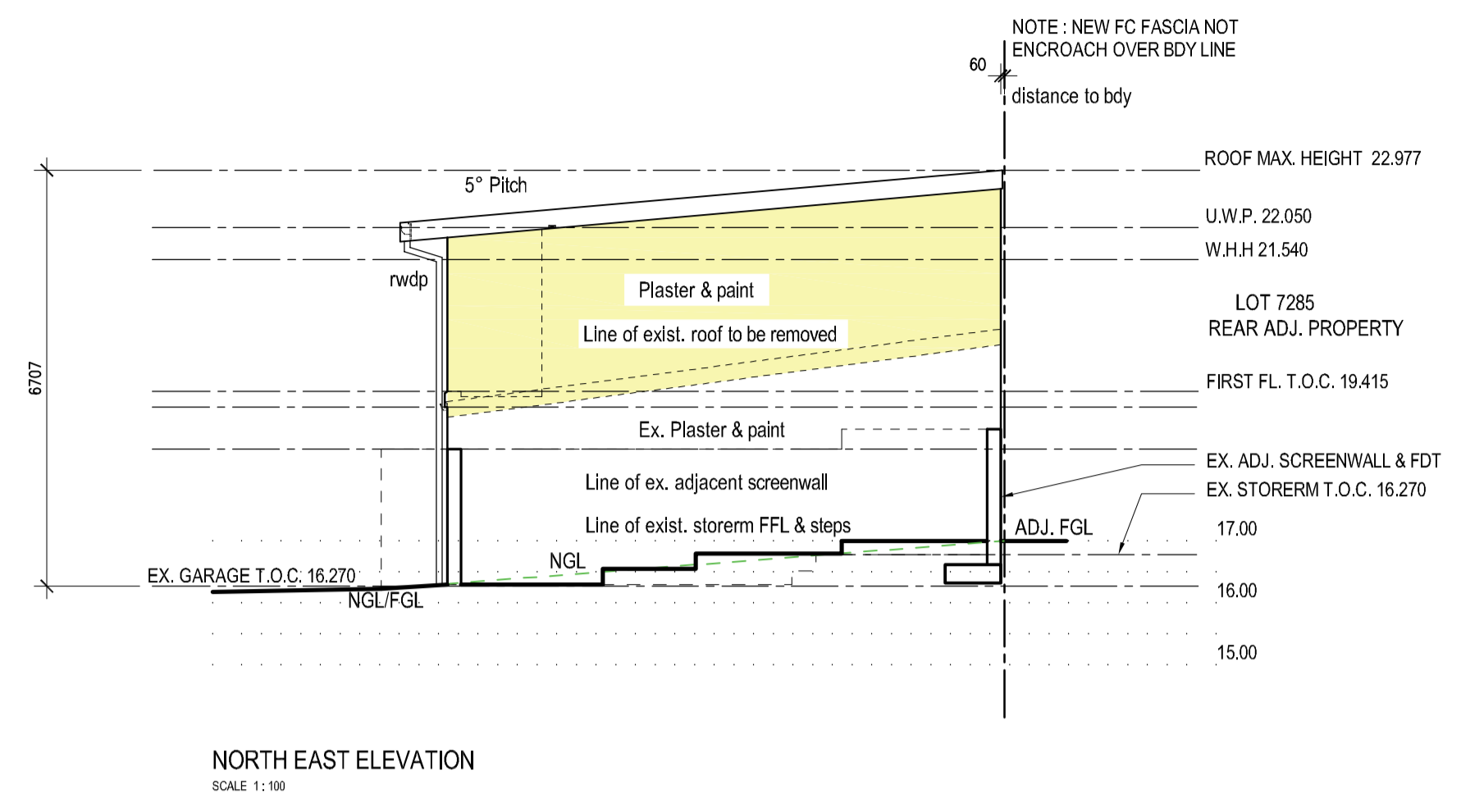
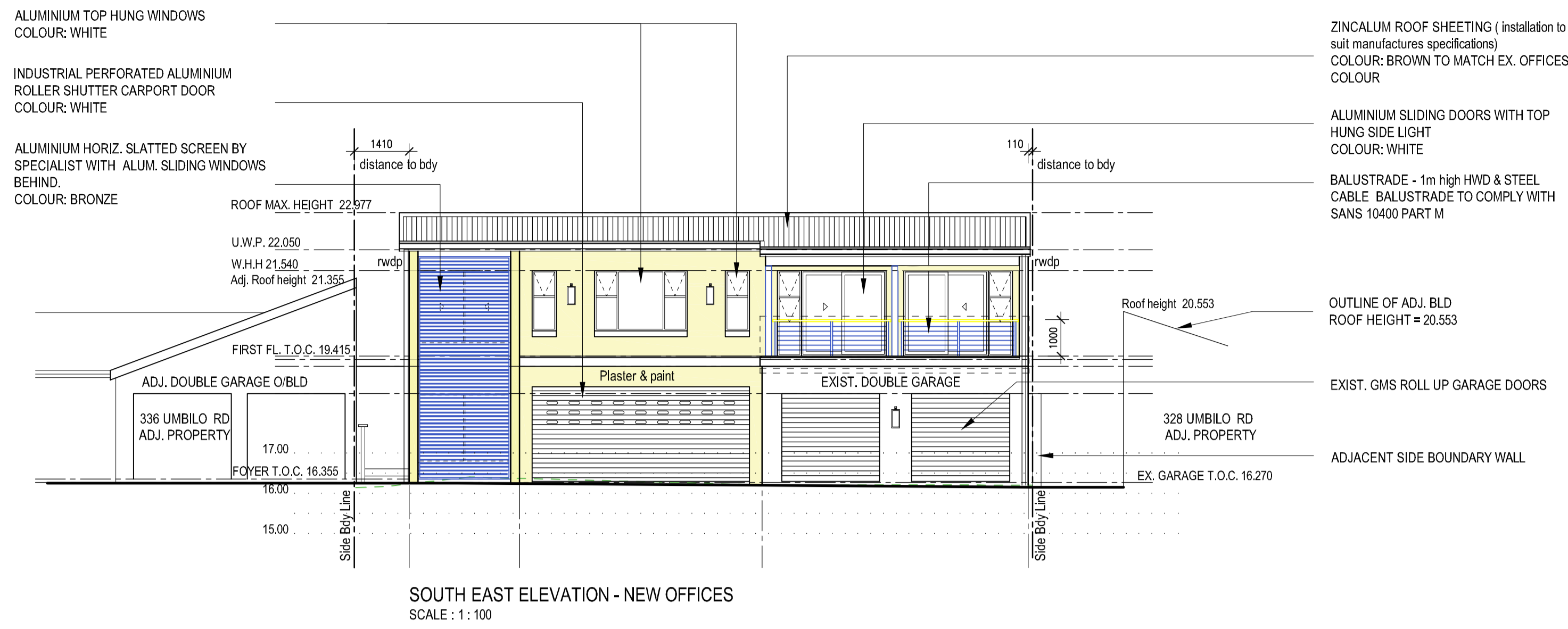
drawing no.	S101 rev. 1	date	OCT, 2022
scale	1:50	project no.	106
drawn	RBJ		

