

COMPLIANCE IN RESPECT OF THE SOUTH AFRICAN NATIONAL STANDARDS FOR THE APPLICATION OF THE NATIONAL BUILDING REGULATIONS AND STANDARDS ACT NO. 103 OF 1977

PART A SANS 10400 - GENERAL PRINCIPLES AND REQUIREMENTS

COMPLIANCE WITH THE REQUIREMENTS OF SANS 10400 PART A WILL BE DEEMED TO BE COMPLIANCE WITH REQUIREMENTS OF PART A OF THE NATIONAL BUILDING REGULATIONS.

PART B SANS 10400 - STRUCTURAL DESIGN

COMPLIANCE WITH THE REQUIREMENTS OF SANS 10400 PART B WILL BE DEEMED TO BE COMPLIANCE WITH REQUIREMENTS OF PART B OF THE NATIONAL BUILDING REGULATIONS.

PART C SANS 10400 - DIMENSIONS

COMPLIANCE WITH THE REQUIREMENTS OF SANS 10400 PART C WILL BE DEEMED TO BE COMPLIANCE WITH REQUIREMENTS OF PART C OF THE NATIONAL BUILDING REGULATIONS.

PART D SANS 10400 - PUBLIC SAFETY

COMPLIANCE WITH THE REQUIREMENTS OF SANS 10400 PART D WILL BE DEEMED TO BE COMPLIANCE WITH REQUIREMENTS OF PART D OF THE NATIONAL BUILDING REGULATIONS.

PART E SANS 10400 - DEMOLITION WORK

THE FUNCTIONAL REGULATIONS CONTAINED IN PART E OF THE NATIONAL BUILDING REGULATIONS SHALL BE DEEMED TO BE SATISFIED WHERE REGULATION E1, E2, E3 & E4 ARE COMPLIED WITH.

PART F SANS 10400 - SITE OPERATIONS

COMPLIANCE WITH THE REQUIREMENTS OF SANS 10400 PART F WILL BE DEEMED TO BE COMPLIANCE WITH REQUIREMENTS OF PART F OF THE NATIONAL BUILDING REGULATIONS.

PART G SANS 10400 - EXCAVATIONS

COMPLIANCE WITH THE REQUIREMENTS OF SANS 10400 PART G WILL BE DEEMED TO BE COMPLIANCE WITH REQUIREMENTS OF PART G OF THE NATIONAL BUILDING REGULATIONS.

PART H SANS 10400 - FOUNDATIONS

COMPLIANCE WITH THE REQUIREMENTS OF SANS 10400 PART H WILL BE DEEMED TO BE COMPLIANCE WITH REQUIREMENTS OF PART H OF THE NATIONAL BUILDING REGULATIONS.

PART J SANS 10400 - FLOORS

COMPLIANCE WITH THE REQUIREMENTS OF SANS 10400 PART J WILL BE DEEMED TO BE COMPLIANCE WITH REQUIREMENTS OF PART J OF THE NATIONAL BUILDING REGULATIONS.

PART K SANS 10400 - WALLS

COMPLIANCE WITH THE REQUIREMENTS OF SANS 10400 PART K WILL BE DEEMED TO BE COMPLIANCE WITH REQUIREMENTS OF PART K OF THE NATIONAL BUILDING REGULATIONS.

PART L SANS 10400 - ROOFS

COMPLIANCE WITH THE REQUIREMENTS OF SANS 10400 PART L WILL BE DEEMED TO BE COMPLIANCE WITH REQUIREMENTS OF PART L OF THE NATIONAL BUILDING REGULATIONS.

PART M SANS 10400 - STAIRWAYS

COMPLIANCE WITH THE REQUIREMENTS OF SANS 10400 PART M WILL BE DEEMED TO BE COMPLIANCE WITH REQUIREMENTS OF PART M OF THE NATIONAL BUILDING REGULATIONS.

