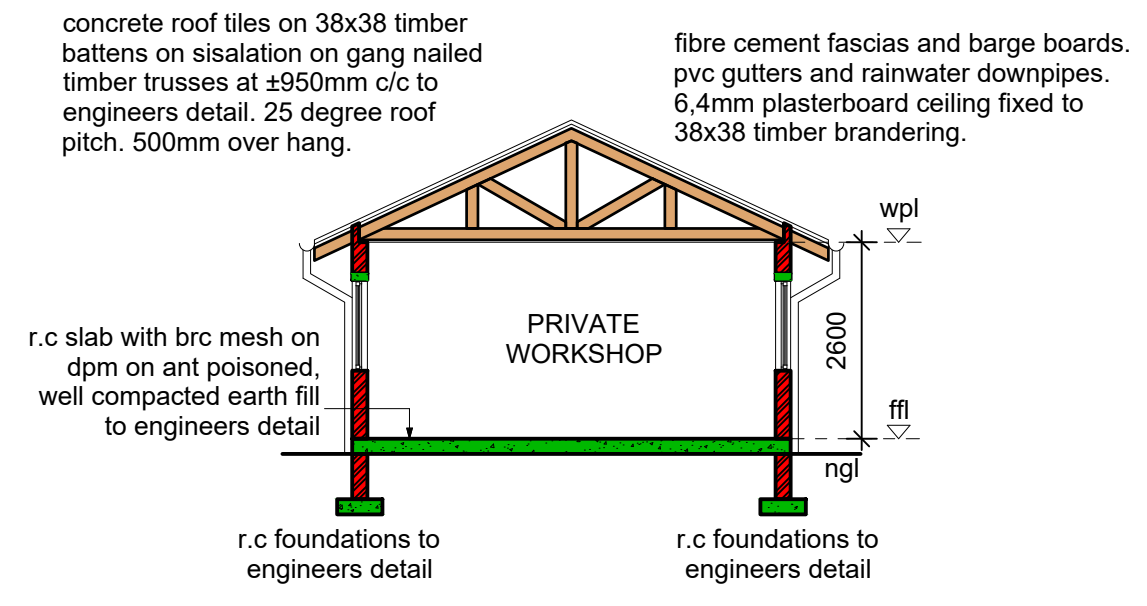
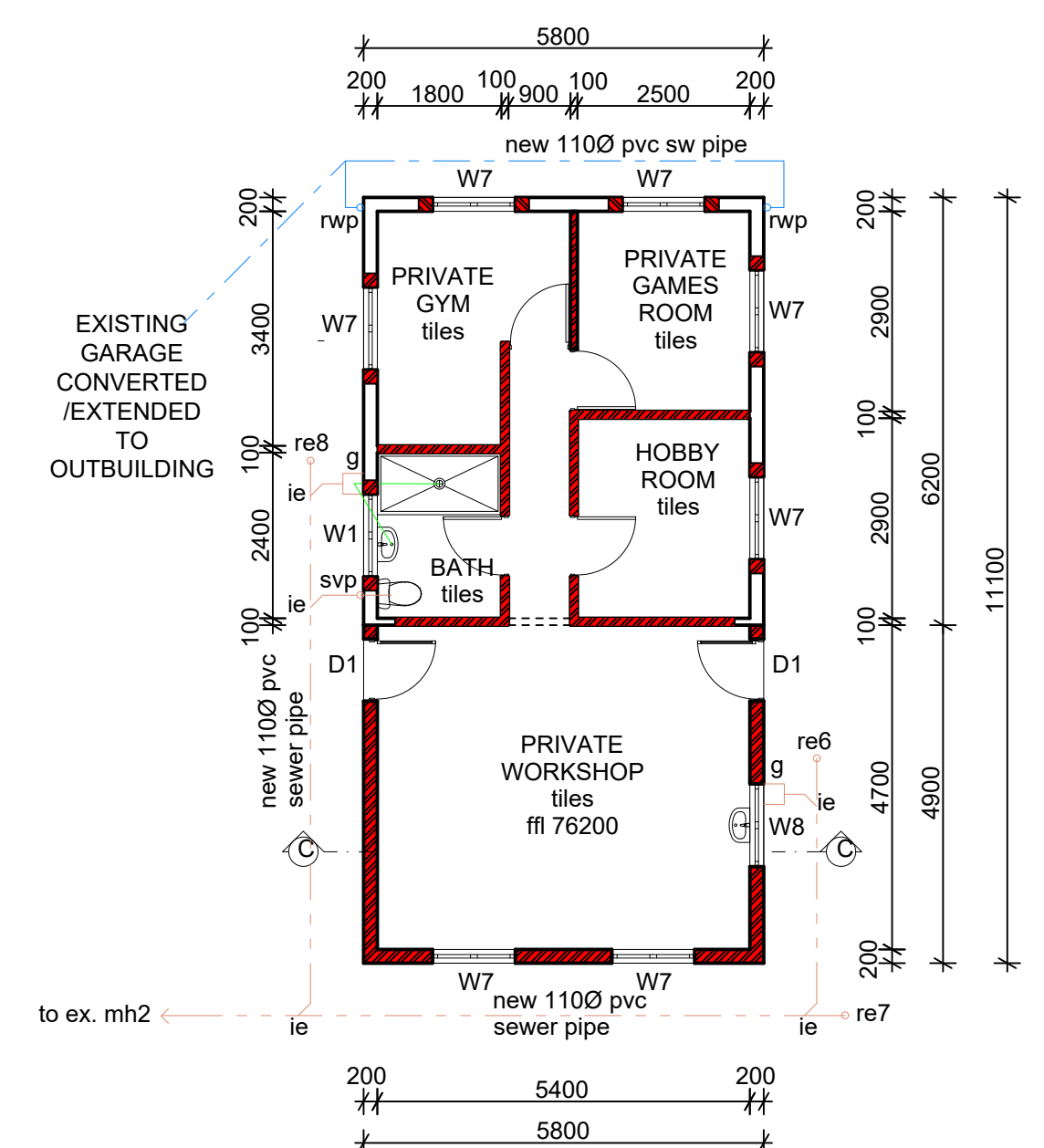


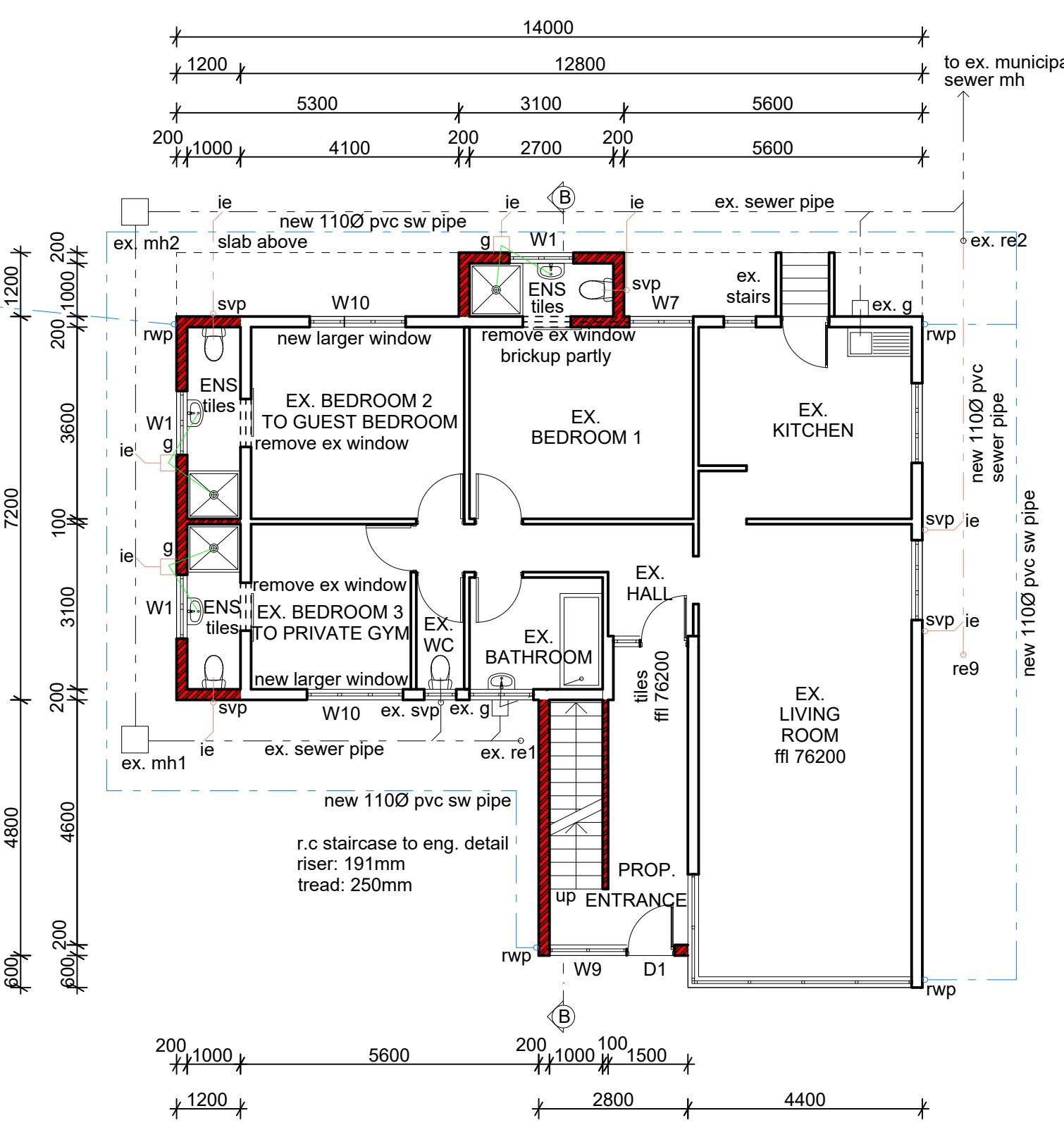
**SECTION B-B
MAIN DWELLING**
SCALE 1:100