328 UMBILO RD
 EXIST. ADJ. OFFICE BLOCK

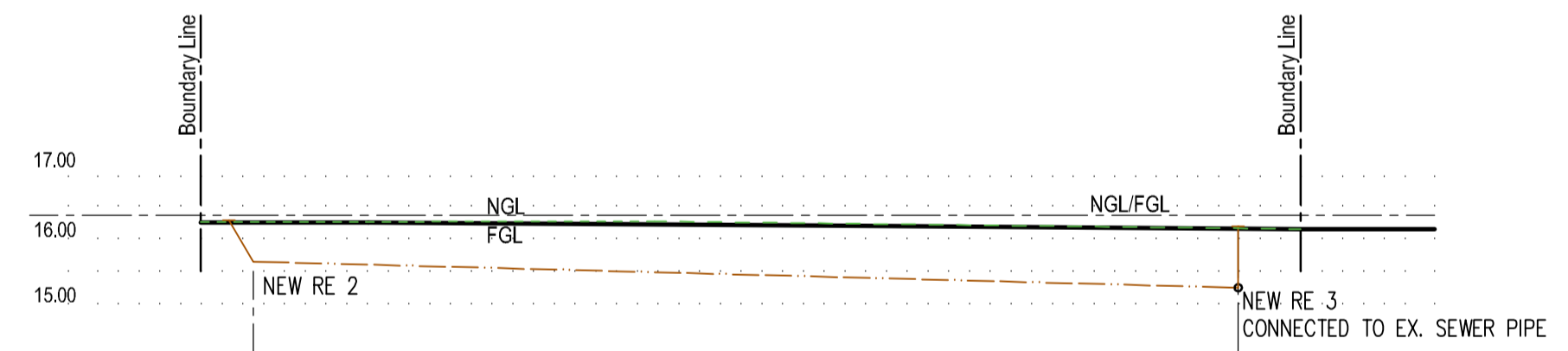
328 UMBILO RD
 EXIST. ADJ. OFFICES
 SINGLE STOREY

FIRST STOREY PLAN
 SCALE 1:50

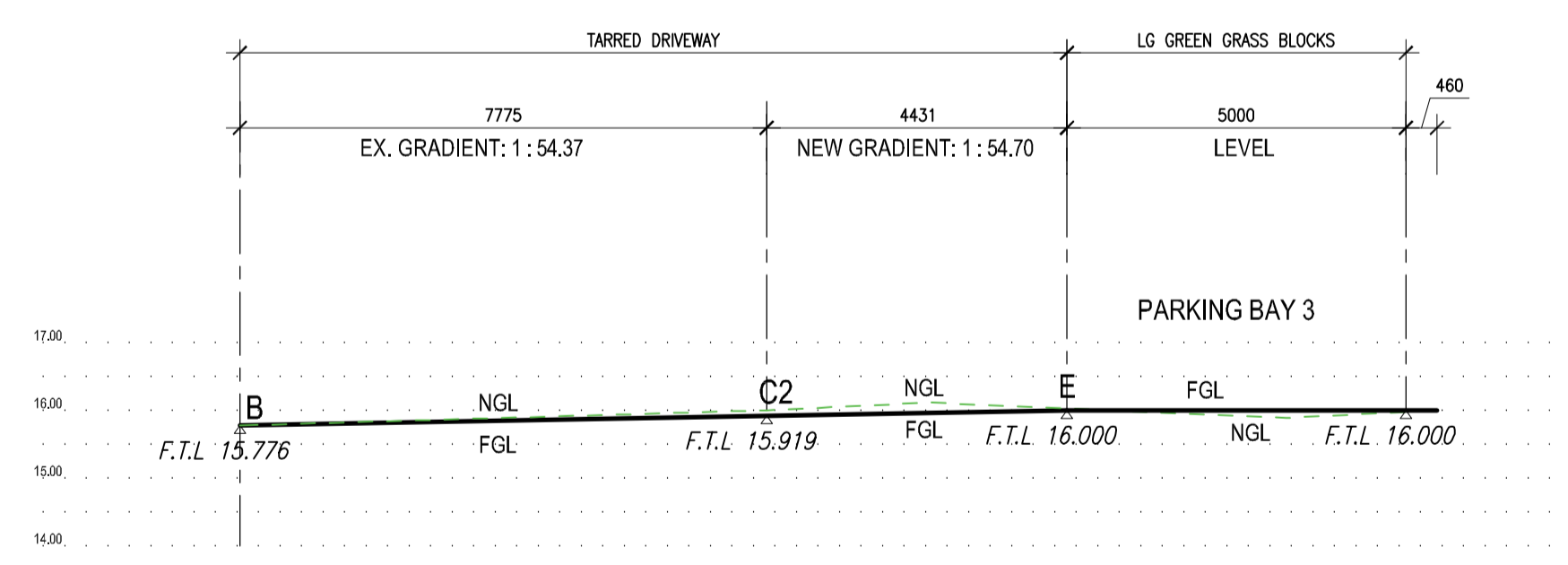
REV.	DATE	BY	REVISION
1	28.11.22	RBJ	1. AMAFA SUBMISSION



RE NO.	NEW RE 1	NEW RE 2
COVER LEVEL	16.610	16.250
INVERT LEVEL	15.800	15.650
DEPTH	0.810	0.600
DISTANCE/GRAD.	6.69m @ 1:44.60	
MATERIAL	100 Ø H.D uPVC SEWER PIPE	



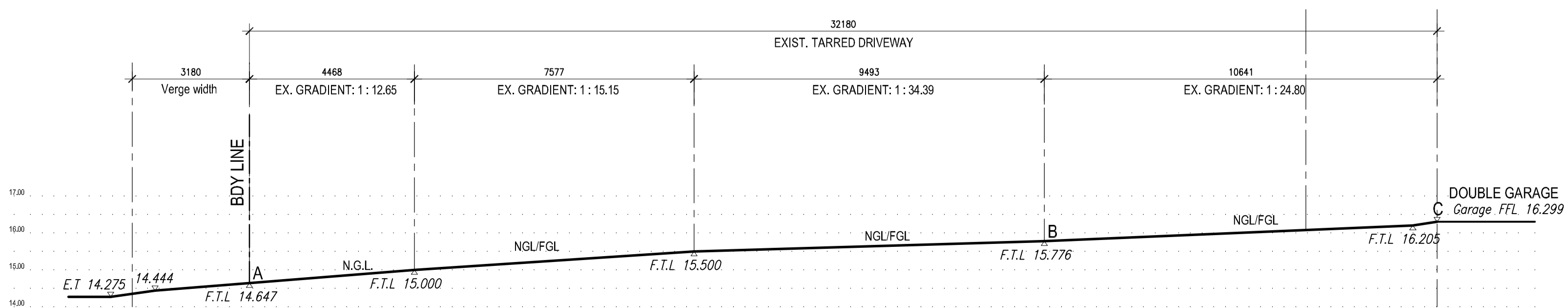
RE NO.	RE 2	NEW RE 3
COVER LEVEL	16.250	16.150
INVERT LEVEL	15.650	15.250
DEPTH	0.600	0.900
DISTANCE/GRAD.	15.475m @ 1:38.68	
MATERIAL	100 Ø H.D RIBBED uPVC SEWER PIPE	



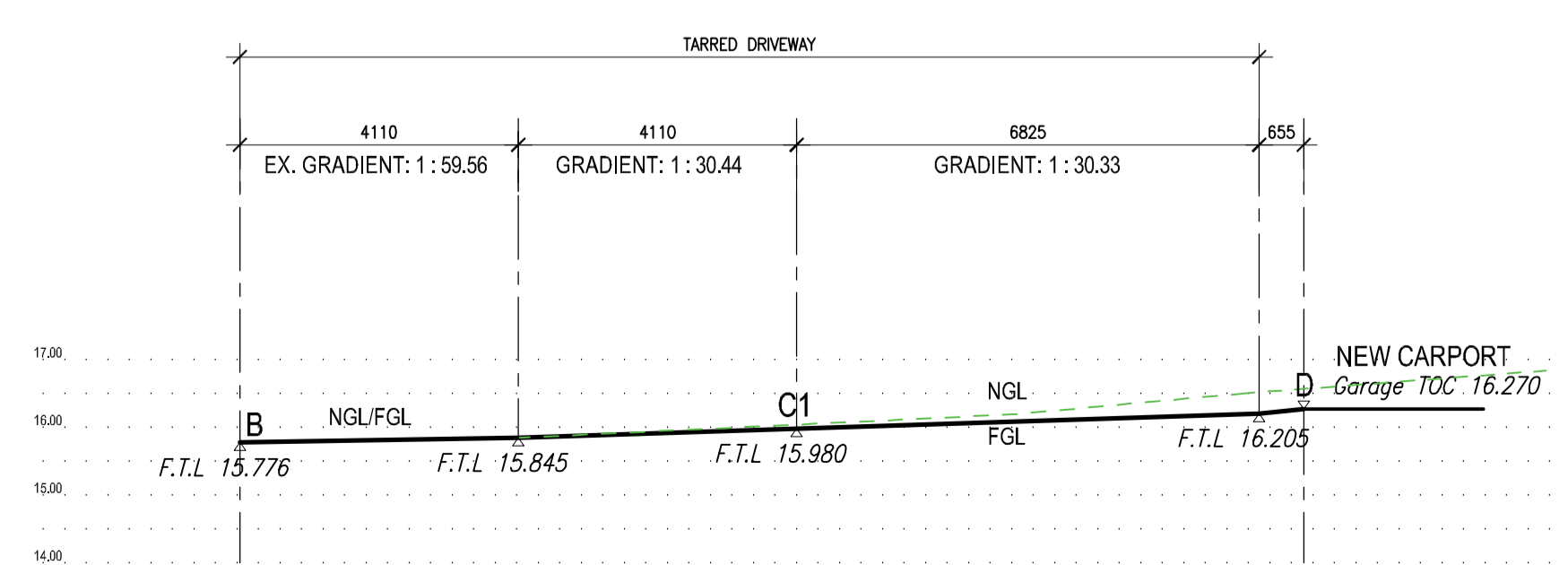
DRIVEWAY SECTION - B to E
SCALE 1 : 100

DRAINAGE SECTIONS - WEST ELEVATION
1 : 100
DRAINAGE TO COMPLY WITH SANS 10400 - PART P

DRAINAGE SECTIONS - SOUTH EAST ELEVATION
1 : 100
DRAINAGE TO COMPLY WITH SANS 10400 - PART P



DRIVEWAY SECTION - A, B to C
SCALE 1 : 100



DRIVEWAY SECTION - B to D
SCALE 1 : 100

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The Trustees of the COVENANT FAMILY TRUST
ERF 7292 DURBAN
332 UMBILO ROAD