PART N SANS 10400 - GLAZING

COMPLIANCE WITH THE REQUIREMENTS OF SANS 10400 PART N WILL BE DEEMED TO BE COMPLIANCE WITH REQUIREMENTS OF PART N OF THE NATIONAL BUILDING REGULATIONS.

PART O SANS 10400 - LIGHTING & VENTILATION

COMPLIANCE WITH THE REQUIREMENTS OF SANS 10400 PART O WILL BE DEEMED TO BE COMPLIANCE WITH REQUIREMENTS OF PART O OF THE NATIONAL BUILDING REGULATIONS.

PART P SANS 10400 - DRAINAGE

COMPLIANCE WITH THE REQUIREMENTS OF SANS 10400 PART P WILL BE DEEMED TO BE COMPLIANCE WITH REQUIREMENTS OF PART P OF THE NATIONAL BUILDING REGULATIONS.

PART R SANS 10400 - FIRE PROTECTION

COMPLIANCE WITH THE REQUIREMENTS OF SANS 10400 PART R WILL BE DEEMED TO BE COMPLIANCE WITH REQUIREMENTS OF PART R OF THE NATIONAL BUILDING REGULATIONS.

PART U SANS 10400 - REFUSE DISPOSAL

THE FUNCTIONAL REGULATIONS CONTAINED IN PART U OF THE NATIONAL BUILDING REGULATIONS SHALL BE DEEMED TO BE SATISFIED WHERE REGULATION U1, U2, & U3 ARE COMPLIED WITH.

PART V SANS 10400 - SPACE HEATING

COMPLIANCE WITH THE REQUIREMENTS OF SANS 10400 PART V WILL BE DEEMED TO BE COMPLIANCE WITH REQUIREMENTS OF PART V OF THE NATIONAL BUILDING REGULATIONS.

PART W SANS 10400 - FIRE INSTALLATION

COMPLIANCE WITH THE REQUIREMENTS OF SANS 10400 PART W WILL BE DEEMED TO BE COMPLIANCE WITH REQUIREMENTS OF PART W OF THE NATIONAL BUILDING REGULATIONS.

PART XA SANS 10400 - ENERGY USAGE IN BUILDINGS

COMPLIANCE WITH THE REQUIREMENTS OF SANS 10400 PART XA WILL BE DEEMED TO BE COMPLIANCE WITH REQUIREMENTS OF PART XA OF THE NATIONAL BUILDING REGULATIONS.

SANS 2001 - CONSTRUCTION WORKS - CM1 MASONRY WALLING

ALL CONSTRUCTION OF MASONRY WALLING TO COMPLY WITH SANS 2001-CM1

SANS 2001 - CONSTRUCTION WORKS - EM1 CEMENT PLASTER

ALL CEMENT PLASTER TO MASONRY AND CONCRETE SURFACES TO COMPLY WITH SANS 2001-EM1

PLUMBING NOTES - WATER SUPPLY

GENERAL :
1. INSTALLATIONS TO BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL AUTHORITY AND SANS 10252-1 (WATER INSTALLATIONS FOR BUILDINGS), SANS 10400 (NATIONAL BUILDING REGULATIONS) AND SANS 10254:2012 (HOT WATER CYLINDERS). SANS XA204 AND SANS 10106 FOR SOLAR WATER HEATER INSTALLATIONS SHALL APPLY.

PIPE-WORK :
1. PIPE RUNS ARE DIAGRAMMATICALLY INDICATED ON DRAWINGS.
2. THEIR EXACT POSITION SHOULD HOWEVER BE ESTABLISHED ON SITE. MAJOR RE-POSITIONING OF PIPE WORK MAY AFFECT THE CRITERIA ON WHICH THE CALCULATIONS ARE BASED AND SHOULD THEREFORE BE PRE-CHECKED BY THE DESIGNER BEFORE PROCEEDING WITH THE INSTALLATION.

HOT WATER PIPING :
ALL EXPOSED HOT WATER PIPING MUST BE ADEQUATELY LAGGED.