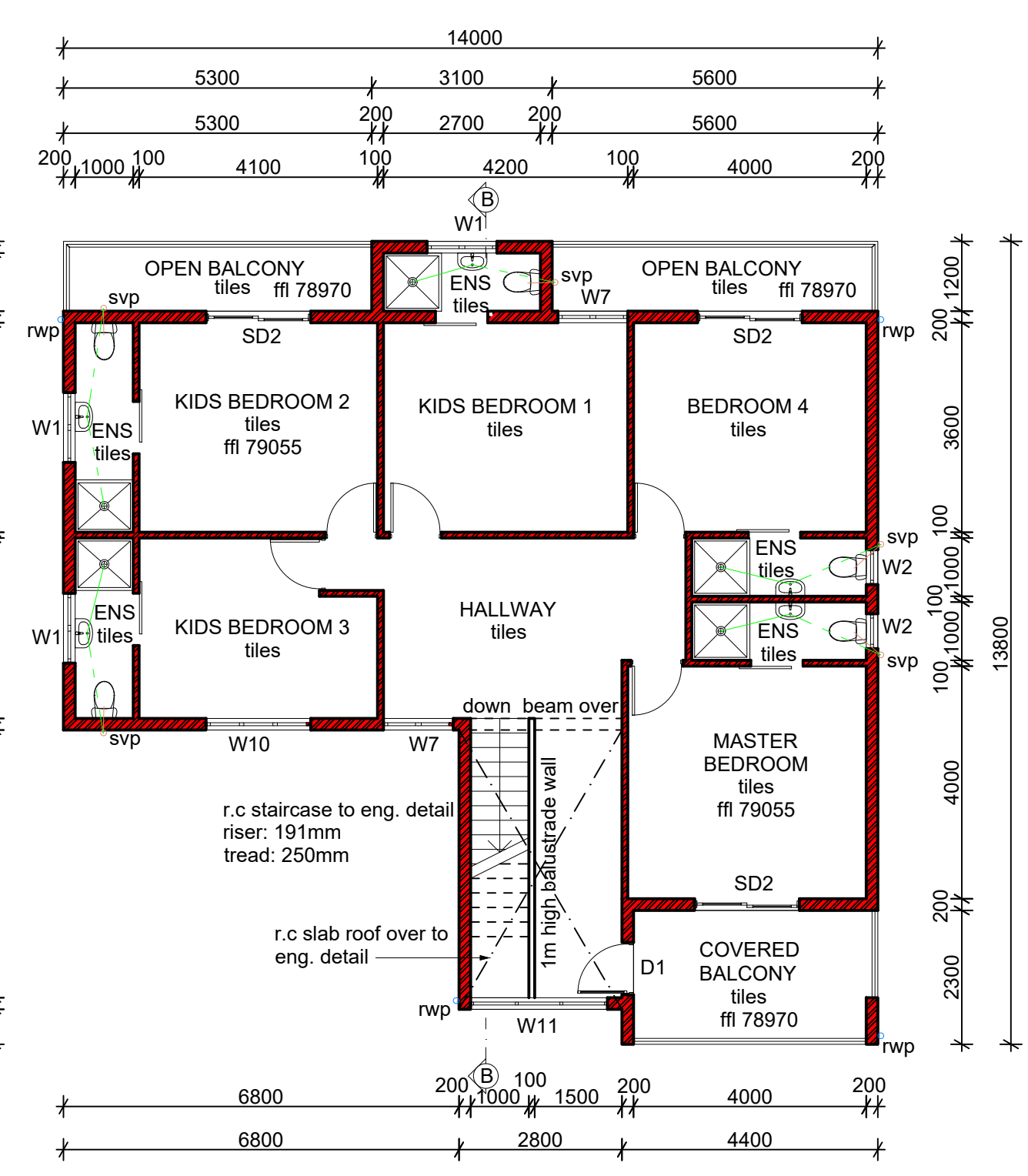
**SECTION C-C
OUTBUILDING**
SCALE 1:100



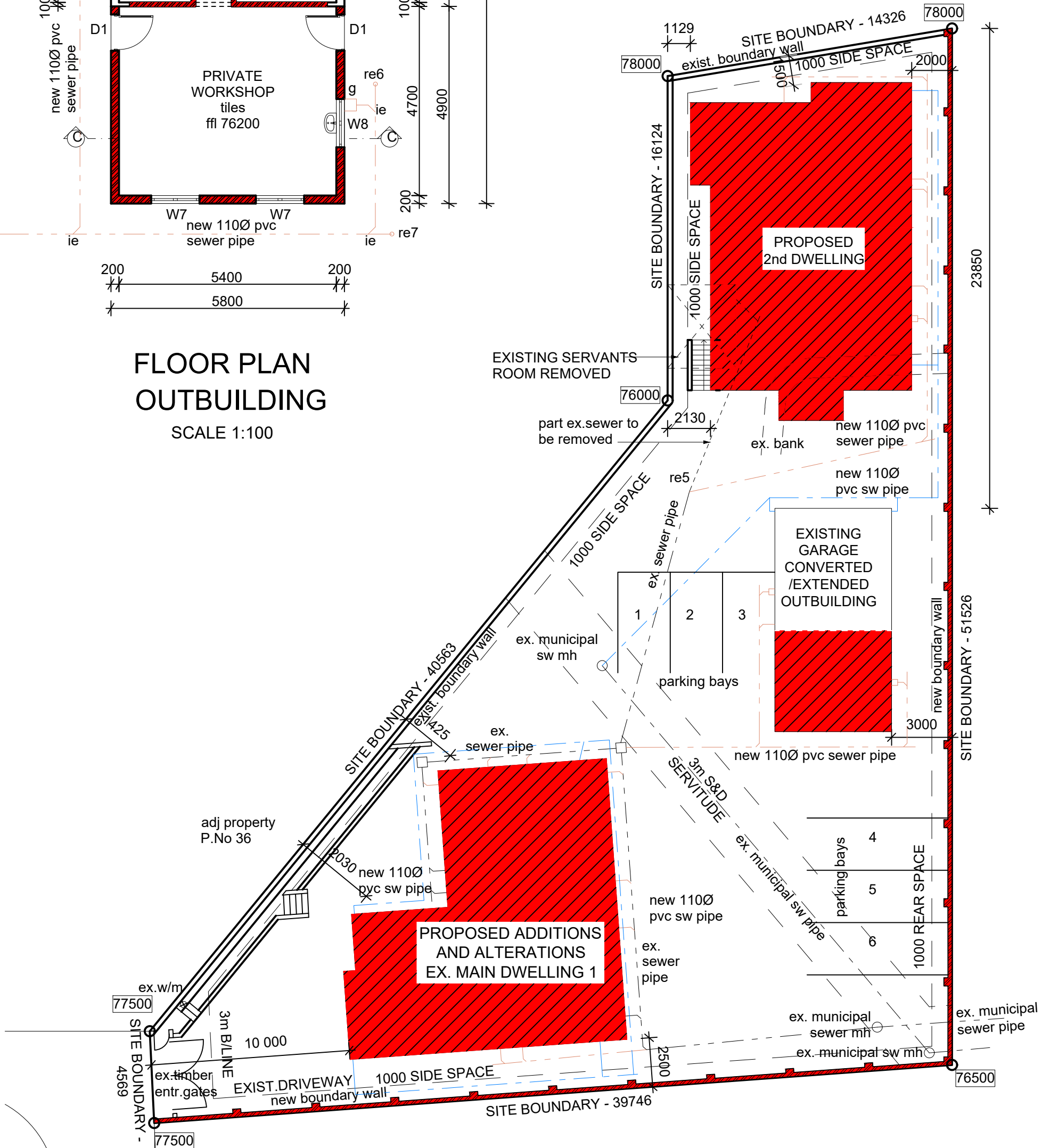
**FLOOR PLAN
OUTBUILDING**
SCALE 1:100



**GROUND FLOOR PLAN
EXIST. DWELLING 1**
SCALE 1:100



**FIRST FLOOR PLAN
DWELLING 1**
SCALE 1:100



SITE PLAN
SCALE 1:200

Area Schedule:

Zoning	Special Residential 400
Site Area	1 212 sqm
Permitted FAR	N/A
Permitted Coverage 50%	606 sqm
Existing Area - Main Dwelling 1	115.00 sqm
Existing Double Garage	35.96 sqm
Existing Servants Room to be Removed	-12.00 sqm
Existing Total Area	150.96 sqm
Existing Coverage (Existing Main Dwelling 1)	115.00 sqm
Existing Double Garage	35.96 sqm
Existing Total Coverage	150.96 sqm
Proposed Additions Ground Fl. Existing Dwelling 1	28.80 sqm
Proposed New 1st Floor Existing Dwelling 1	136.16 sqm
Proposed 2nd Dwelling Ground Floor	144.30 sqm
Proposed 2nd Dwelling 1st Floor	128.42 sqm
Proposed OutBuilding Additions	28.40 sqm
Proposed Total Floor Area	466.08 sqm
Proposed Coverage Existing Dwelling 1	38.88 sqm
Proposed Coverage 2nd Dwelling	156.90 sqm
Proposed Coverage OutBuilding	28.40 sqm
Proposed Coverage	224.18 sqm
Total Area (Existing + Proposed)	617.04 sqm
Total Coverage (Existing + Proposed)	375.14 sqm

NOTE :

- * ALL NEW ROOFS AS PER ENGINEERS DETAILS & SPECIFICATIONS
- * WALLS & LINTOLS AS PER ENGINEERS DETAILS & SPECIFICATIONS
- * ALL FOUNDATIONS AS PER ENGINEERS DETAILS & SPECIFICATIONS AS PER GEOTECH REPORT
- * SHOWER TO BE FITTED WITH 6mm TOUGHENED SAFETY GLASS
- * GUTTERS TO BE 125mm HALF ROUND PVC & RWP TO BE 80mmØ
- * ALL HOT AND COLD WATER PIPES TO BE 19mmØ

CLIENT SIGNATURE:

AUTHOR SIGNATURE: (SACAP No. ST 0307)

No.	DATE	DESCRIPTION

REVISIONS

NOTE: All relevant details, levels and dimensions are to be checked on site prior to commencement of work. Any discrepancies to be brought to the attention of the author immediately.