drawing title
ELEVATIONS DRAINAGE SECTIONS
SCALE 1:100 : 1:50

Phase
BUILDING APPLICATION SET PHASE - AMAFA APPLICATION



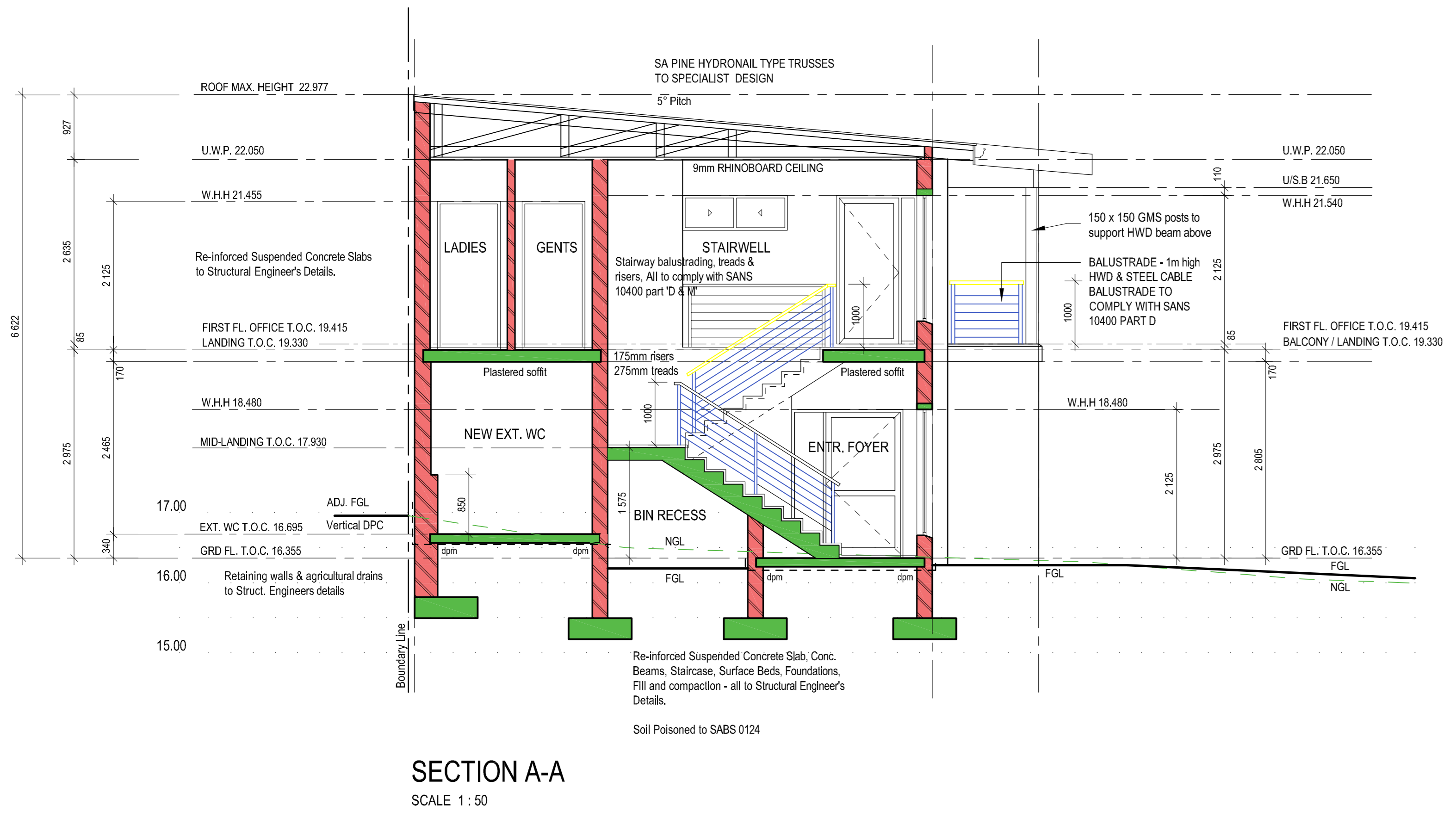
prof. senior arch. tech.
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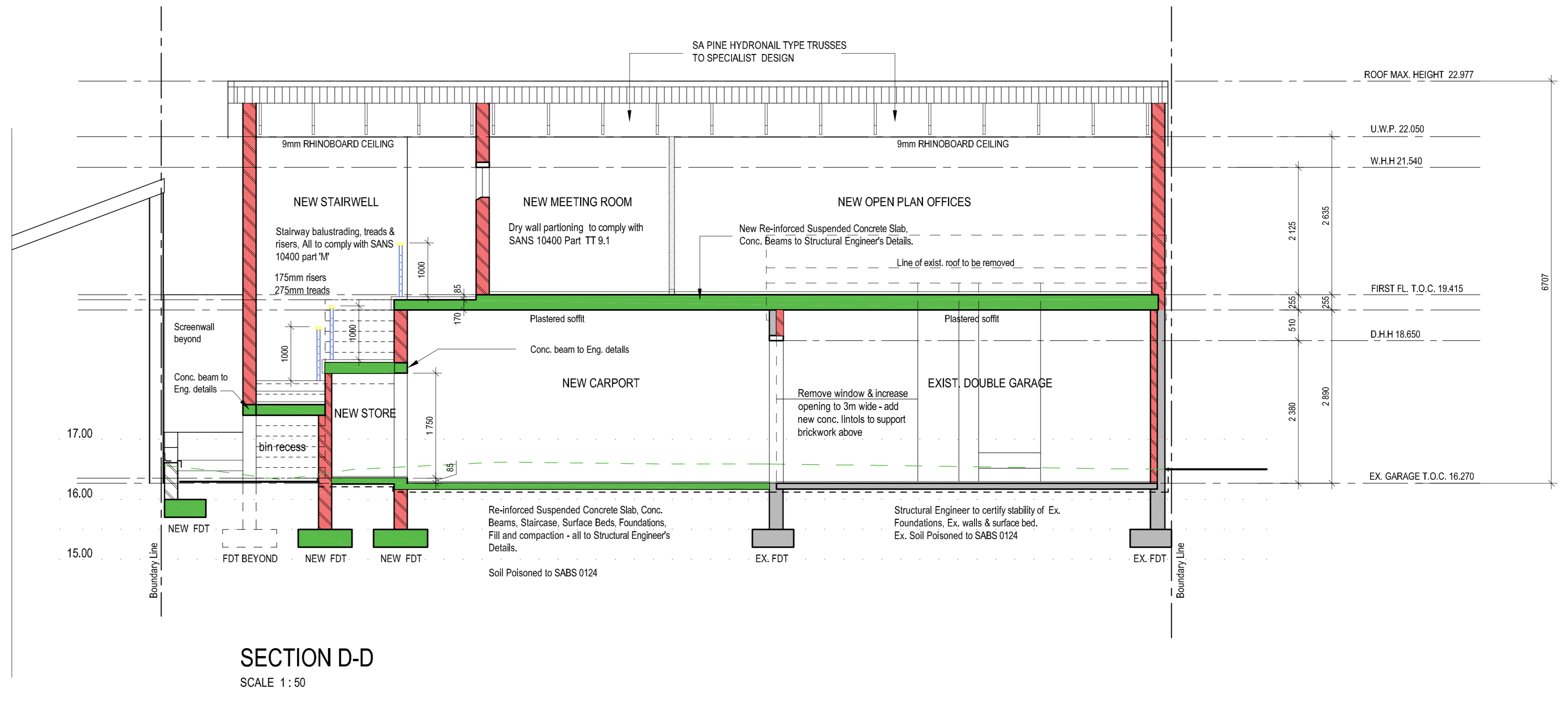
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drawing no.	S200 rev. 1	date	OCT, 2022
scale	1:100	project no.	106
drawn	RBJ		