PIPING MATERIAL AND JOINTING :
1. COLD WATER FEED TO BE UPVC CLASS 6 UNLESS OTHERWISE STATED.
HOT & COLD WATER FEED TO BE COPPER SANS 460 JOINED USING EITHER CAPILLARY TYPE FITTINGS SANS 1067-2 OR COMPRESSION TYPE FITTINGS SANS 1067-1. INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS' SPECIFICATION.

INSPECTION, TESTING AND DISINFECTION :
ALL PIPE WORK SHALL BE INSPECTED IN ACCORDANCE WITH SANS 10252:1 (9.2.1) AND PRESSURE TESTED IN ACCORDANCE WITH SANS 10252:1 (9.2.2) AND CONSIDERATIONS OF DISINFECTIONS SANS 10252:1 (9.3.2) SHALL BE OBSERVED.

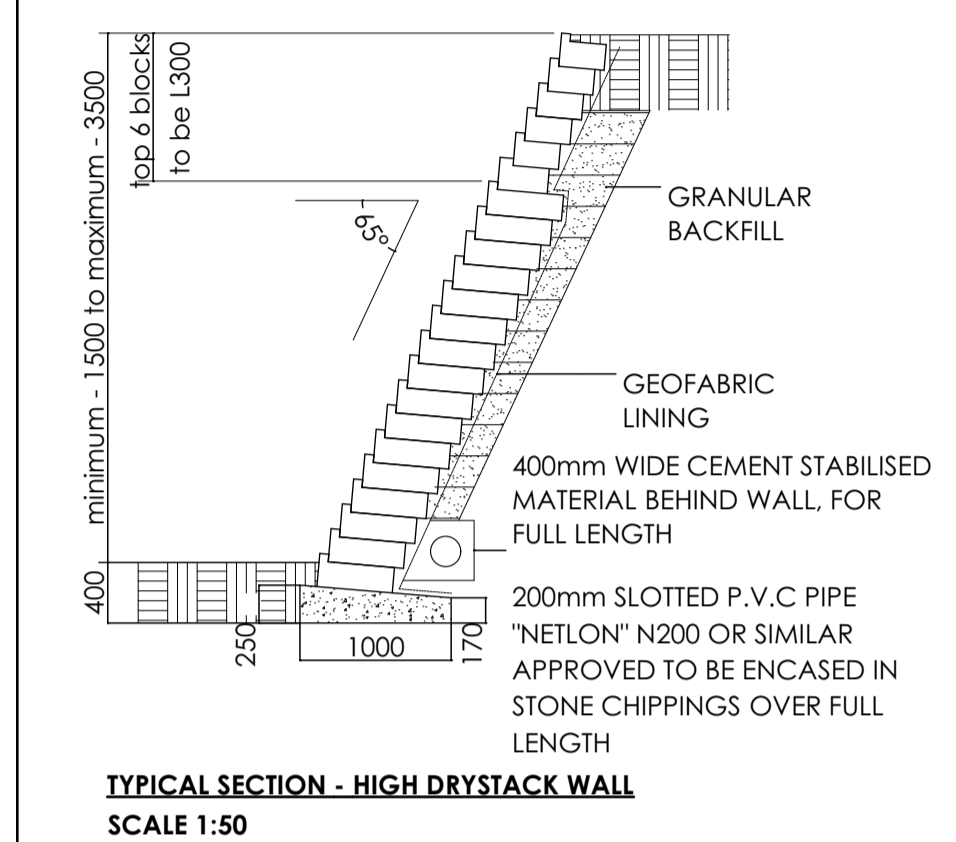
TERMINAL FITTINGS :

1. ALL BRASSWARE AND SANITARYWARE SHALL BE AS SPECIFIED IN THE SANITARYWARE SCHEDULE AND SHALL BE FULLY SABS COMPLIANT AND MEET THE REQUIREMENTS IN TERMS OF SANS 10252:1.
2. ANGLE REGULATING VALVES MUST BE INSTALLED ON THE HOT AND COLD SUPPLY CONNECTORS TO ALL WHB'S AND WC CISTERNS WHERE APPLICABLE.