PROJECT
PROPOSED ADDITIONS & ALTERATIONS TO EXISTING MAIN DWELLING, PROPOSED SECOND DWELLING, OUTBUILDING AND BOUNDARY WALLS AT 34 ATHERSTONE PLACE, WOODLANDS, ON ERF 219 MOBENI FOR MR. G. MAJORITY

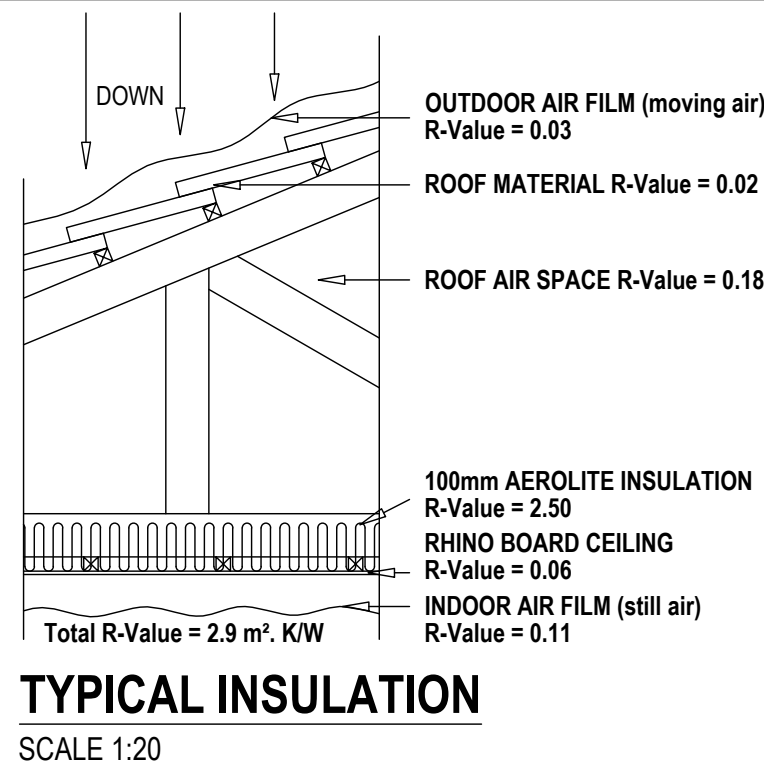
PHASE
SUBMISSION DRAWING

SCALE	1:100 / 1:200	DATE	June 2023
DRAWN	S.N	CHECKED BY	S.N
DATE OF PRINT	31/07/2023	PROJECT NUMBER	004/23
DRAWING NUMBER	LA 100	REV.	

SN ARCHITECTURE

K. NAIDOO (SUMESH)
NHD ARCHITECTURE (DUT)
SACAP Reg No. : ST0307
SAIBD Reg No. : N0451
Professional Senior Architectural Technologist (PSAT)

6 SUNSET PARK, 15 CALEDONIAN PLACE
SEA VIEW, DURBAN, 4094
E : sumesh40@gmail.com
M : 073 140 1600 / 067 144 7963



TYPICAL INSULATION
SCALE 1:20

HOT WATER SUPPLY:

- 50% of Electrical heating for hot water supply is via Solar Geyser (specialist details).
- Insulation material to have a min r-value of 1.00. Pre-installed moulded polyurethane insulation wrapped around induction geyser with a r-value of 3.80.
- Induction geyser / pipes to be installed with a material achieving a min. r-value 2.00. (All to manufacturers specification and to comply with SANS 10400-Part XA).

ROOF NOTES:

- Double roman tiles on 38x38 battens on SANS 10400 approved pvc underlay on 114x38 SA pine trusses at 760mm centers. 220x50 loose rafters to be SA pine and treated.
- External overhangs to be treated with carbolinium.
- All rainwater goods, fascias and barge boards to be fibre cement aluminium or pvc.
- Ceilings to be 9.4 gypsum board with covered cornices and painted.
- Roof to engineer detail and installed by competent person.

SUSPENDED SLAB / ROOF SLAB NOTES:

- Concrete slab with reinforcing to engineers specifications.
- Screed over laid to fall to rainwater outlet (bore hole).
- Waterproofing by specialist in accordance with NBR where slab is open slab.
- Min. 100mm high parapet around slab.

WALL NOTES:

- M200 & M100 SANS 10400 concrete blocks to be reinforced with brick-force every two courses to eng's detail.
- Solid cement mortar joint above wall plate and window head level.
- All brickwork below ground level to be bricks recommended for the purpose by the engineer.
- Gundie 'brickgrip' dpc to be provide over all slabs, under all sills parapets and elsewhere required by the local authority and accordance with NBR.
- Two vermin-proofed airbricks to be provided in the external window head level above all windows.
- No foundations walls/ new walls to encroach over boundary.
- Plaster bands to be provided on tops/ sides of walls.
- All precast lintels & reinforced beams above doors, windows & openings to engineer's details.
- All walls & foundations to engineer's details.

WINDOW NOTES:

- Windows to be anodize aluminum as per Duro catalogue.
- All glazing to be in accordance with SANS 10400.
- Glazing to bathrooms to be in obscure toughened safety glass.

SURFACE BED NOTES:

- Surface beds to be concrete of mix not weaker than 1:3:6 by volume, reinforced with min. 6mm diameter gsm rods at 300 c/c in both directions (or equal mesh) to eng's det.
- Surface beds to be laid on gundie gsm membrane on compacted soil.
- Floors in any laundry, kitchen, shower room, bathroom or room containing a toilet pan/ urinal are in accordance with SANS 10400 Part J.
- Soil poison to be provided.
- All fill exceeding 450mm must comply with SANS 10400 Part J to engineer's detail.

DOOR AND FRAME NOTES:

- External doors to be aluminum by specialist.
- Internal frames to be hardwood.
- Internal doors to be flush panel semi hollow core faced.
- Doors(internal) in timber to be provide with one pair 100mm brass butt hinges and SANS 10400 approved lockset.
- All doors to have draught seals & protection.

DRAINAGE NOTES:

- The contractor is required to ensure that the local authority installs necessary stormwater and sewer connections before drainage commences.
- It is the contractor's responsibility to obtain and ensure adequate falls to the necessary connections to services.
- The contractor is responsible for ensuring that stormwater damage to work in progress of the neighboring properties does not occur during construction and that the surface water drainage is adequate.
- All sanitary fittings to be trapped and vented to local authority requirements.
- All bends and junctions in drains to be fitted in all ducts over inspection eyes.
- Adequate access panels to be fitted in all ducts over inspection eyes.
- Gutter sizes - 125mm X 75mm
Rainwater pipe sizes - 80mm diameter

SITE AND EXCAVATION NOTES:

- All boundary beacons are to be flagged by a registered land surveyor and the contractor is to obtain a certificate prior to commencement.
- Contractor is to check all dimensions and levels and report any discrepancies to author.
- All foundations to be taken to hard virgin ground. No backfilling over excavated areas will be permitted. Foundation depths are to be determined on site by engineer & contractor is to confirm and ensure correct level physically on site with local authority inspector before commencing work.
- No foundations to encroach over boundary's.
- If the site is found to contain clay, shale, ground water or any other suspect soil condition, then all foundations are to be to engineers specifications.
- Care to be taken during excavations to protect all adjoining structures, walls and fences.

LOCAL AUTHORITY NOTES:

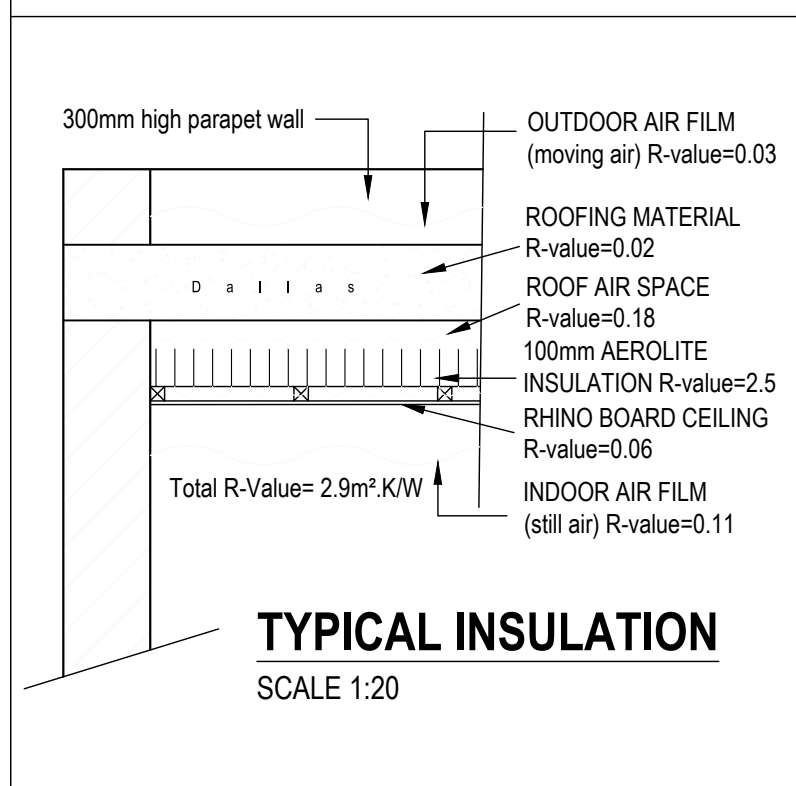
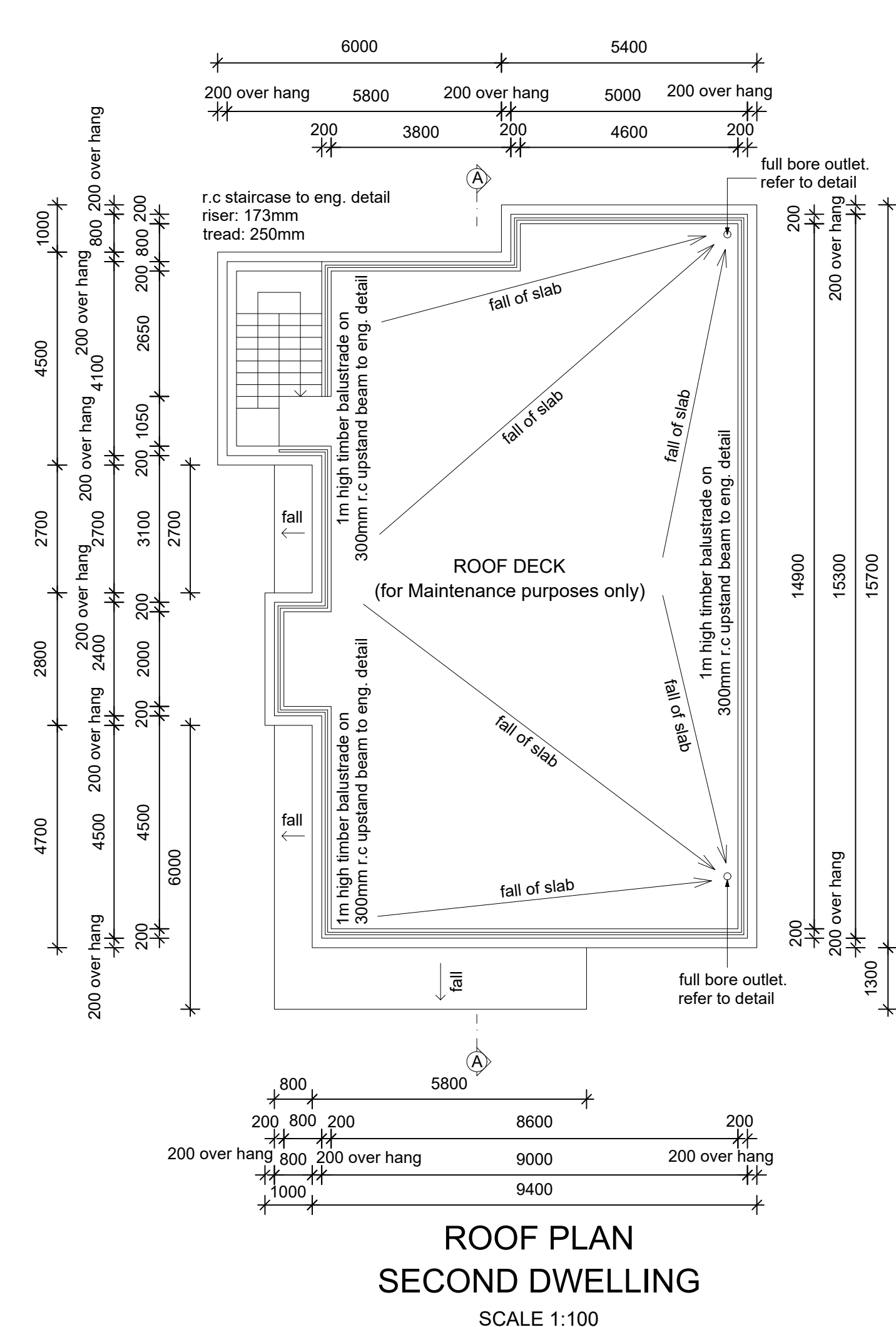
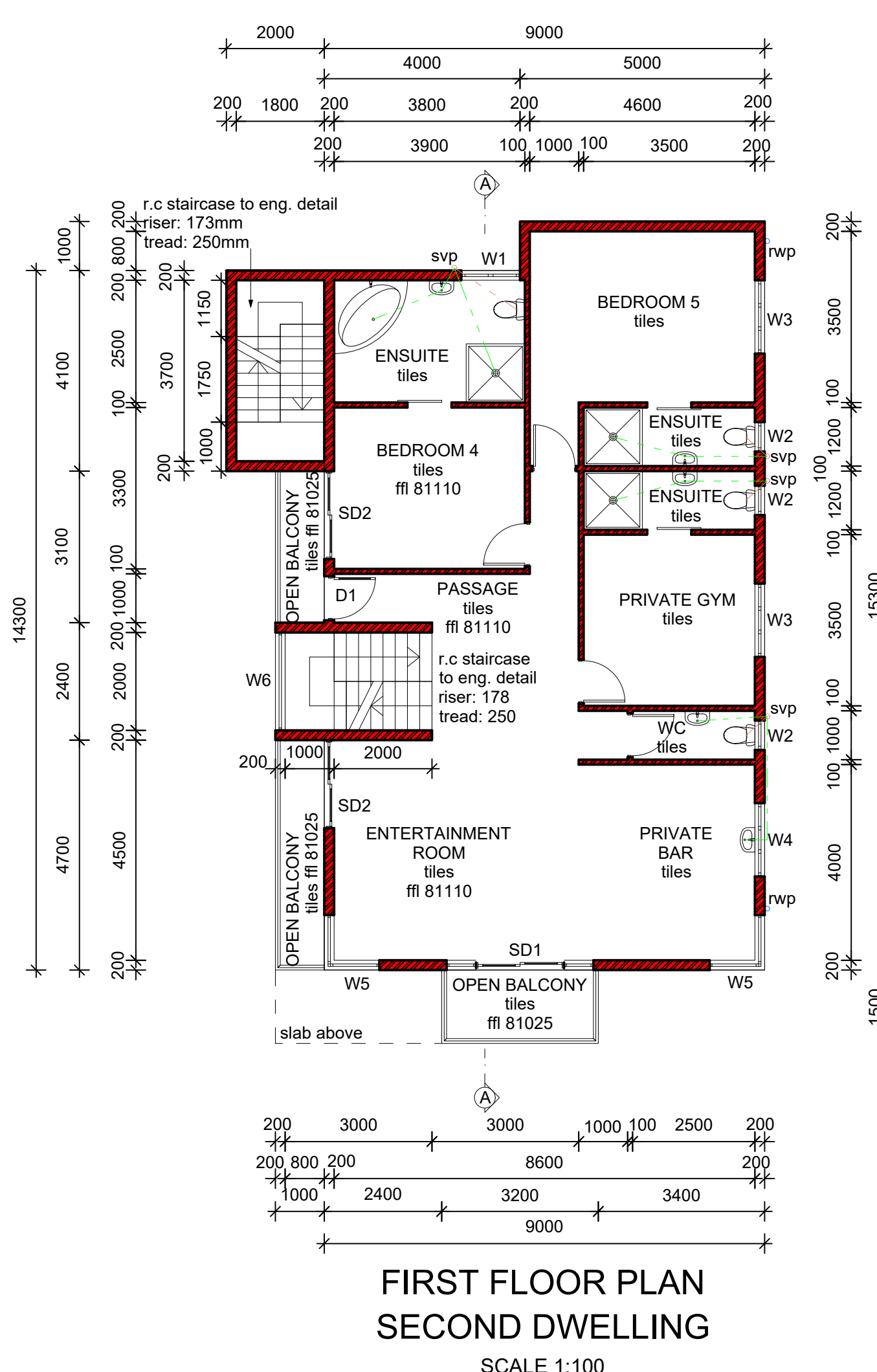
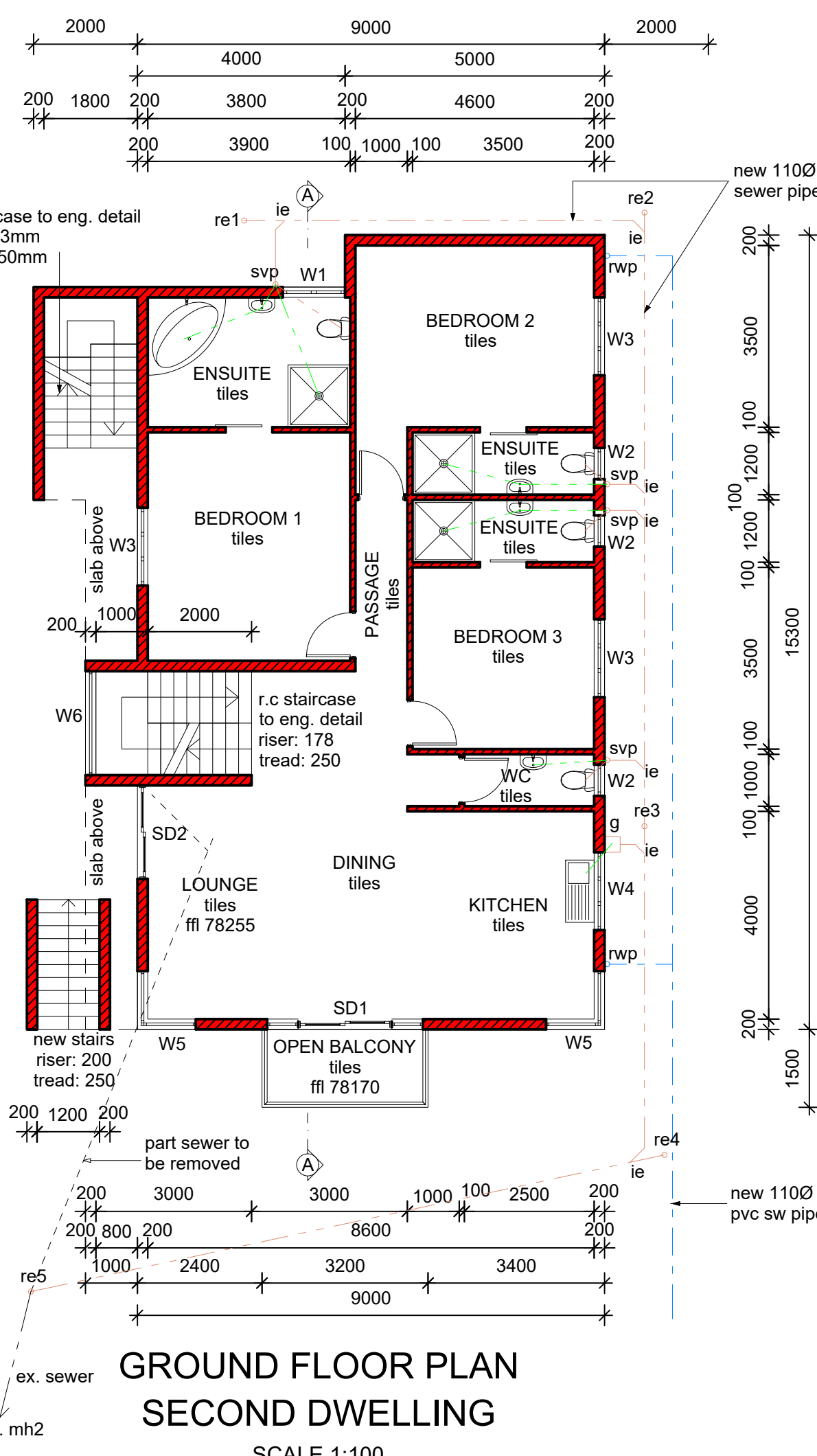
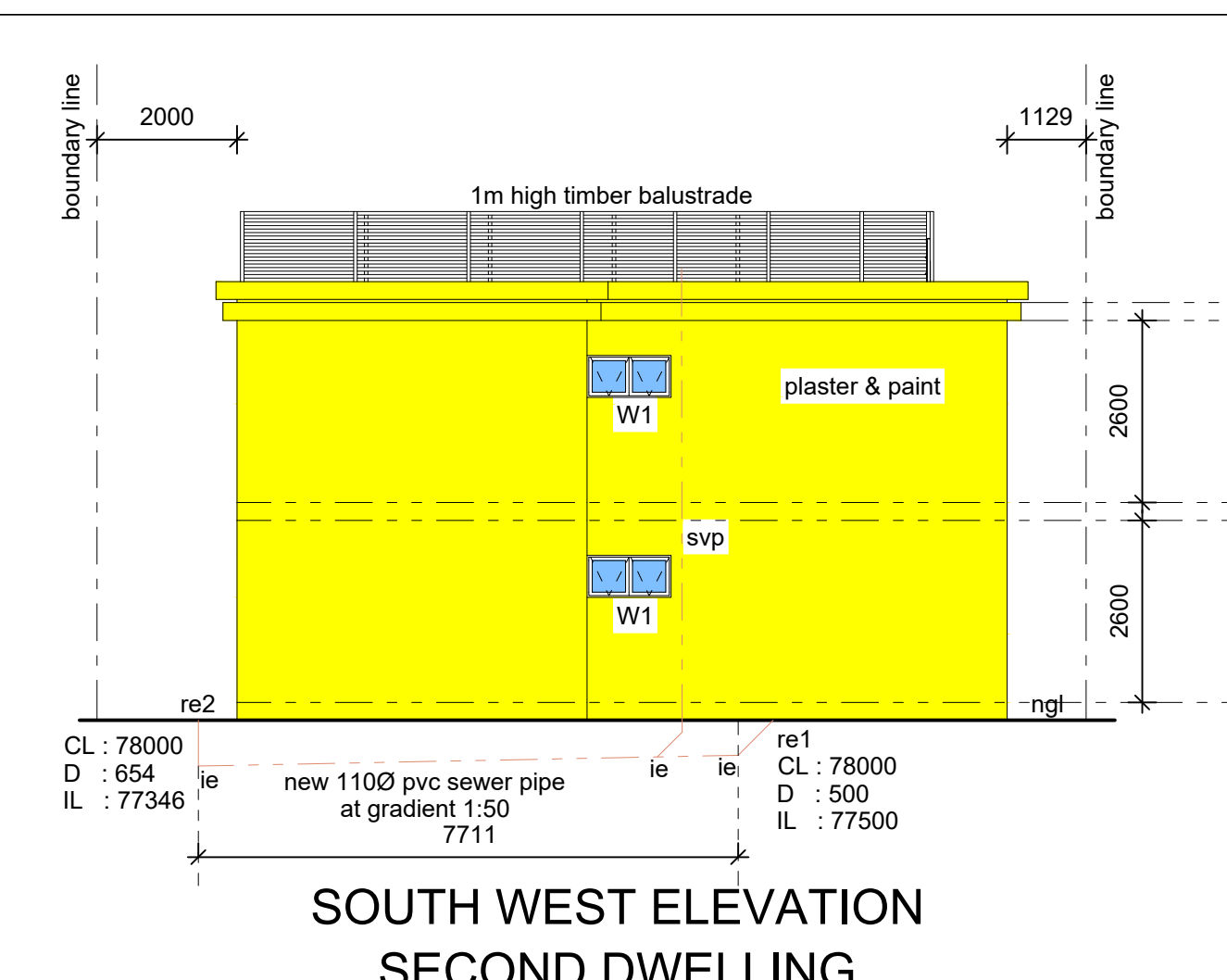
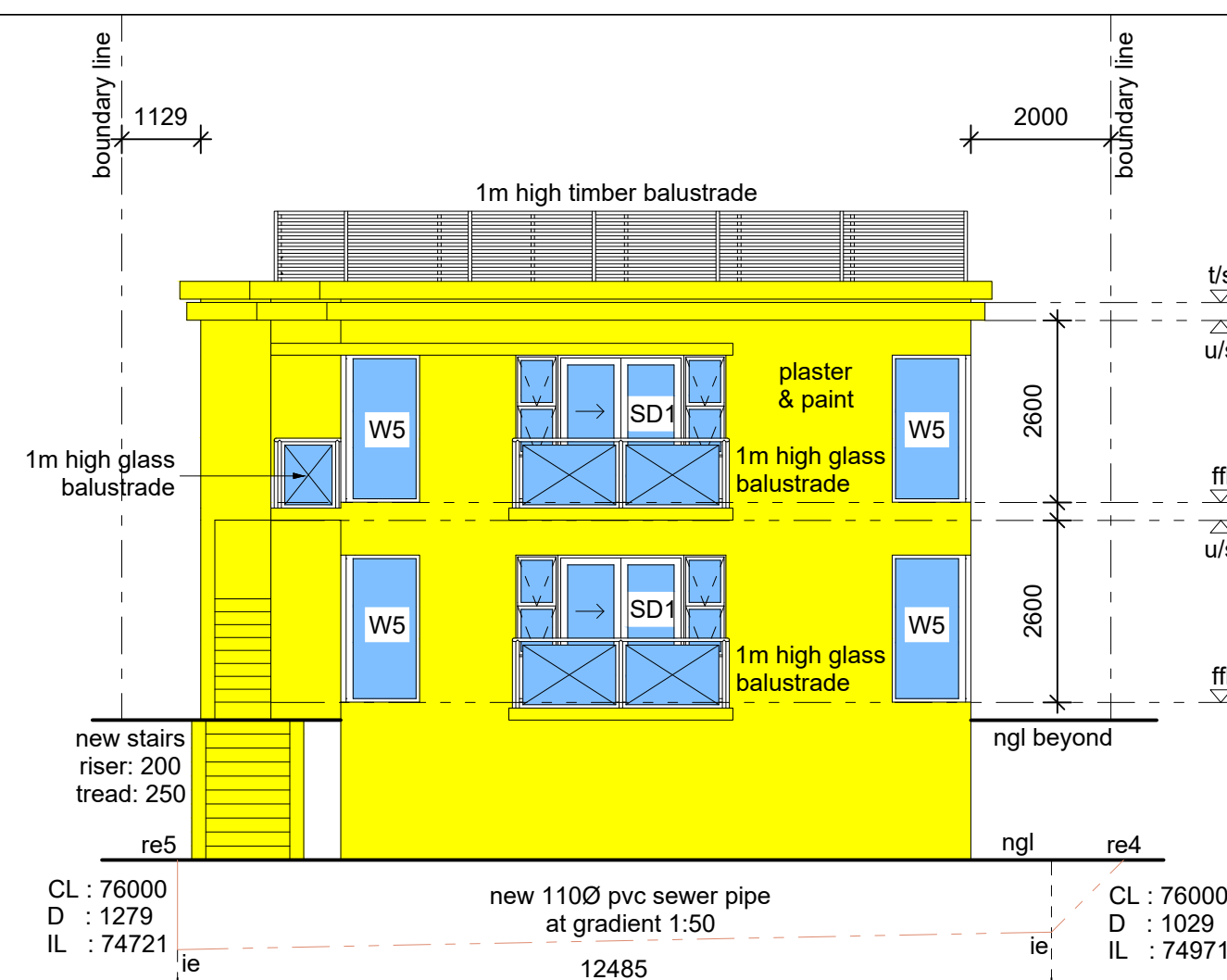
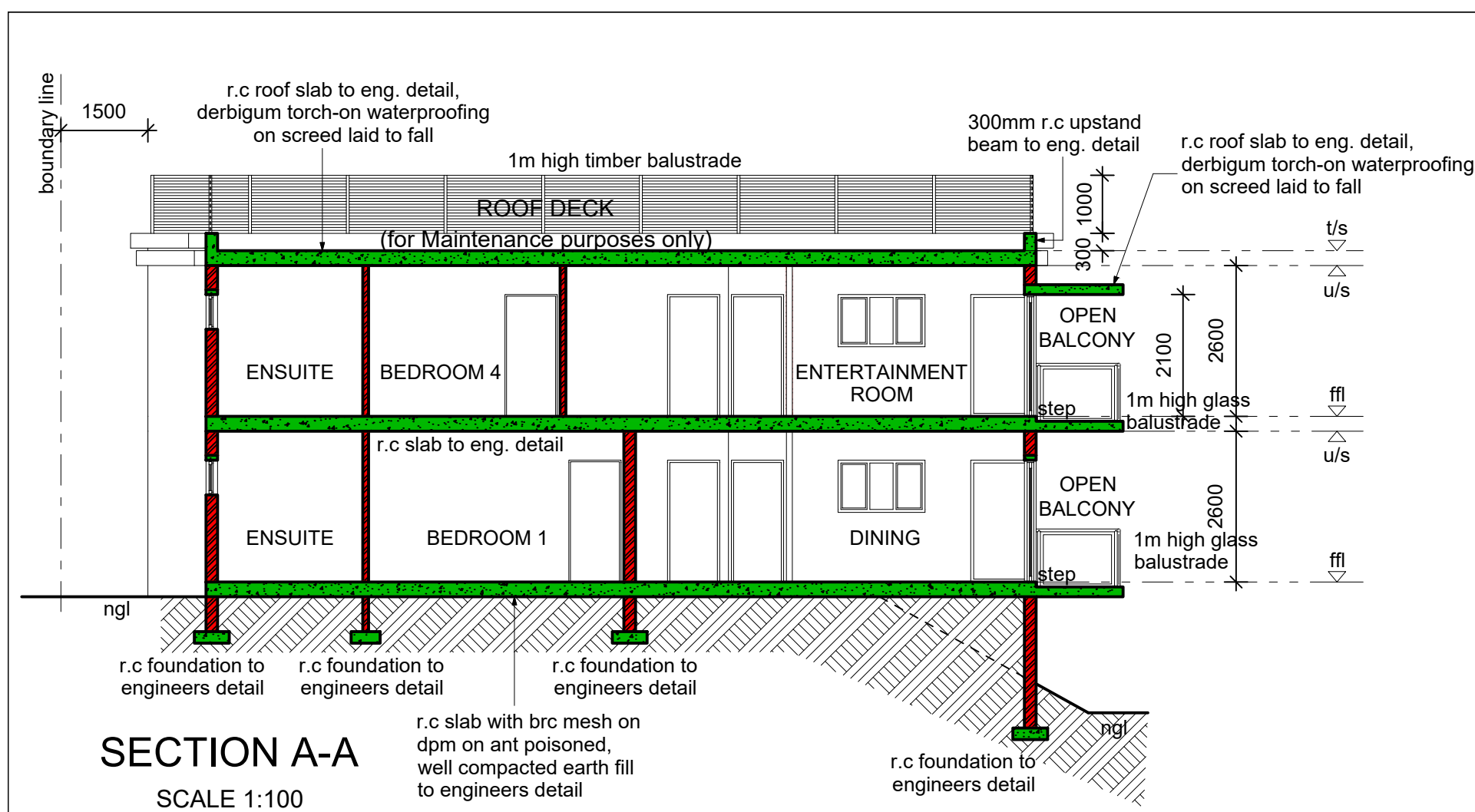
- The owner is responsible for all local authority notices and fees.
- Where local authority or government regulations require more stringent specifications than shown herein, they are to be followed with prior consent of the owner.
- All SANS 10400 and NBR standards and specifications are to be adhered to as minimum of good construction principals.
- All levels are approximate.