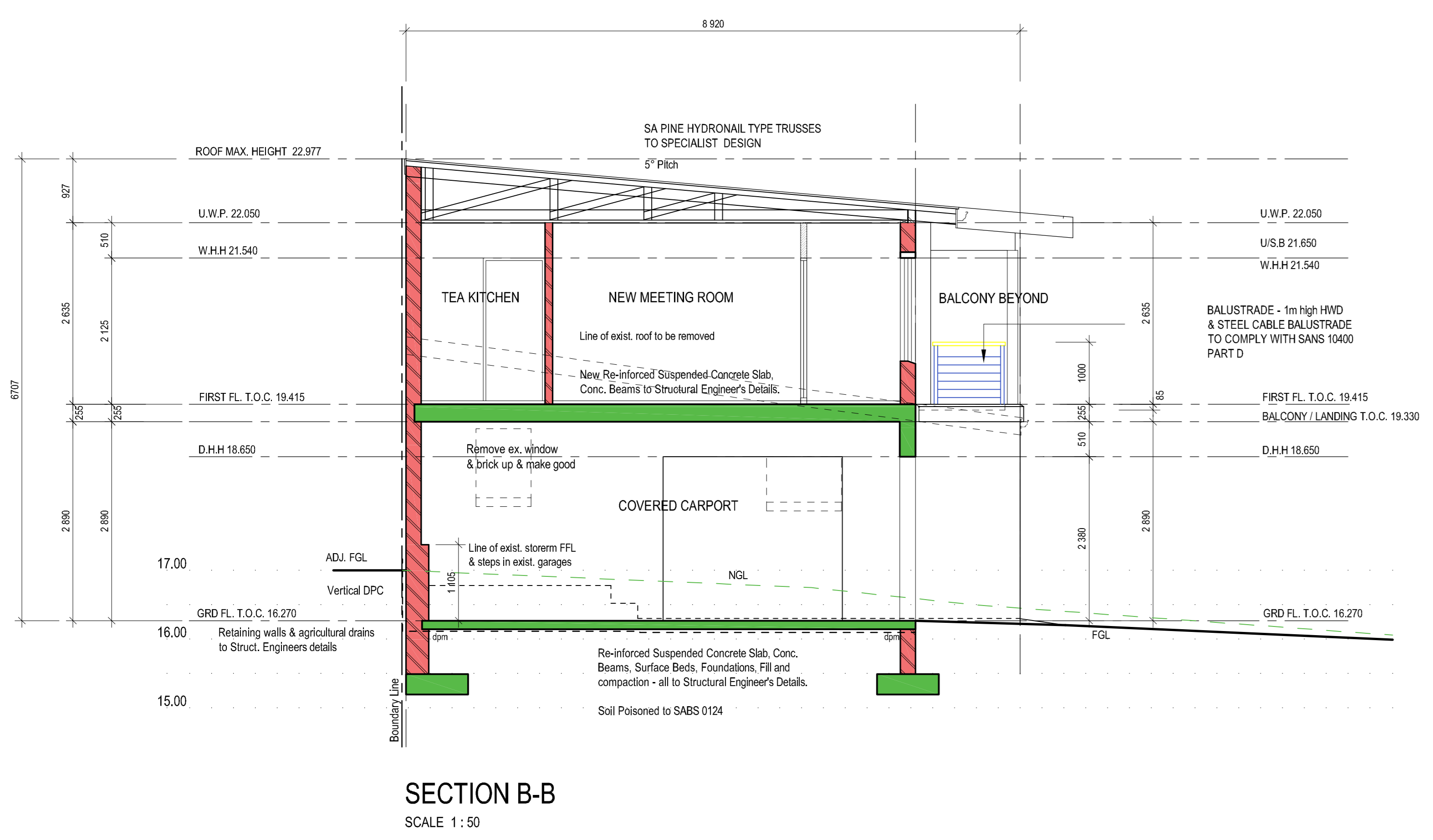
REV	DATE	BY	REVISION
1	28.11.22	RBJ	1. AMAFA SUBMISSION



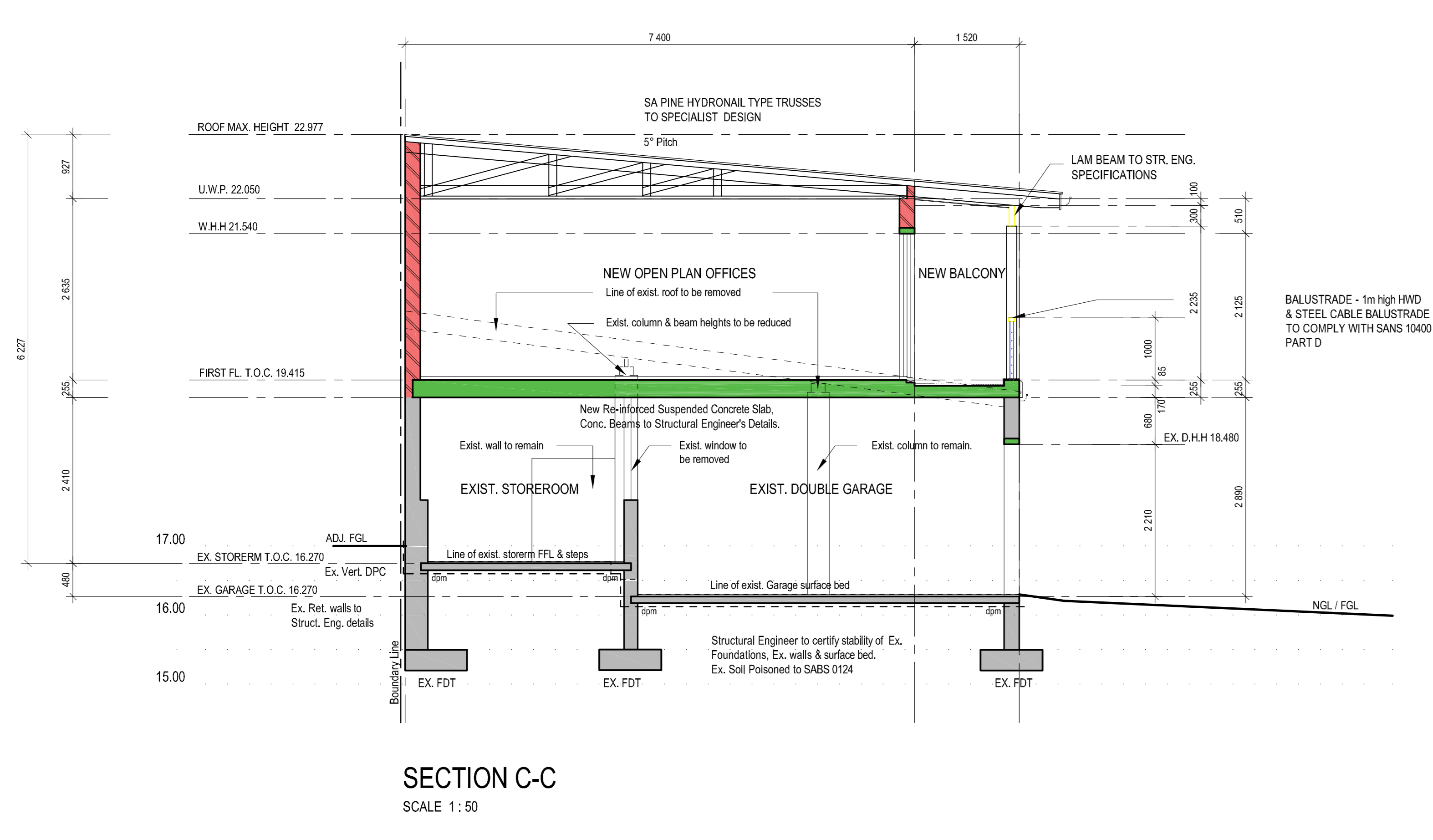
SECTION A-A
SCALE 1:50



SECTION D-D
SCALE 1:50



SECTION B-B
SCALE 1:50



SECTION C-C
SCALE 1:50

HARDWOOD DOOR SCHEDULE SCALE 1:50

DOOR TYPE REFERENCE	DOOR NO'S	TYPE 5	TYPE 6
TIMBER DOOR SCHEDULE	01	HARDWOOD DOOR AND FRAME SUPPLIED AND FITTED BY CONTRACTOR	SEMI SOLID FLUSH PANEL DOOR AND FRAME SUPPLIED AND FITTED BY CONTRACTOR
	02	DOOR SIZE: 813 wide X approx. 2032mm High x 40mm	DOOR SIZE: 813 wide X approx. 2032mm High x 40mm
DESCRIPTION		HARDWOOD ORDINARY ARRIS ROUNDED FRAME FRAME TO SUIT DOOR SIZE: 813 x approx. 2032 x 40mm	HARDWOOD ORDINARY ARRIS ROUNDED FRAME FRAME TO SUIT DOOR SIZE: 813 x approx. 2270 x 40mm
FINISHES		PRIME AND PAINT - APPLY ONE COAT UNIVERSAL UNDERCOAT & TWO COATS NON-DRIP ENAMEL	PRIME AND PAINT - APPLY ONE COAT UNIVERSAL UNDERCOAT & TWO COATS NON-DRIP ENAMEL
GLAZING		N/A	N/A
IRONMONGERY		TO BE CONFIRMED	TO BE CONFIRMED

CARPORT DOOR SCHEDULE SCALE 1:50

DOOR TYPE REFERENCE	DOOR NO'S	TYPE 7
INDUSTRIAL GARAGE DOOR SCHEDULE	01	INDUSTRIAL CARPORT DOOR AND AUTOMATION SUPPLIED AND FITTED BY TIMBERCON OR E.O. APPROVED
	02	DOOR SIZE: 5400mm wide X approx. 2380mm high
DESCRIPTION		AUTOMATED INDUSTRIAL ALUMINIUM "LAZAM" ROLLER SHUTTER PURPOSE MADE SECURITY CARPORT DOOR SUPPLIED BY TIMBERCON OR E.O. APPROVED
FINISHES		AS SUPPLIED BY TIMBERCON INDUSTRIAL ROLLER SHUTTER DOORS
GLAZING		N/A
IRONMONGERY		AS SUPPLIED BY TIMBERCON INDUSTRIAL ROLLER SHUTTER DOORS & SUPPLIER'S SPEC.

CONSTRUCTION NOTES:

- ROOF CONSTRUCTION:**
ZINCALUM OR EQUAL APPROVED HULETT ALUMINIUM 0.8mm GAUGE 3004 ALLOY 103 PROFILED ROOF SHEETING WITH BUTYLE TAPE SIDE LAP SEALANT & BARGE BOARD FLASHINGS.
ALL TO SABS 902-910 ON SUPER INSULATION 400mm MULTIPURPOSE UNDERLAY, ON 75x50mm SA PINE PURLINS @ MAX. 800mm C/C AT EAVES AND MAX. 1000mm C/C ON INTERMEDIATE SPANS, ON UNDERLAY ON 150 x 50 mm SA PINE TREATED TRUSSES IN ACCORDANCE WITH SABS 0190-1980 AND PART ONE OF SABS 0190-1980 TIED DOWN INTO BRICKWORK TO FOUR NO. COURSES WITH GALVANISED HOOP IRONS ON OUTER EXTENTS & BALCONY WITH LAM. BEAM TO STR. ENG. SPECS SUPPORTED ON 150 x 150 GMS POSTS & BOLTED TO CONCRETE UPSTAND TO ENG. DETAILS. PURPOSES MADE FASCAS & BARGEBOARDS TO SUIT FITTED TO RAFTERS & PURLINS.
- CEILINGS:**
75mm ISO THERM INSULATION BLANKET IN BETWEEN RAFTER TIES.
BALCONY CEILING: 12mm CELLULOSE CEILING BOARD SKIM PLASTERED FLUSH CEILING ON 38x38mm BRANDING AT CENTRES TO SUIT FITTED ON RAKE WITH 100mm STANDARD COVER CORNICE.
NEW OFFICES, STAIRWELL & ABUTIONS: SUSPENDED 9mm RHINOBOARD SKIM PLASTERED FLUSH CEILING ON 38 x 38mm BRANDING AT CENTRES TO SUIT WITH MOULDED CORNICES TO OWNERS CHOICE.
GROUND FLOOR CEILING BELOW SUSPENDED SLABS: SKIM PLASTER SLAB SOFFIT THROUGHOUT INCL. EXIST GARAGE & STORE ROOM AREA - NO CORNICES REQUIRED.
- RAINWATER GOODS:**
EXPOSED GUTTERFAST 150x85mm PROFILED ALUMINIUM SEAMLESS GUTTERS, BRACKETS, AND ACCESSORIES ALL TO MATCH EXISTING OFFICES.
100mm Ø PVC RAINWATER DOWNPIPES WHERE APPLICABLE.
- WALLS:**
BRICKWORK TO BE REINFORCED WITH BRICKWORK EVERY THREE COURSES UP TO WINDOW HEAD AND EVERY TWO COURSES ABOVE WINDOW HEAD TO WALL PLATE LEVEL.
DAMP PROOF COURSE (DPC) TO BE EMBOSSED GUNBLE BRICKGRIP 375 micron SABS 962-1969 TYPE B WELL TAPED AT ALL JOINTS AND INTERSECTIONS AND BEDDED AND JOINTED IN CEMENT MORTAR.
INTERNAL WALLS TO BE FINISHED IN A THREE COAT PLASTER FINISH.
ALL PLASTER TO BE APPROVED AND TESTED. PLASTER SAND WITH BLACK LABEL CEMENT AND Sika POWDER WATERPROOFING ADD MIXTURE TO ANY EXTERIOR PLASTER BANDS IF SPECIFIED.
- SURFACE BED:**
40-45mm TOTAL FLOOR FINISH INCLUDING SCREED ON A REINFORCED CONCRETE SURFACE BED AND FOUNDATIONS TO STRUCTURAL ENGINEERS DETAILS ON DAMP PROOF MEMBRANE (DPM) CONSISTING OF USB GREEN WATERPROOF SHEETING SABS 962-1969 TYPE C. SOIL POISONED TO SABS 0124.
- STRUCTURAL WORK:**
REINFORCED CONCRETE BEAMS, FOUNDATIONS, SURFACE BEDS & SUSPENDED SLABS, CONCRETE STAIRS & LANDINGS, RETAINING WALLS & AGRICULTURAL DRAINS ALL TO STRUCTURAL ENGINEERS DESIGN & SUBMITTED TO LOCAL AUTHORITY PRIOR TO COMMENCEMENT.
ALL TO SABS 1200 AND PART J OF SANS 10400/1990
- STAIRWAY AND BALUSTRADING:**
STAIRWAY & BALUSTRADING, TREADS & RISERS, ALL TO COMPLY WITH SANS 10400 PART D AND SANS 10400 PART M OF THE NATIONAL BUILDING REGULATIONS.
- NOTE FOR EXISTING DOUBLE GARAGE STRUCTURE:**
COMPETENT PERSON TO INSPECT & CERTIFY ALL STRUCTURAL ASPECTS INCLUDING THE STRUCTURAL STABILITY OF THE EXISTING GARAGES WALLS & FOUNDATIONS - ALL TO STRUCTURAL ENGINEERS DETAILED REQUIREMENTS & DESIGN.
- WATERPROOFING:**
ONE LAYER OF 375 MICRON CONSUL PLASTICS BRICKGRIP DPC EMBOSSED DAMPROOF COURSE UNDER WALLS AT SURFACE BED AND FLOOR LEVELS AND UNDER WINDOW CILLS.
ONE LAYER OF MIN. 250 MICRON WATERPROOF SHEETING LAID UNDER SURFACE BEDS & A DAMPROOF MEMBRANE (DPM).
SEAL AND POINT AROUND WINDOWS AND DOORS WITH POLYSULPHIDE SEALING COMPOUND.
- STORMWATER CONTROL:**
STORMWATER CONTROL & ATTENUATION TANK TO STRUCTURAL ENGINEERS DETAILS SUBMITTED TO LOCAL AUTHORITY PRIOR TO COMMENCEMENT.
- PLUMBING:**
ALL INTERNAL WATER PIPES TO BE COPPER. EXTERNAL WATER SUPPLY TO BE POLYCOCP.
SEWER PIPINGWORK TO BE UPVC WITH HIGH DENSITY BIPPED 4 PVC UNDER SURFACE BEDS, FOUNDATIONS AND DRIVEWAYS.
NO SEWER JUNCTION PERMITTED BELOW A CONCEALED FLOOR SLAB.
IES AT ALL JUNCTIONS BELOW SUSPENDED SLABS FOR FLOOR WES AND SEPERATE WC - ALL CONCEALED IN NEW SUSPENDED CEILING REFER TO SECTION C-C
ALL SEWER PIPE TO BE CONCEALED WITH ACCESS PANELS WHERE APPLICABLE AS NOTED.