THE ATTACHED DESIGN IS BASED ON THE FITTINGS SPECIFIED. CHANGES IN SPECIFICATION OF FITTINGS COULD DEEM THIS DESIGN INVALID. IF SPECIFICATION OF FITTING IS CHANGED AT ANY TIME, THE DESIGNER SHOULD BE CONSULTED REGARDING THE CHANGES.

GENERAL RETAINING WALL NOTES:

1. ALL EXCAVATIONS ARE TO BE INSPECTED BY THE ENGINEER PRIOR TO THE CASTING OF FOUNDATION CONCRETE.
2. FIRST ROW OF BLOCKS ARE TO BE PLACED ON WET CONCRETE.
3. FOUNDATIONS TO BE 25MPa CONCRETE AT 28 DAYS STRENGTH.
4. ALL BACKFILL TO BE COMPACTED TO 93% MOD AASHTO DENSITY.
5. STABILISED BACKFILL TO BE 15 : 1 SELECTED SAND / CEMENT COMPACTED WET IN 200mm LAYERS TO THE DETAILED HEIGHT AND WIDTH.
6. 170 x 170mm CLEAN SAND DRAININGS ARE TO BE PROVIDED THROUGH THE STABILISED BACKFILL AT A HEIGHT 200mm ABOVE FINISHED YARD LEVEL AND AT 2000mm INTERVALS HORIZONTALLY AND 1000mm VERTICALLY.
7. ADEQUATE PROFILING SHOULD BE PROVIDED FOR AT THE TOP OF THE WALL TO PREVENT SCOURING OF THE FILL MATERIAL AT THE REAR OF THE WALL BY SURFACE WATERS.
8. ALL BACKFILL TO FINISH UPPER LEVEL TO BE G9 MATERIAL IN 200mm THK LAYERS COMPACTED IN SLIGHTLY WETTED.