GENERAL NOTES:

- This drawing is to be read in conjunction with the engineers drawing & specifications.

NOTES TO OWNER:

- The attention of the owner is drawn to the fact that the change to the plan and specifications after official approval are likely to invalidate that approval.



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CLIENT SIGNATURE:

AUTHOR SIGNATURE:

No.	DATE	DESCRIPTION

REVISIONS

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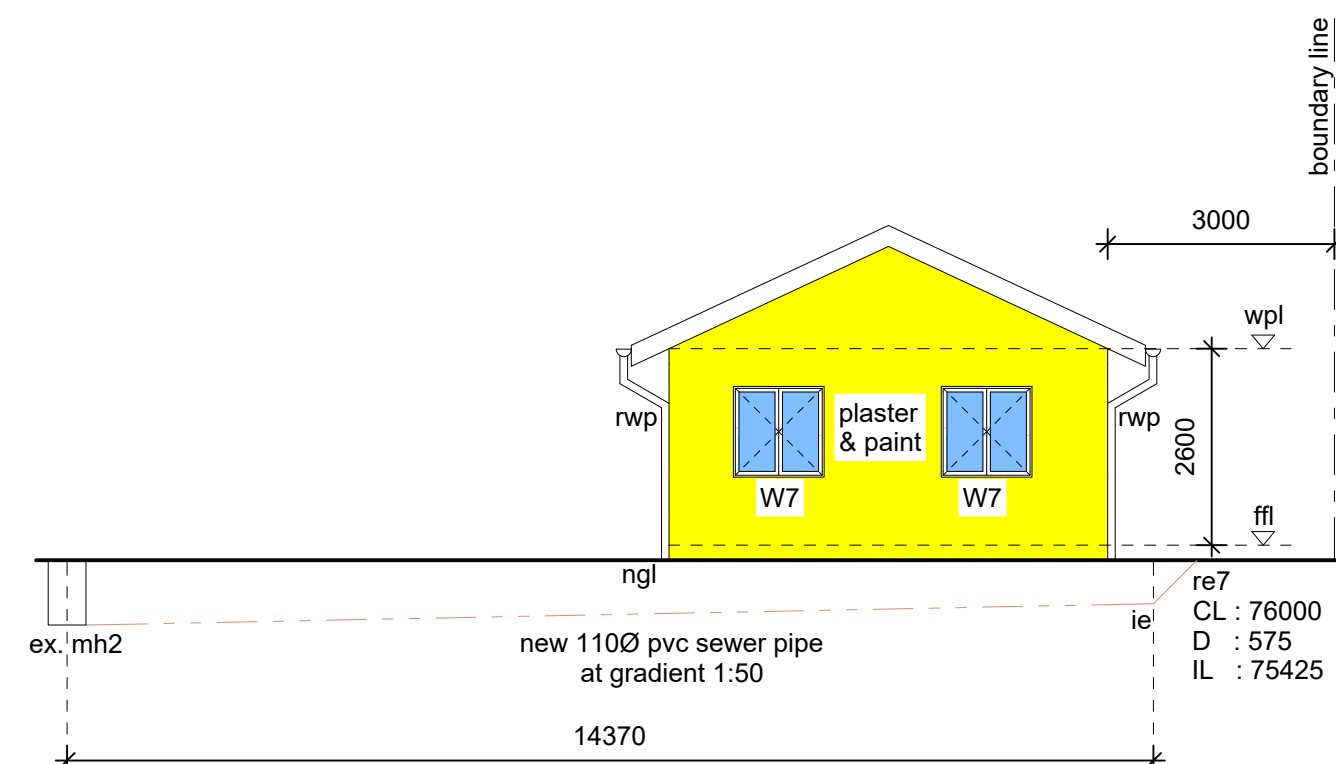
PROJECT
PROPOSED ADDITIONS & ALTERATIONS TO EXISTING MAIN DWELLING, PROPOSED SECOND DWELLING, OUTBUILDING AND BOUNDARY WALLS AT 34 ATHERSTONE PLACE, WOODLANDS, ON ERF 219 MOBENI FOR MR. G. MAJORITY

SCALE	DATE
1:100	June 2023
S.N	CHECKED BY S.N
	31/07/2023
	004/23
	LA 101
	REV.

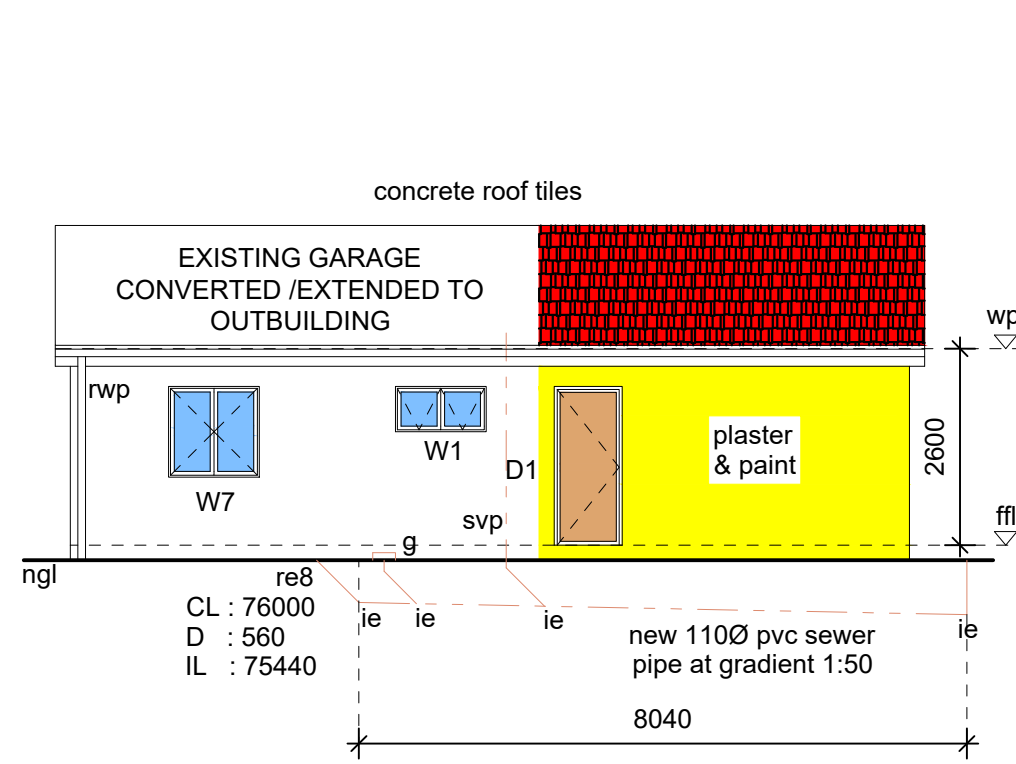
SN ARCHITECTURE

K. NAIDOO (SUMESH)
NHD ARCHITECTURE (DUT)
SACAP Reg No. : ST0307
SAIBD Reg No. : N0451
Professional Senior Architectural Technologist (PSAT)

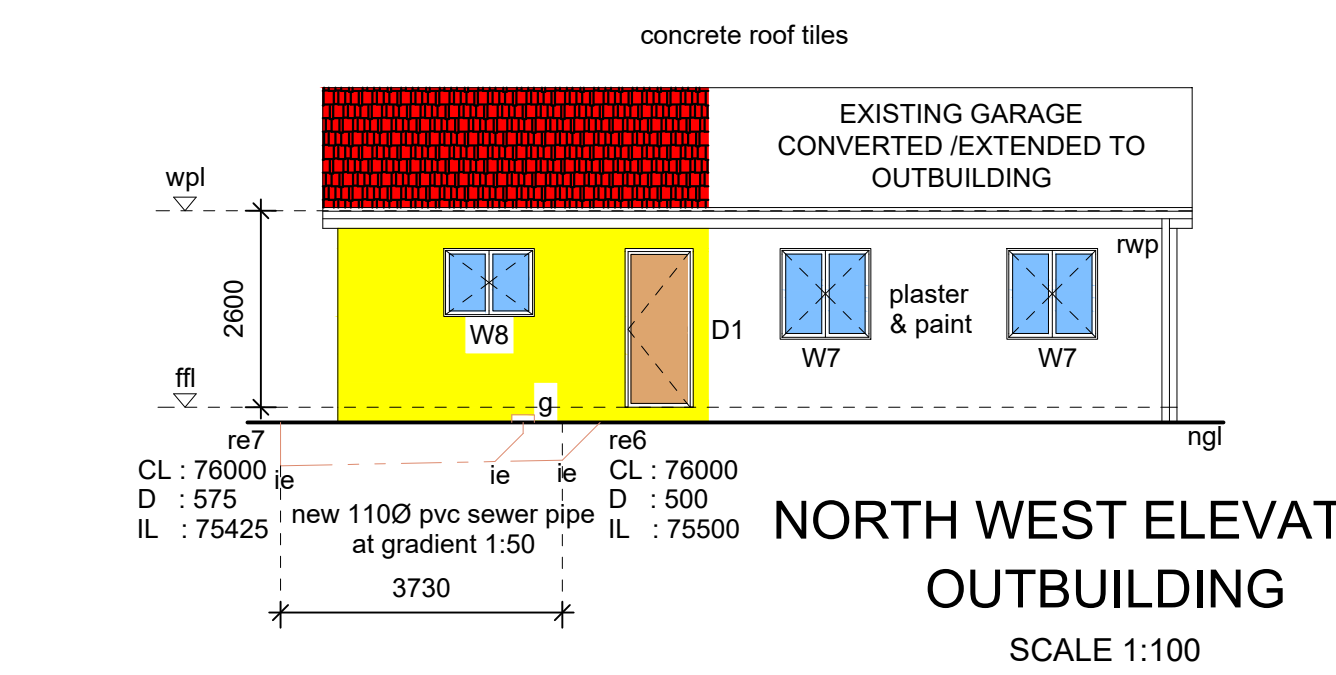
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SEA VIEW, DURBAN, 4094
E : sumesh40@gmail.com
M : 073 140 1600 / 067 144 7963



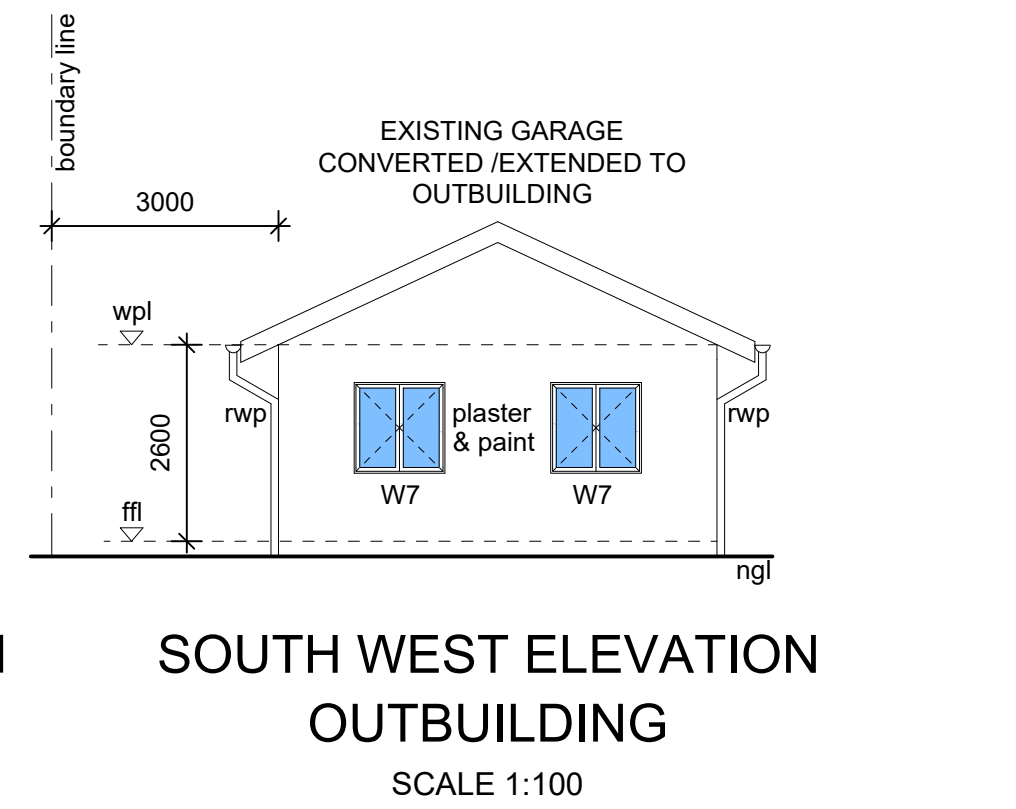
**NORTH EAST ELEVATION
OUTBUILDING**
SCALE 1:100