OCCUPANCY CLASSIFICATION G1 - OFFICES

- WATER AND SANITARY PIPEWORK:**
CONCEALED PVC GULLIES TO LOCAL AUTHORITY APPROVAL.
ALL WATER AND SANITARY PIPEWORK ABOVE GROUND TO BE HIDDEN AS FAR AS POSSIBLE OR POSITIONED BY THE PLUMBER IN SUCH A MANNER THAT THE ELEVATIONS ARE NOT SPILT.
EXPOSED PIPEWORK TO BE KEPT TO A MINIMUM, AND WHERE EXPOSED MUST BE PAINTED TO MATCH EXISTING WALL SURFACE. THE USE OF STUB STACKS AND LOW LEVEL VENT VALVES ARE ENCOURAGED. SEWER AND STORMWATER CONNECTIONS TO BE CARRIED OUT IN STRICT ACCORDANCE WITH PART B R OF SABS 9400-1990.
SEWER AND STORMWATER CONNECTIONS TO BE EXPOSED BY THE CONTRACTOR AND TO BE VERIFIED BY THE DISTRICT BUILDING INSPECTOR PRIOR TO DRAINAGE WORK COMMENCING ON SITE.
- SOIL CONDITIONS:**
GEO TECH ENGINEERS TO PROVIDE GEO TECH REPORT AFTER SITE INVESTIGATIONS & TEST PITS HAVE BEEN CONDUCTED.
- LEVELS:**
ALL LEVELS & DIMENSIONS TO BE CHECKED PRIOR TO COMMENCEMENT.
ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE PROF. TECHNOLOGIST IN ORDER THAT CORRECTIONS CAN BE MADE IF NECESSARY.
- ALL WORKMANSHIP, INSTALLATION AND FINISHING PROCEDURES FOR CONCRETE, ALUMINIUM, PVC, MASONRY AND TIMBER MUST BE DONE IN ACCORDANCE WITH SABS CODES OF PRACTICE AND STANDARD PREAMBLE FOR WORKS.**
- ENDORSEMENTS:**
FLOORS TO COMPLY WITH SANS 10400/1990 - PART J
WALLS TO COMPLY WITH SANS 10400/1990 - PART K
ROOF TO COMPLY WITH SANS 10400/1990 - PART L
STAIRS TO COMPLY WITH SANS 10400/1990 - PART M
BALUSTRADING TO COMPLY WITH SANS 10400/1990 - PART MM
RETAINING WALLS TO COMPLY WITH SANS 10400/1990 - PART DD.2
GLAZING TO COMPLY WITH SANS 10400/1990 - PART N
DRAINAGE TO COMPLY WITH SANS 10400-1990 PART P
STORMWATER TO COMPLY WITH SANS 10400-1990 PART R
NATURAL LIGHTING TO COMPLY WITH SANS 10400-1990 PART O (MIN. 10% OF FLOOR AREA)
- FIRE PLANS - REFER TO DRAWINGS S 600 rev. 1 & S 601 rev. 1

Project: PROPOSED ADDITIONS & ALTERATIONS TO EXIST. OUTBUILDING WITH NEW COV. PARKING & CONVERSION thereof TO FIRST FLOOR OFFICES
The Trustees of the COVENANT FAMILY TRUST
ERF 7292 DURBAN
332 UMULO RD

Drawing title: SECTIONS A-A; B-B; C-C & D-D
HARDWOOD & GARAGE DOOR SCHEDULE
SCALE 1:50

Phase: BUILDING APPLICATION SET
PHASE - AMAFA APPLICATION

RBJ
RESIDENTIAL ARCHITECTURE
RITA JOSEPH
Tel: 084 510 3919
For Bespoke Homes
email: ritaj@rjb.co.za

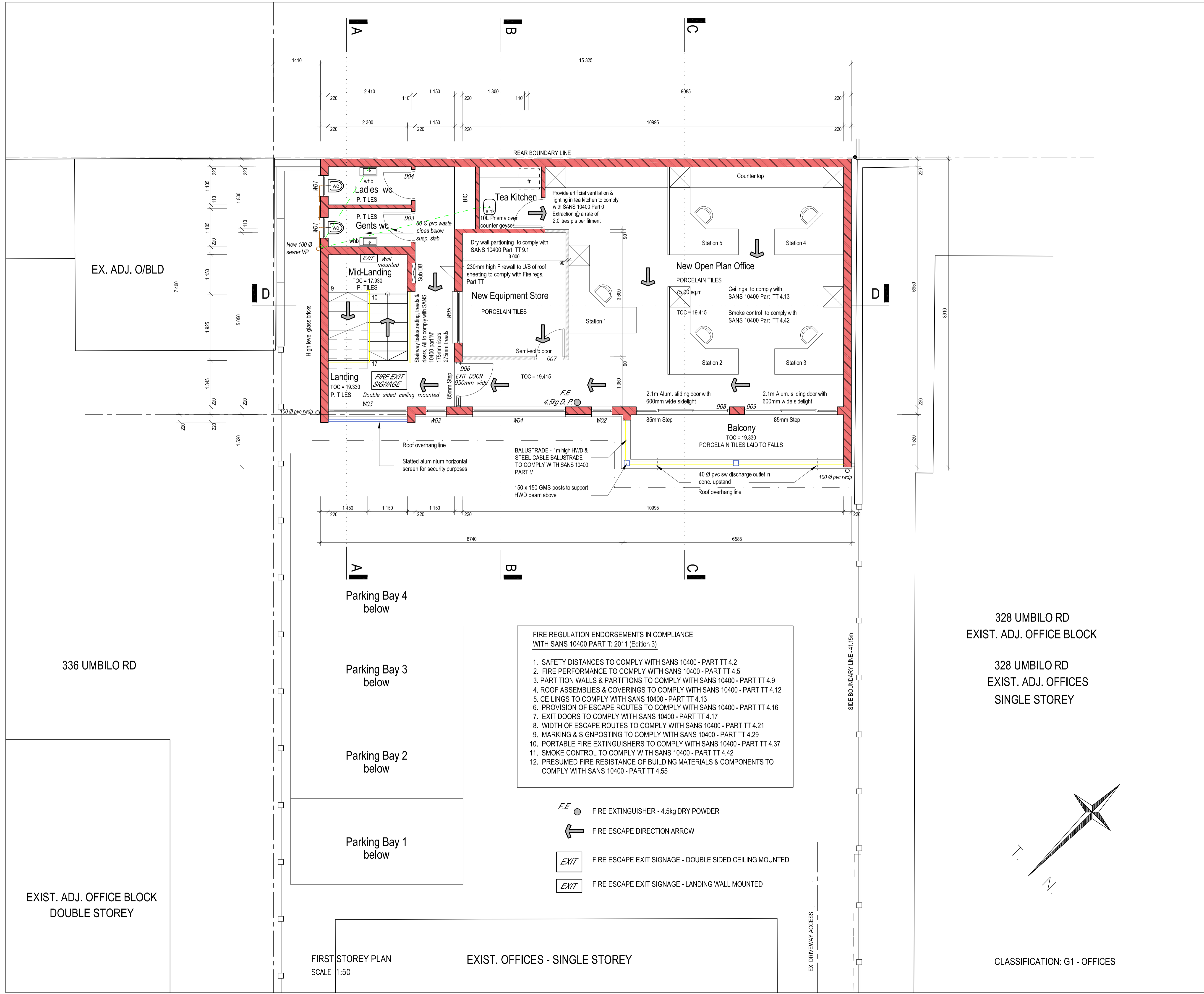
prof. senior arch. tech.
SACAP Reg. ST 2293
44 Frederick Ave.
Morburnhopp Park
Durban
031-466 3841

owner:

All dimensions and levels are to be checked on site prior to commencement of construction. Figure dimensions are to be taken in preference to scaling off the drawing. Any discrepancies are to be reported to the Prof. Technologist.

drawing no. S300 rev. 1 date OCT 2022
scale 1:50 project no
drawn RBJ 106

REV.	DATE	BY	REVISION
1	28.11.22	RBJ	1. AMAFA SUBMISSION



- FIRE REGULATION ENDORSEMENTS IN COMPLIANCE WITH SANS 10400 PART T: 2011 (Edition 3)**
1. SAFETY DISTANCES TO COMPLY WITH SANS 10400 - PART TT 4.2
 2. FIRE PERFORMANCE TO COMPLY WITH SANS 10400 - PART TT 4.5
 3. PARTITION WALLS & PARTITIONS TO COMPLY WITH SANS 10400 - PART TT 4.9
 4. ROOF ASSEMBLIES & COVERINGS TO COMPLY WITH SANS 10400 - PART TT 4.12
 5. CEILINGS TO COMPLY WITH SANS 10400 - PART TT 4.13
 6. PROVISION OF ESCAPE ROUTES TO COMPLY WITH SANS 10400 - PART TT 4.16
 7. EXIT DOORS TO COMPLY WITH SANS 10400 - PART TT 4.17
 8. WIDTH OF ESCAPE ROUTES TO COMPLY WITH SANS 10400 - PART TT 4.21
 9. MARKING & SIGNPOSTING TO COMPLY WITH SANS 10400 - PART TT 4.29
 10. PORTABLE FIRE EXTINGUISHERS TO COMPLY WITH SANS 10400 - PART TT 4.37
 11. SMOKE CONTROL TO COMPLY WITH SANS 10400 - PART TT 4.42
 12. PRESUMED FIRE RESISTANCE OF BUILDING MATERIALS & COMPONENTS TO COMPLY WITH SANS 10400 - PART TT 4.55

- FIRE EXTINGUISHER - 4.5kg DRY POWDER
- FIRE ESCAPE DIRECTION ARROW
- FIRE ESCAPE EXIT SIGNAGE - DOUBLE SIDED CEILING MOUNTED
- FIRE ESCAPE EXIT SIGNAGE - LANDING WALL MOUNTED

FIREPLAN

Project
PROPOSED ADDITIONS & ALTERATIONS TO EXIST. OUTBUILDING WITH NEW COV. PARKING & CONVERSION thereof TO FIRST FLOOR OFFICES
The Trustees of the COVENANT FAMILY TRUST
 ERF 7292 DURBAN
 332 UMBILO ROAD

drawing title
**FIRST STOREY PLAN
 FIRE PLAN**
 SCALE 1:50

Phase
**BUILDING APPLICATION SET
 PHASE - AMAFA APPLICATION**



prof. senior arch. tech.
 SACAP Reg: ST 2293
 44 Frederick Ave,
 Marlborough Park
 Durban 4052
 031- 466 3841