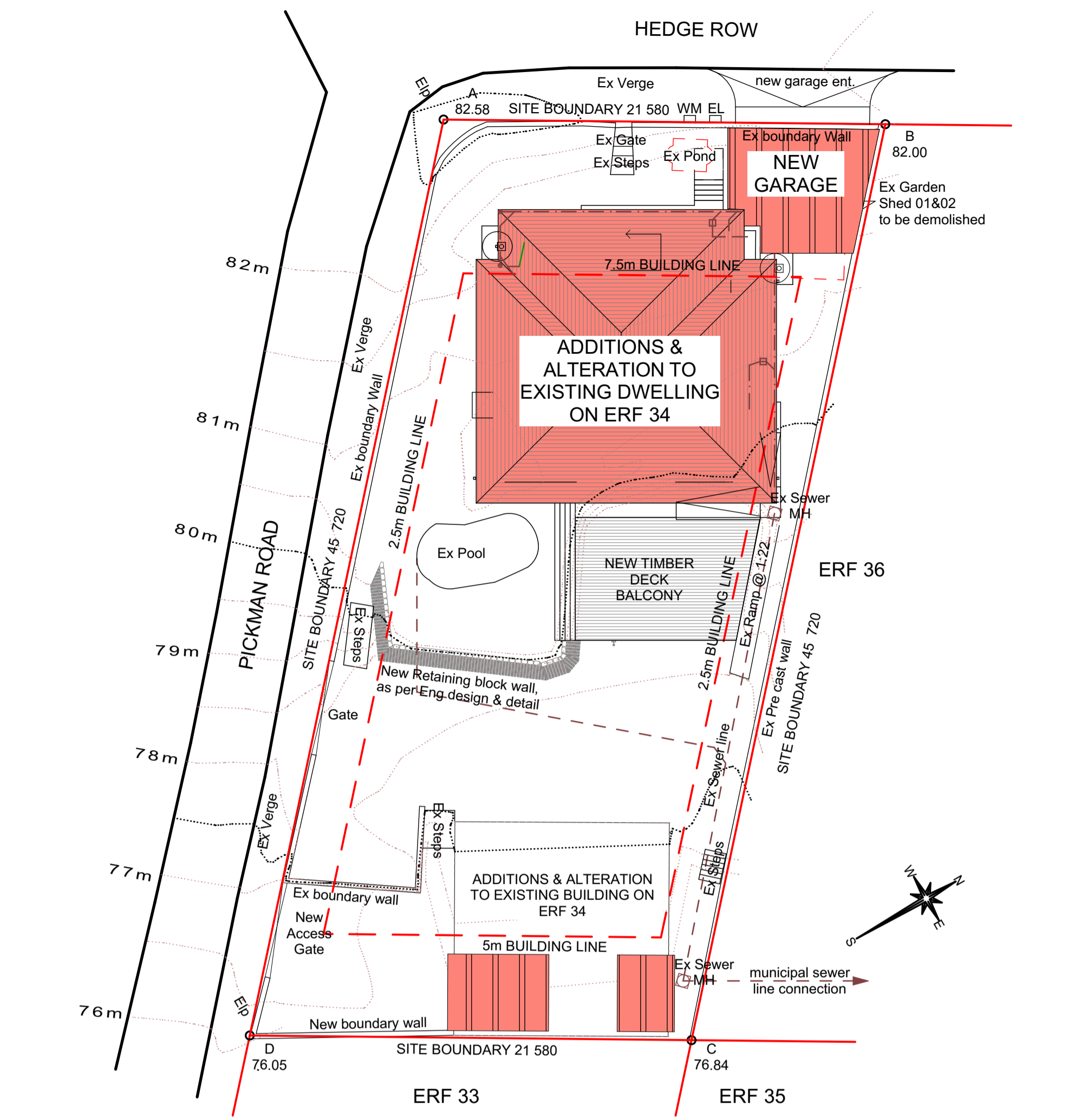


AREA SCHEDULE

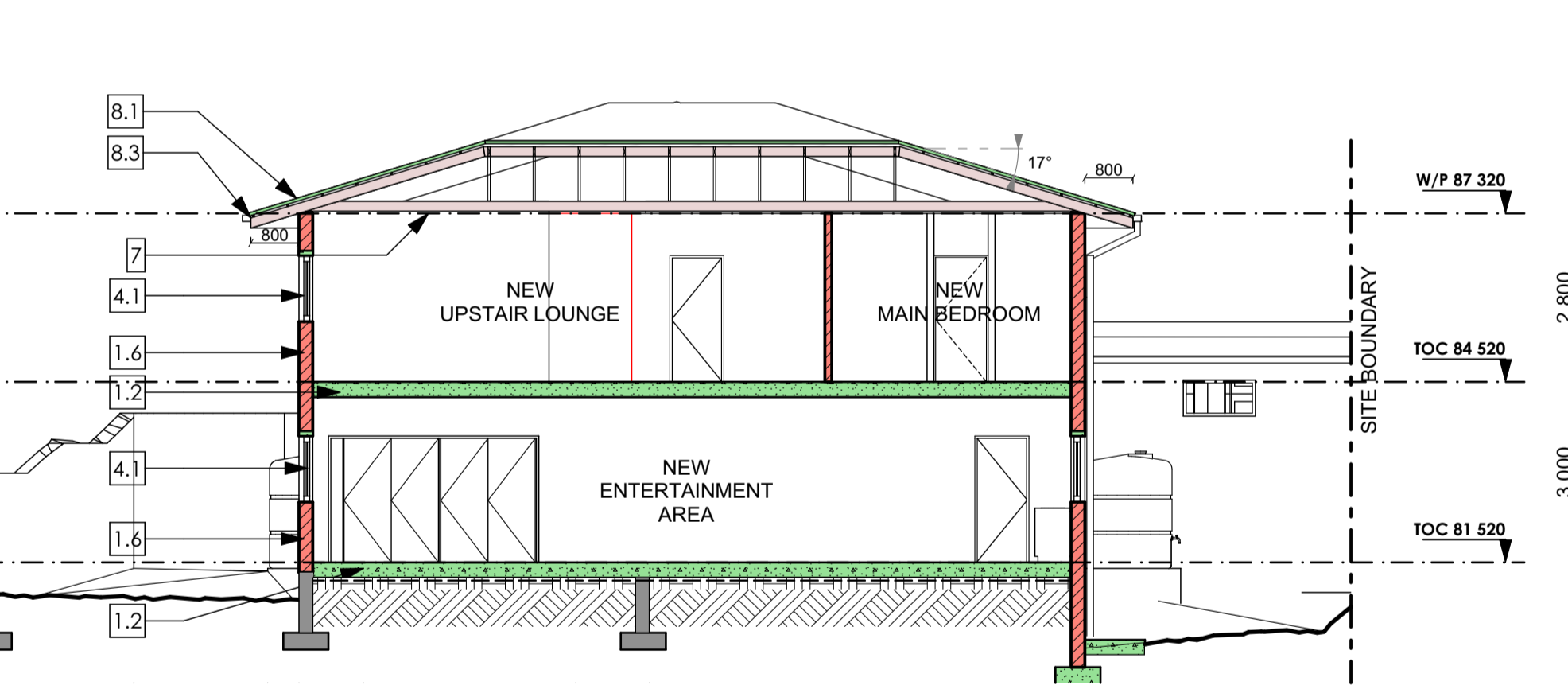
DEVELOPMENT SCHEDULE		SPECIAL RESI 900	
ZONING (LAND USE)		ZONE 5	
ZONING (CLIMATIC ZONE)		H4	
BUILDING CLASSIFICATION			
SITE AREA		967 m ²	
PERMISSIBLE F.A.R.	(NA)	387 m ²	
PERMISSIBLE COVERAGE	40%	186 m ²	
EXISTING COVERAGE			
PROPOSED F.A.R.	(NA)	196.00 m ²	
PROPOSED COVERAGE	17%	5 m ²	
COVERAGE REMAINING			
PROPOSED COVERAGE SCHEDULE			
EXISTING LOWER STOREY			
ANCILLARY UNIT		68m ²	
DOMESTIC QUARTER		40m ²	
NEW UPPER STOREY			
GARAGE ROOF		43 m ²	
MAIN HOUSE ROOF		223 m ²	
TOTAL		374 m²	