**SOUTH EAST ELEVATION
OUTBUILDING**
SCALE 1:100

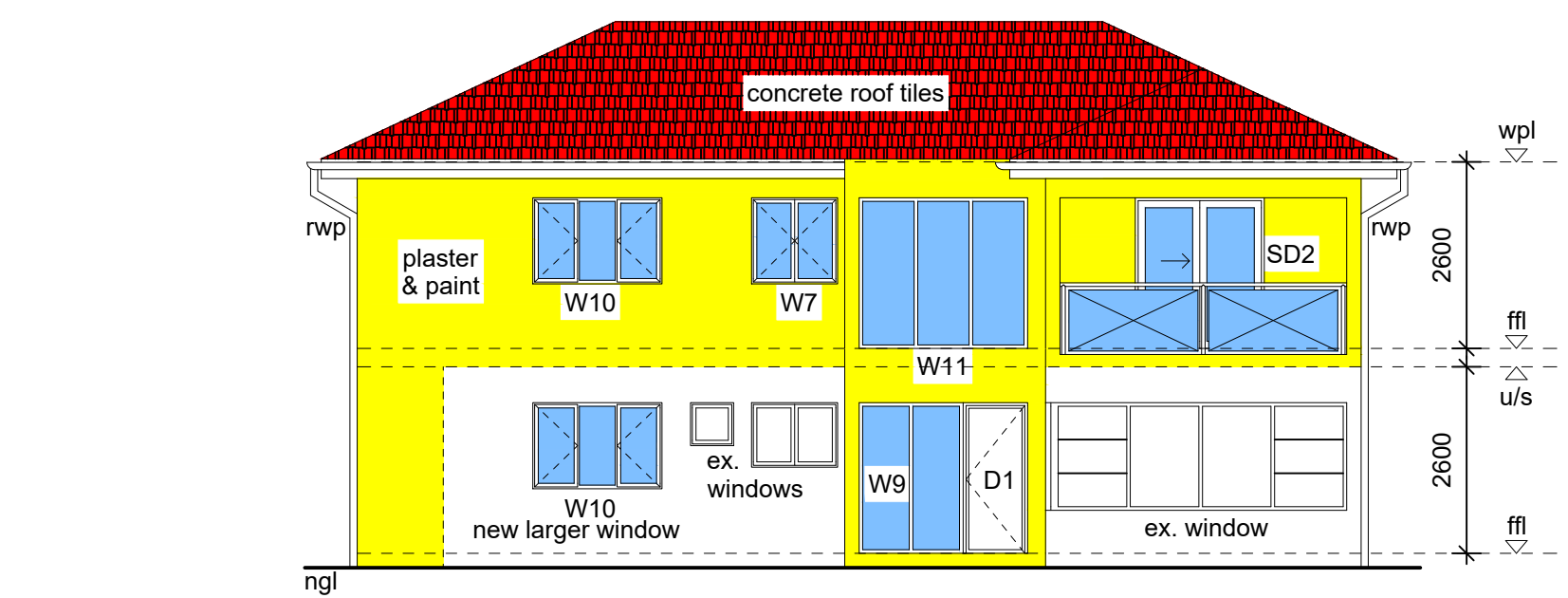
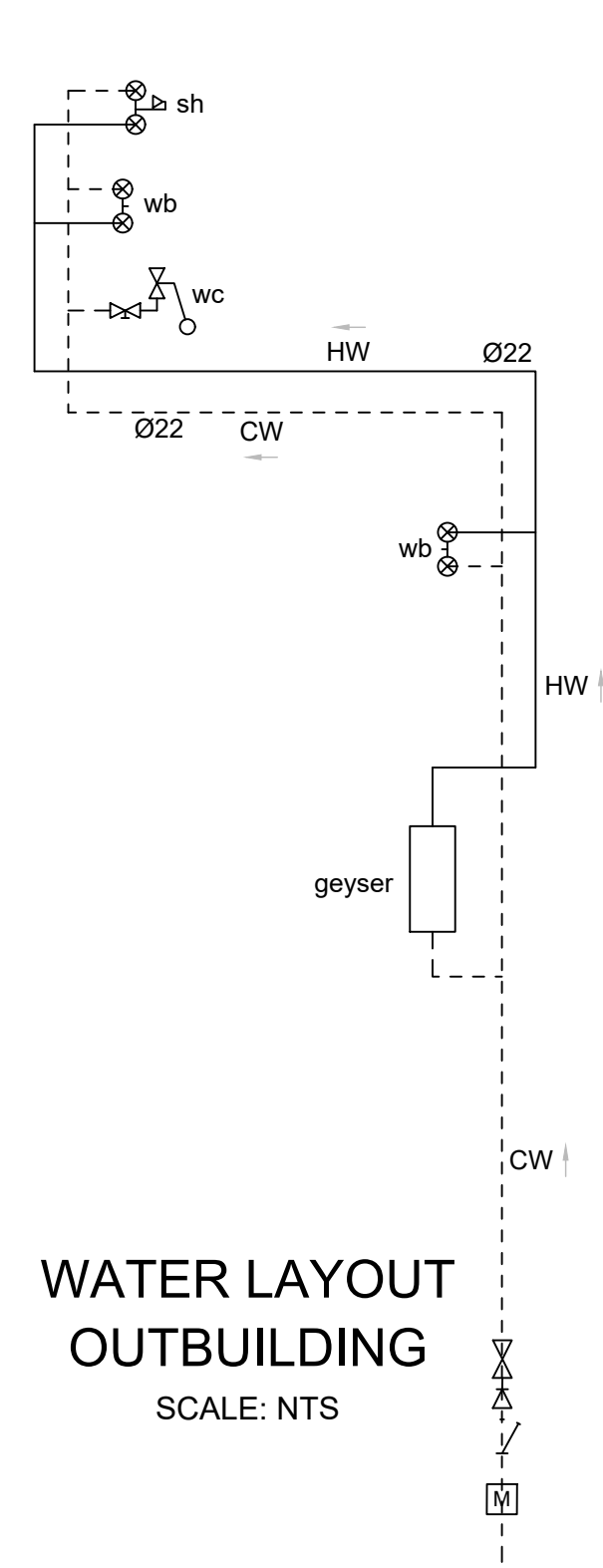


**NORTH WEST ELEVATION
OUTBUILDING**
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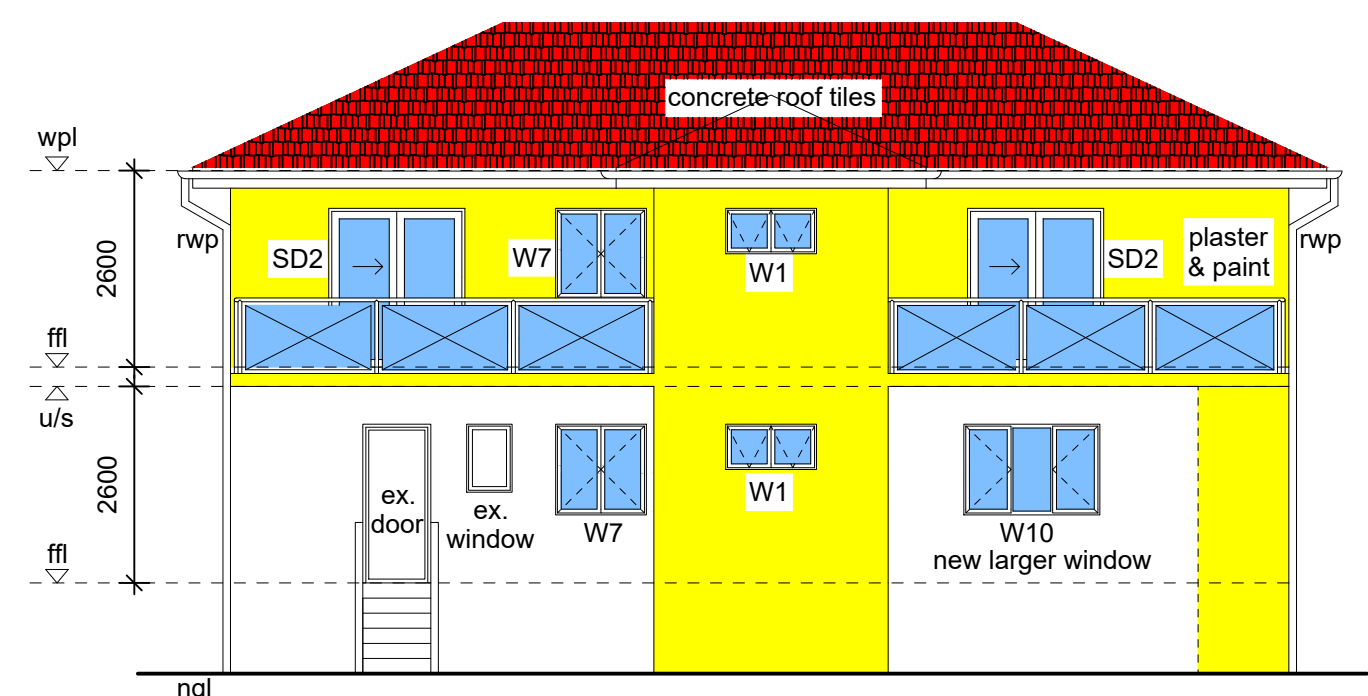