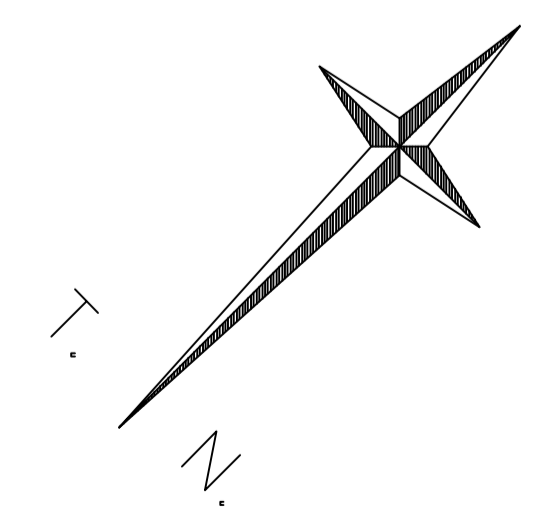
owner

All dimensions and levels are to be checked on site prior to commencement of construction. Figured dimensions are to be taken in preference to scaling off the drawing. Any discrepancies are to be reported to the Prof. Technologist.

drawing no.	S601 rev. 1	date	OCT, 2022
scale	1:50	project no.	106
drawn	RBJ		

328 UMBILO RD
 EXIST. ADJ. OFFICE BLOCK

328 UMBILO RD
 EXIST. ADJ. OFFICES
 SINGLE STOREY



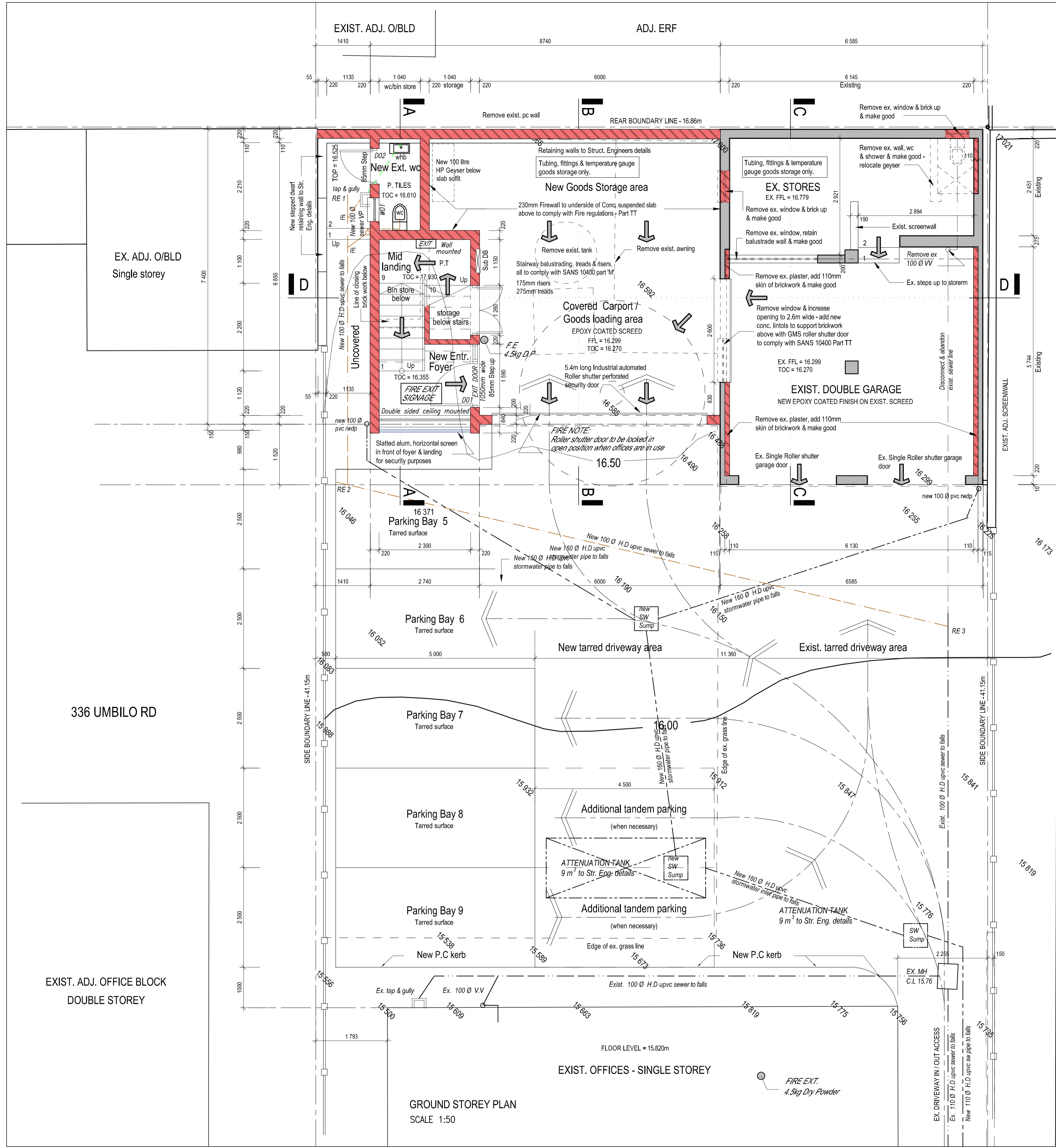
CLASSIFICATION: G1 - OFFICES

FIRST STOREY PLAN
 SCALE 1:50

EXIST. OFFICES - SINGLE STOREY

EX. DRIVEWAY ACCESS

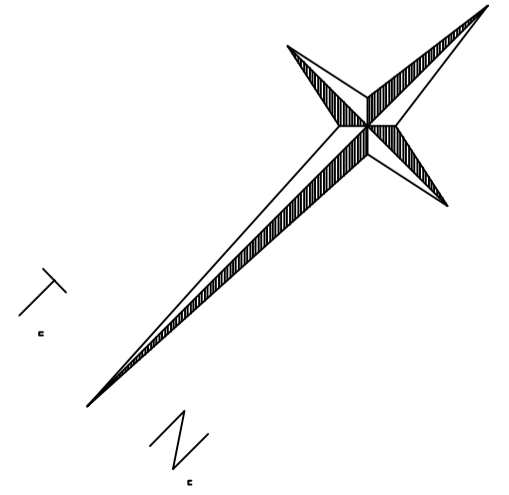
REV.	DATE	BY	REVISION
1	28.11.22	RBJ	1. AMAFA SUBMISSION



- FIRE EXTINGUISHER - 4.5kg DRY POWDER
- FIRE ESCAPE DIRECTION ARROW
- FIRE ESCAPE EXIT SIGNAGE - DOUBLE SIDED CEILING MOUNTED
- FIRE ESCAPE EXIT SIGNAGE - LANDING WALL MOUNTED

- FIRE REGULATION ENDORSEMENTS IN COMPLIANCE WITH SANS 10400 PART T: 2011 (Edition 3)**
- SAFETY DISTANCES TO COMPLY WITH SANS 10400 - PART TT 4.2
 - FIRE PERFORMANCE TO COMPLY WITH SANS 10400 - PART TT 4.5
 - PARTITION WALLS & PARTITIONS TO COMPLY WITH SANS 10400 - PART TT 4.9
 - ROOF ASSEMBLIES & COVERINGS TO COMPLY WITH SANS 10400 - PART TT 4.12
 - CEILINGS TO COMPLY WITH SANS 10400 - PART TT 4.13
 - PROVISION OF ESCAPE ROUTES TO COMPLY WITH SANS 10400 - PART TT 4.16
 - EXIT DOORS TO COMPLY WITH SANS 10400 - PART TT 4.17
 - WIDTH OF ESCAPE ROUTES TO COMPLY WITH SANS 10400 - PART TT 4.21
 - MARKING & SIGNPOSTING TO COMPLY WITH SANS 10400 - PART TT 4.29
 - PORTABLE FIRE EXTINGUISHERS TO COMPLY WITH SANS 10400 - PART TT 4.37
 - SMOKE CONTROL TO COMPLY WITH SANS 10400 - PART TT 4.42
 - PRESUMED FIRE RESISTANCE OF BUILDING MATERIALS & COMPONENTS TO COMPLY WITH SANS 10400 - PART TT 4.55

328 UMBILO RD
EXIST. ADJ. OFFICES
SINGLE STOREY



CLASSIFICATION: G1 - OFFICES

FIREPLAN

Project
PROPOSED ADDITIONS & ALTERATIONS TO EXIST. OUTBUILDING WITH NEW COV. PARKING & CONVERSION thereof TO FIRST FLOOR OFFICES
The Trustees of the COVENANT FAMILY TRUST
ERF 7292 DURBAN
332 UMBILO ROAD

drawing title
**GROUND STOREY PLAN
FIRE PLAN**
SCALE 1:50

Phase
**BUILDING APPLICATION SET
PHASE - AMAFA APPLICATION**

RbJ
RESIDENTIAL ARCHITECTURE
RITA JOSEPH
Tel: 084 510 3919
For Bespoke Homes
email: rita@stda.co.za

prof. senior arch. tech.
SACAP Reg: ST 2293
44 Frederick Ave,
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Durban 4052
031- 466 3841

owner

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drawing no.	S600 rev. 1	date	OCT, 2022
scale	1:50	project no.	106
drawn	RBJ		