I HEREBY ACKNOWLEDGE THAT I HAVE HAD SIGHT OF THIS PLAN AND THAT I HAVE NO OBJECTIONS TO THE PROPOSED WORK

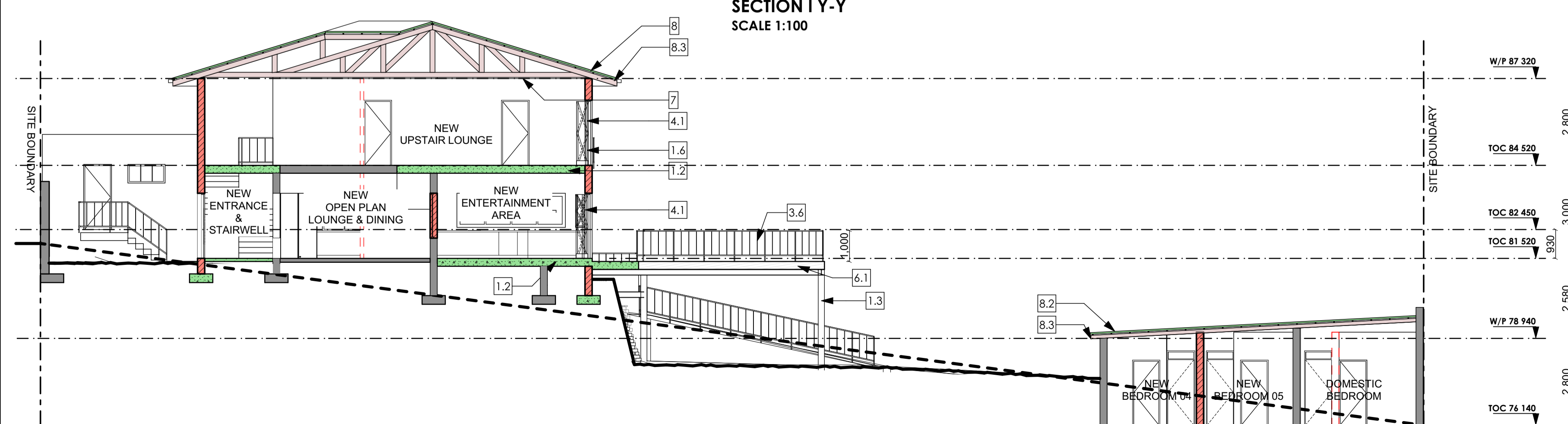
NAMES	ID No.	ADDRESS	SIGNATURE	TEL. NO
Theresa Chetty	540506005489	39 MERRILL ROAD, BATHURST BLUFF	<i>[Signature]</i>	0933618533
Gloria Moore	314001030083	34 Hedge Row Brighton Beach Bluff	<i>[Signature]</i>	0333173998
Wendie Nkomo	50109005034081	37 Merrick Road, Bluff	<i>[Signature]</i>	09333356
E. MOHAMED	3446447506086	490 Marine Drive - Bluff	<i>[Signature]</i>	0826919377



PLAN I SITE PLAN SCALE 1:100



SECTION I Y-Y SCALE 1:100



SECTION I X-X SCALE 1:100

- GENERAL DRAWING NOTES**
- THE DESIGN ON THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECTS.
 - ALL WORK TO BE CARRIED OUT STRICTLY IN ACCORDANCE WITH MUNICIPAL REGULATIONS.
 - DRAWINGS NOT TO BE SCALED. ONLY ANNOTATED DIMENSIONS TO BE USED.
 - ALL RELEVANT DATUM LEVELS, DIMENSIONS TO BE CHECKED ON SITE BEFORE COMMENCEMENT OF WORK.
 - ALL DRAWINGS ARE TO BE CHECKED BY THE MAIN CONTRACTOR AND ANY DISCREPANCIES ON THE DRAWINGS OR BETWEEN THE DRAWINGS ARE TO BE REFERRED TO THE ARCHITECT.
 - CONTRACTOR TO CHECK ALL QUANTITIES PRIOR TO ORDERING AND MANUFACTURE.
 - CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL BY ARCHITECT PRIOR TO MANUFACTURE.

REVISION

NO	DATE	DESCRIPTION
A	01/02/21	TOWN PLANNING SUBMISSION
B	24/11/21	DAA SUBMISSION

MUNICIPAL STAMPS

CLIENT SIGNATURE: *[Signature]*

ARCHITECT SIGNATURE: *[Signature]*

PR ARCH NO: 26658862 DATE: 02/02/2021

355 CONEY ROAD, MORNINGSIDES DURBAN
KZN
EMAIL: admin@arkus.co.za
TEL: 082 709 6096

Project: HOUSE DOMAN

PROPOSED NEW ADDITIONS & ALTERATIONS FOR MR & MRS DOMAN ON ERF 34 BEING 33 HEDGE ROW, BLUFF DURBAN



TENDER APPROVAL: CONSTRUCTION: DATE:

INFORMATION: ISSUE:

Date: 2020/04/01 10:08:34 Scale: As shown

Drawn: JV Checked: PA

Drawing Description: GENERAL NOTES SITE PLAN SECTION X-X & Y-Y