336 UMBILO RD

EXIST. ADJ. OFFICE BLOCK
DOUBLE STOREY

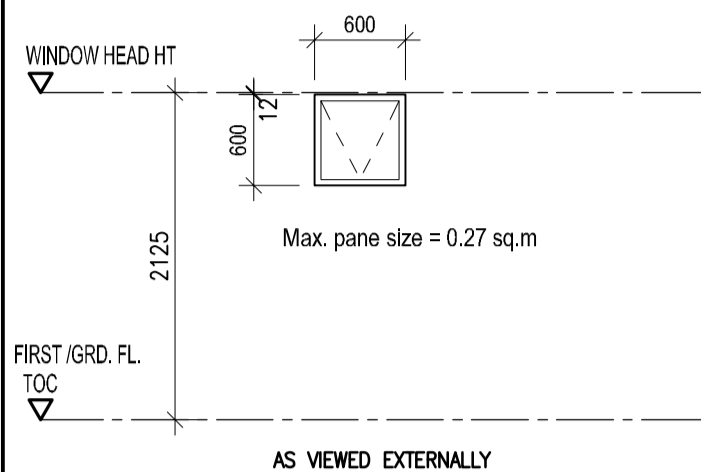
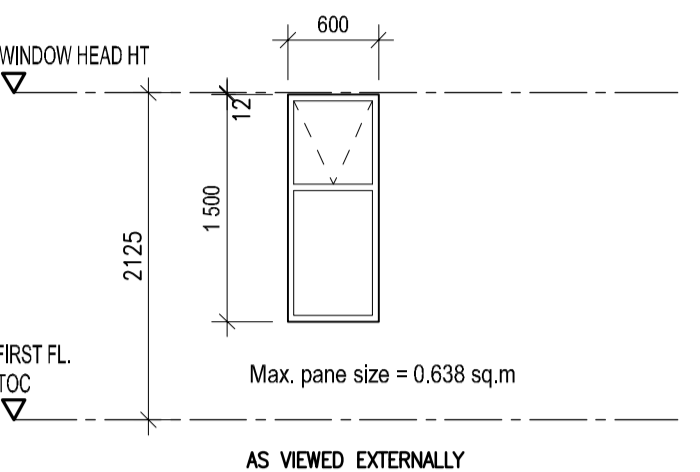
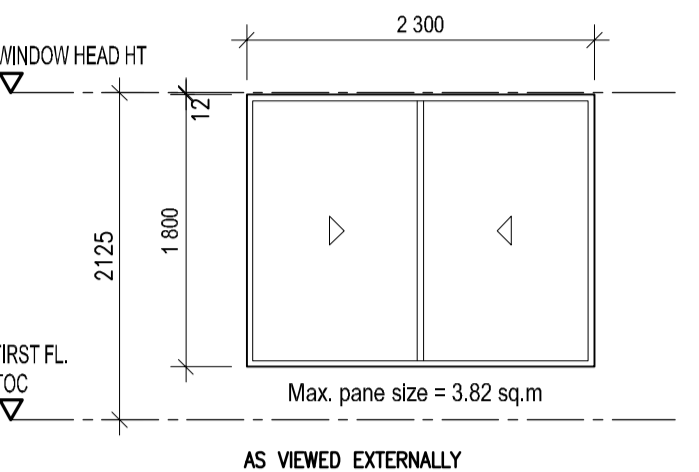
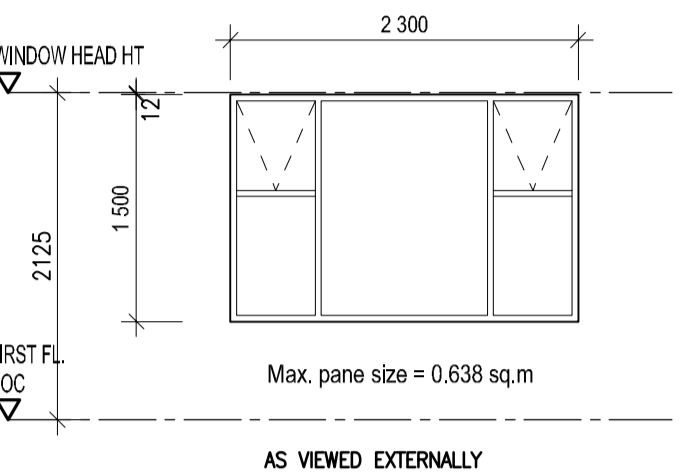
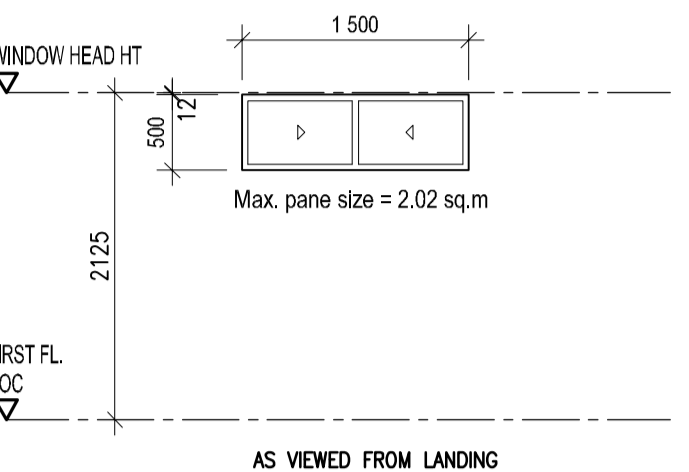
GROUND STOREY PLAN
SCALE 1:50

EXIST. OFFICES - SINGLE STOREY

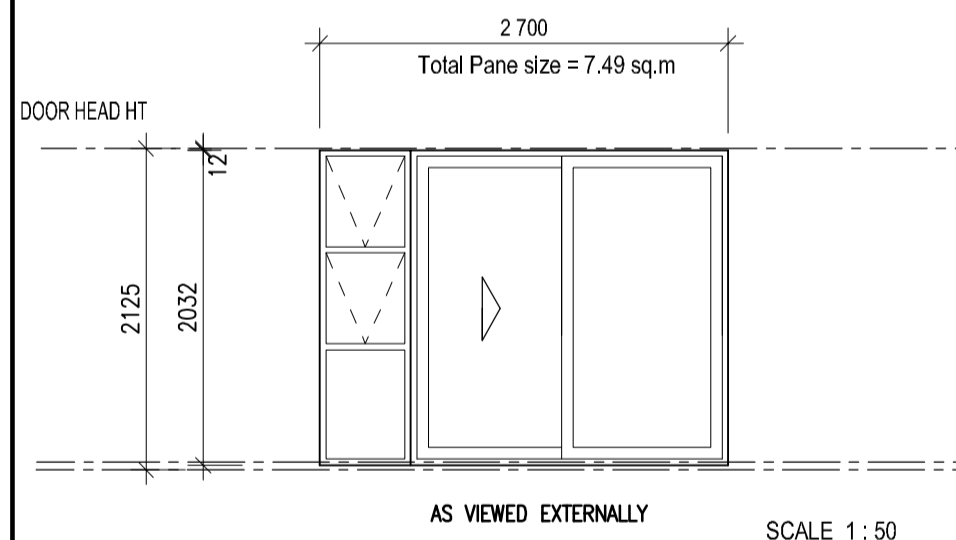
FLOOR LEVEL = 15.820m

ALUMINIUM WINDOW SCHEDULE - SCALE 1:50

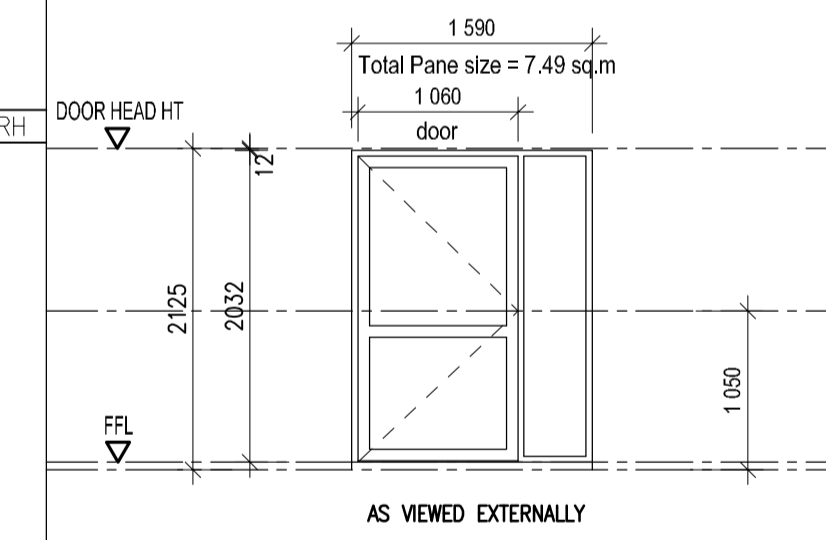
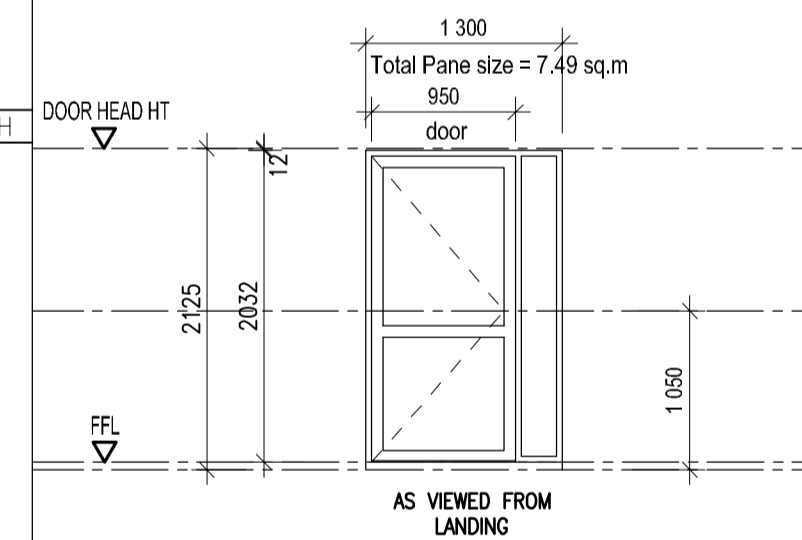
REV.	DATE	BY	REVISION
1	02.11.22	RBJ	1. AMAFA SUBMISSION

WINDOW TYPE REFERENCE	W01	W02	W03	W04	W05
ALUMINIUM WINDOW SCHEDULE	ALUMINIUM WINDOWS MANUFACTURED, SUPPLIED AND FITTED BY SPECIALIST ALL FINISHED OPENINGS TO BE CHECKED AND MEASURED ON SITE PRIOR TO MANUFACTURE OF ANY WINDOWS AND DOORS 	ALUMINIUM WINDOWS MANUFACTURED, SUPPLIED AND FITTED BY SPECIALIST ALL FINISHED OPENINGS TO BE CHECKED AND MEASURED ON SITE PRIOR TO MANUFACTURE OF ANY WINDOWS AND DOORS 	ALUMINIUM WINDOWS MANUFACTURED, SUPPLIED AND FITTED BY SPECIALIST ALL FINISHED OPENINGS TO BE CHECKED AND MEASURED ON SITE PRIOR TO MANUFACTURE OF ANY WINDOWS AND DOORS 	ALUMINIUM WINDOWS MANUFACTURED, SUPPLIED AND FITTED BY SPECIALIST ALL FINISHED OPENINGS TO BE CHECKED AND MEASURED ON SITE PRIOR TO MANUFACTURE OF ANY WINDOWS AND DOORS 	ALUMINIUM WINDOWS MANUFACTURED, SUPPLIED AND FITTED BY SPECIALIST ALL FINISHED OPENINGS TO BE CHECKED AND MEASURED ON SITE PRIOR TO MANUFACTURE OF ANY WINDOWS AND DOORS 
QUANTITY	3(THREE) OFF - W01	2(TWO) OFF - W02	2(TWO) OFF - W03	1(ONE) OFF - W04	1(ONE) OFF - W04
DESCRIPTION	STANDARD ALUMINIUM TOP HUNG WINDOWS, SCREW AND PLUG FIXED TO REVEALS WITH EXTRUDED ALUMINIUM BEADING TO MATCH RUBBER GLAZING SEAL.	PURPOSE MADE ALUMINIUM TOP HUNG WINDOWS, SCREW AND PLUG FIXED TO REVEALS WITH EXTRUDED ALUMINIUM BEADING TO MATCH RUBBER GLAZING SEAL.	PURPOSE MADE ALUMINIUM HORIZONTAL SLIDING WINDOWS, SCREW AND PLUG FIXED TO REVEALS WITH EXTRUDED ALUMINIUM BEADING TO MATCH RUBBER GLAZING SEAL.	PURPOSE MADE ALUMINIUM TOP HUNG WINDOWS, SCREW AND PLUG FIXED TO REVEALS WITH EXTRUDED ALUMINIUM BEADING TO MATCH RUBBER GLAZING SEAL.	PURPOSE MADE ALUMINIUM HORIZONTAL SLIDING WINDOWS, SCREW AND PLUG FIXED TO REVEALS WITH EXTRUDED ALUMINIUM BEADING TO MATCH RUBBER GLAZING SEAL.
FRAME SIZE	TO SUIT WINDOW AS SUPPLIED BY MANUFACTURER SIZE: APPROX. 600MM WIDE x 600MM HEIGHT OVERALL	TO SUIT WINDOW AS SUPPLIED BY MANUFACTURER SIZE: APPROX. 600MM WIDE x 1500MM HEIGHT OVERALL	TO SUIT WINDOW AS SUPPLIED BY MANUFACTURER SIZE: APPROX. 2300MM WIDE x 1800MM HEIGHT OVERALL	TO SUIT WINDOW AS SUPPLIED BY MANUFACTURER SIZE: APPROX. 2300MM WIDE x 1500MM HEIGHT OVERALL	TO SUIT WINDOW AS SUPPLIED BY MANUFACTURER SIZE: APPROX. 1500MM WIDE x 500MM HEIGHT OVERALL
FINISHES	WHITE EPOXY COATED	WHITE EPOXY COATED	WHITE EPOXY COATED	WHITE EPOXY COATED	WHITE EPOXY COATED
IRONMONGERY	AS SUPPLIED BY MANUFACTURER	AS SUPPLIED BY MANUFACTURER	AS SUPPLIED BY MANUFACTURER	AS SUPPLIED BY MANUFACTURER	AS SUPPLIED BY MANUFACTURER
GLAZING	4mm thick CLEAR FROSTED MONOLITHIC ANNEALED GLASS TO COMPLY WITH SANS 10400 XA COMPLIANCE REGULATIONS	6mm thick LOW E TOUGHENED SAFETY GLASS TO COMPLY WITH SANS 10400 XA COMPLIANCE REGULATIONS	6mm thick LOW E TOUGHENED SAFETY GLASS TO COMPLY WITH SANS 10400 XA COMPLIANCE REGULATIONS	6mm thick LOW E TOUGHENED SAFETY GLASS TO COMPLY WITH SANS 10400 XA COMPLIANCE REGULATIONS	5mm thick LOW E TOUGHENED SAFETY GLASS TO COMPLY WITH SANS 10400 XA COMPLIANCE REGULATIONS
CILLS	TO CLIENT / BUILDER DETAILS	TO CLIENT / BUILDER DETAILS	TO CLIENT / BUILDER DETAILS	TO CLIENT / BUILDER DETAILS	TO CLIENT / BUILDER DETAILS
GENERAL	SILICONE SEAL AROUND WINDOW TO DETAIL AND ARCHITECT'S APPROVAL/SPECIFICATION	SILICONE SEAL AROUND WINDOW TO DETAIL AND ARCHITECT'S APPROVAL/SPECIFICATION	SILICONE SEAL AROUND WINDOW TO DETAIL AND ARCHITECT'S APPROVAL/SPECIFICATION	SILICONE SEAL AROUND WINDOW TO DETAIL AND ARCHITECT'S APPROVAL/SPECIFICATION	SILICONE SEAL AROUND WINDOW TO DETAIL AND ARCHITECT'S APPROVAL/SPECIFICATION

ALUM. SLIDING DOOR SCHED. SCALE 1:50

DOOR TYPE REFERENCE	TYPE 1
ALUMINIUM SLIDING DOOR SCHEDULE	ALUMINIUM DOORS MANUFACTURED, SUPPLIED AND FITTED BY SPECIALIST ALL FINISHED OPENINGS TO BE CHECKED AND MEASURED ON SITE PRIOR TO MANUFACTURE OF ANY WINDOWS AND DOORS 
QUANTITY	02 (TWO) OFF - D08, D09
DESCRIPTION	STANDARD ALUMINIUM DOUBLE SLIDING DOORS COUPLED WITH 600 TOP HUNG SIDE LIGHTS, SCREW AND PLUG FIXED TO REVEALS WITH EXTRUDED ALUMINIUM BEADING TO MATCH RUBBER GLAZING SEAL.
FRAME SIZE	TO SUIT DOOR AS SUPPLIED BY MANUFACTURER, SIZE: APPROX. 2100mm WIDE x 2125mm HGHT O/A COUPLED TO 600mm WIDE SIDE LIGHT WITH TOP HUNG WINDOWS
FINISHES	WHITE EPOXY COATED
IRONMONGERY	AS SUPPLIED BY MANUFACTURER - TO BE APPROVED BY CLIENT
GLAZING	6mm thick LOW E TOUGHENED SAFETY GLASS TO COMPLY WITH SANS 10400 XA COMPLIANCE REGULATIONS
THRESHOLD	TO ARCHITECT DETAILS
GENERAL	SILICONE SEAL AROUND DOORS TO DETAIL & ARCHITECT'S APPROVAL/SPECIFICATION

ALUM. SINGLE DOOR SCHEDULE. SCALE 1:50

DOOR TYPE REFERENCE	DOOR NO'S	TYPE 2	DOOR NO'S	TYPE 3
ALUMINIUM SINGLE DOOR SCHEDULE	LH 001	ALUMINIUM DOORS MANUFACTURED, SUPPLIED AND FITTED BY SPECIALIST ALL FINISHED OPENINGS TO BE CHECKED AND MEASURED ON SITE PRIOR TO MANUFACTURE OF ANY WINDOWS AND DOORS 	LH 002	ALUMINIUM DOORS MANUFACTURED, SUPPLIED AND FITTED BY SPECIALIST ALL FINISHED OPENINGS TO BE CHECKED AND MEASURED ON SITE PRIOR TO MANUFACTURE OF ANY WINDOWS AND DOORS 
QUANTITY	01 (ONE) OFF - D01		01 (ONE) OFF - D06	
DESCRIPTION	PURPOSE MADE ALUM. EXTRA WIDE SINGLE DOOR WITH SIDELIGHT, SCREW AND PLUG FIXED TO REVEALS WITH EXTRUDED ALUMINIUM BEADING TO MATCH RUBBER GLAZING SEAL.		PURPOSE MADE ALUM. EXTRA WIDE SINGLE DOOR WITH SIDELIGHT, SCREW AND PLUG FIXED TO REVEALS WITH EXTRUDED ALUMINIUM BEADING TO MATCH RUBBER GLAZING SEAL.	
FRAME SIZE	TO SUIT DOOR & SIDE LIGHT AS SUPPLIED BY MANUFACTURER SIZE: OVERALL 1590MM WIDE x 2125MM HEIGHT OVERALL		TO SUIT DOOR & SIDE LIGHT AS SUPPLIED BY MANUFACTURER SIZE: OVERALL 1300MM WIDE x 2125MM HEIGHT OVERALL	
FINISHES	WHITE EPOXY COATED		WHITE EPOXY COATED	
IRONMONGERY	AS SUPPLIED BY MANUFACTURER - TO BE APPROVED BY CLIENT		AS SUPPLIED BY MANUFACTURER - TO BE APPROVED BY CLIENT	
GLAZING	6mm thick LOW E TOUGHENED SAFETY GLASS TO COMPLY WITH SANS 10400 XA COMPLIANCE REGULATIONS		6mm thick LOW E TOUGHENED SAFETY GLASS TO COMPLY WITH SANS 10400 XA COMPLIANCE REGULATIONS	
THRESHOLD	TO ARCHITECT DETAILS		TO ARCHITECT DETAILS	
GENERAL	SILICONE SEAL AROUND DOORS TO DETAIL & ARCHITECT'S APPROVAL/SPECIFICATION		SILICONE SEAL AROUND DOORS TO DETAIL & ARCHITECT'S APPROVAL/SPECIFICATION	

NOTES FOR SANS 10400 PART XA

NOTE: OFFICES AIRCONDITIONED WITH MID-WALL SPLIT UNITS
ALL WINDOWS / SLIDING DOORS AND INSTALLATION TO COMPLY WITH SANS 10400 AND NBR
ALL WINDOWS TO BE SABS APPROVED
WINDOW MANUFACTURER TO ISSUE COMPLIANCE CERTIFICATE
WINDOW/SLIDING DOOR MANUFACTURE AND INSTALLER TO ENSURE THAT AIR LEAKAGE REQUIREMENTS COMPLY WITH SANS 10400 PART XA AND NBR

ALL FENESTRATION SHALL BE IN ACCORDANCE WITH SANS 613 WHICH PROVIDES FOR FENESTRATION PRODUCTS TO MEET A MINIMUM AIR LEAKAGE REQUIREMENT OF 2.0L/m²/s
MANUFACTURERS TO SUPPLY CERTIFICATION

NOTE:
ALL BRICK OPENING SIZES FOR DOORS TO BE SPECIFIED BY THE APPOINTED JOINERY SPECIALIST TO SUIT DOOR & FRAME DETAILS APPROVED BY THE CONTRACTOR / OWNER

NOTE: ALL BRICK OPENINGS TO BE CHECKED ON SITE PRIOR TO MANUFACTURE OF ANY ALUMINIUM OR HARDWOOD WINDOWS & DOORS

OCCUPANCY CLASSIFICATION - G1 - OFFICES
GLAZING AREA CALCULATIONS
REFER TO XA CALCULATIONS DOCUMENT.

Project
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The Trustees of the COVENANT FAMILY TRUST
ERF 7292 DURBAN
332 UMBILO ROAD

drawing title
ALUMINIUM WINDOW & DOOR SCHEDULE
SCALE 1:50

Phase
BUILDING APPLICATION SET
PHASE - AMAFA APPLICATION

RbJ
RESIDENTIAL ARCHITECTURE
RITA JOSEPH
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prof. senior arch. tech.
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drawing no.	S400 rev. 1	date	OCT, 2022
scale	1:50	project no.	106
drawn	RBJ		