**SOUTH WEST ELEVATION
OUTBUILDING**
SCALE 1:100

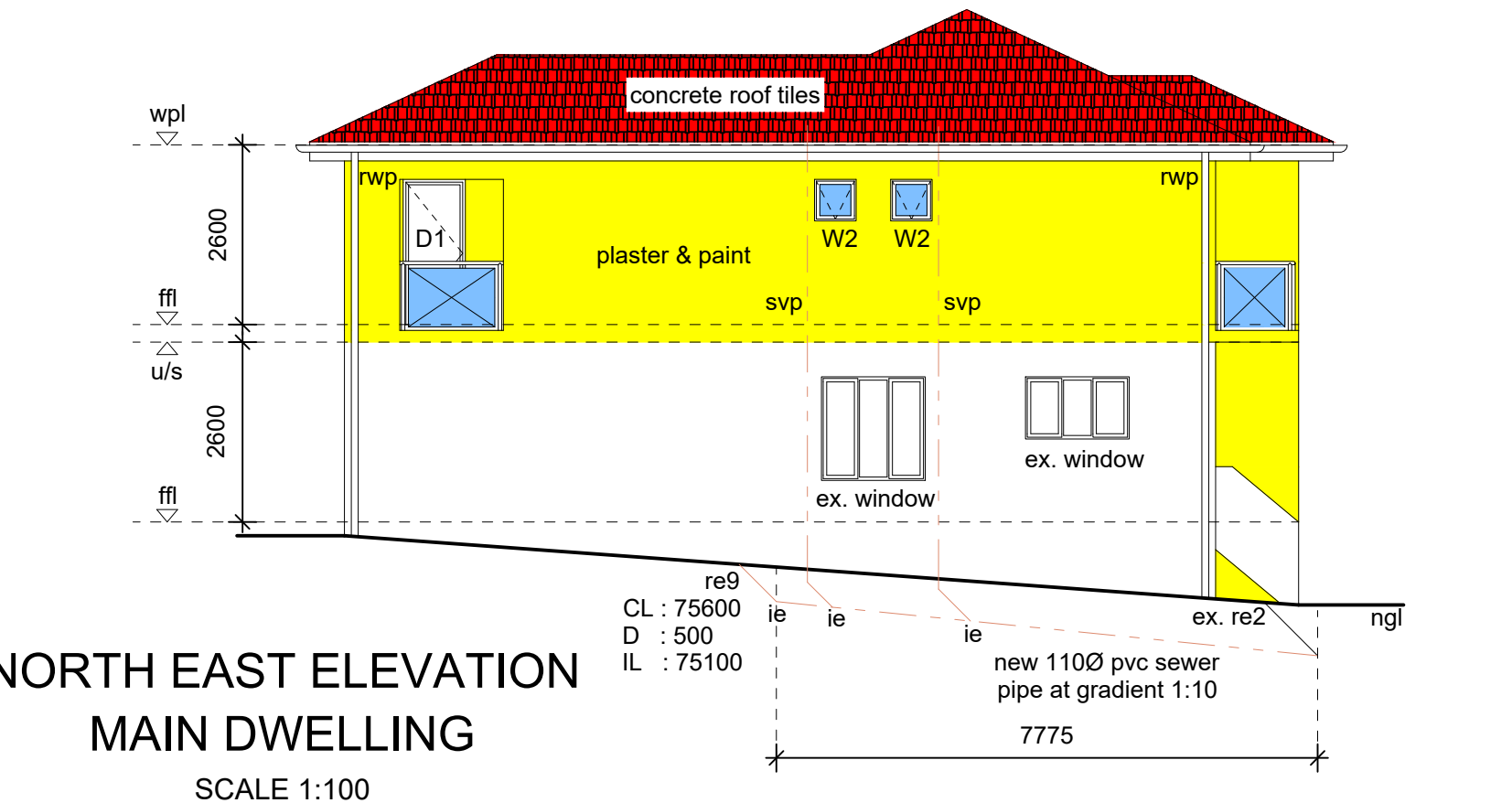
**WATER LAYOUT
OUTBUILDING**
SCALE: NTS



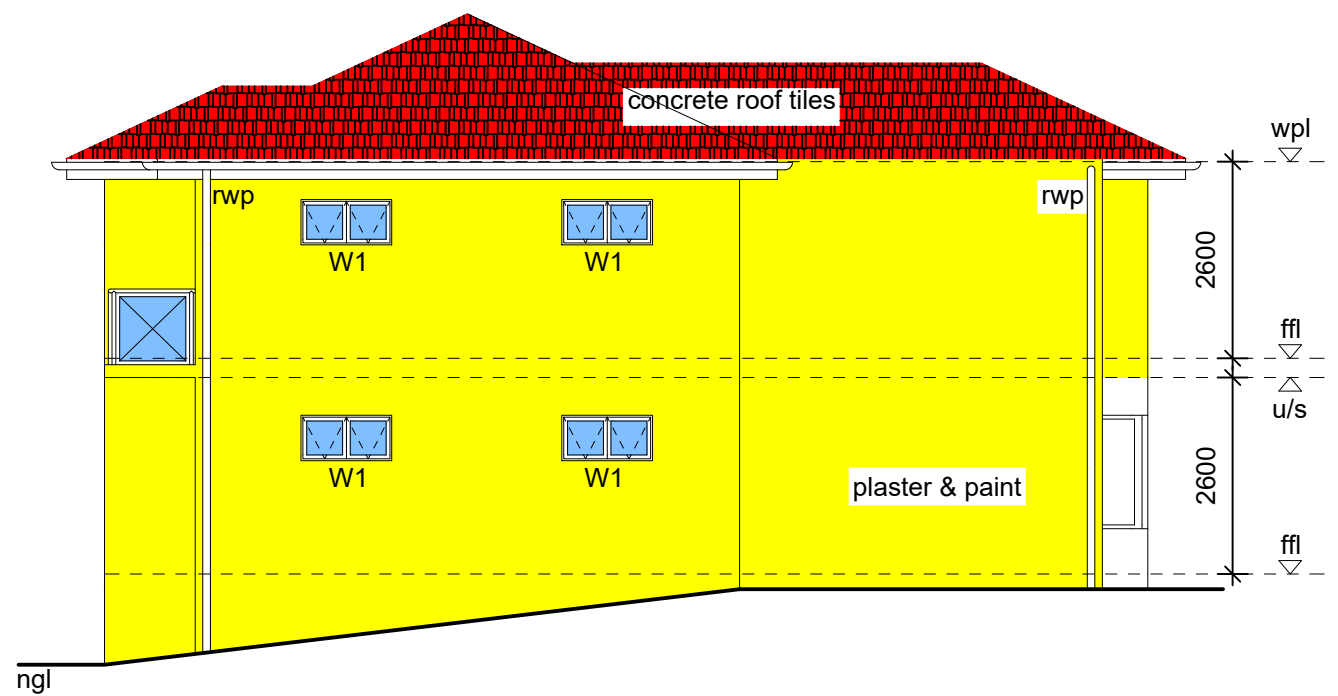
**SOUTH EAST ELEVATION
MAIN DWELLING**
SCALE 1:100



**NORTH WEST ELEVATION
MAIN DWELLING**
SCALE 1:100

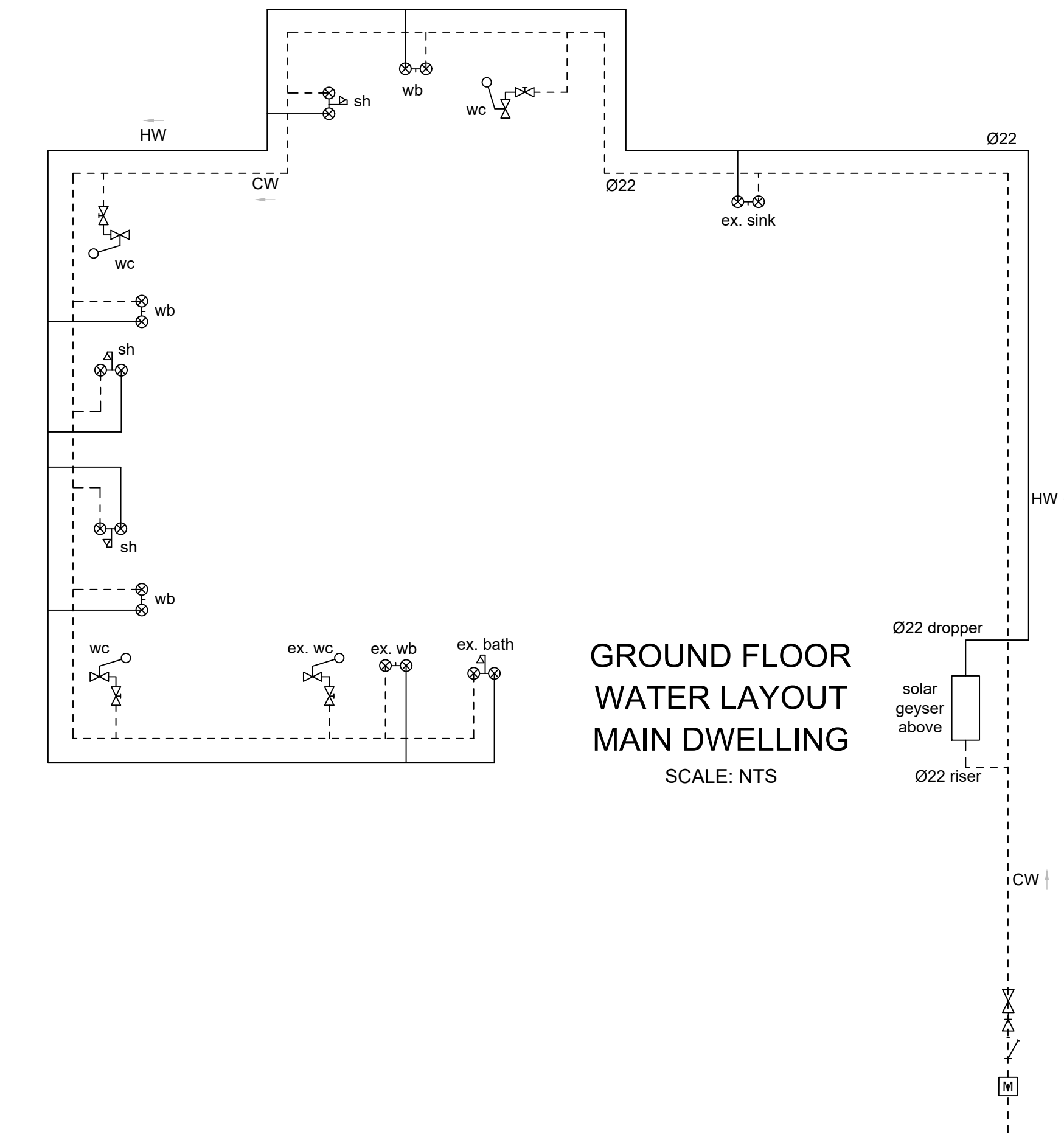


**NORTH EAST ELEVATION
MAIN DWELLING**
SCALE 1:100

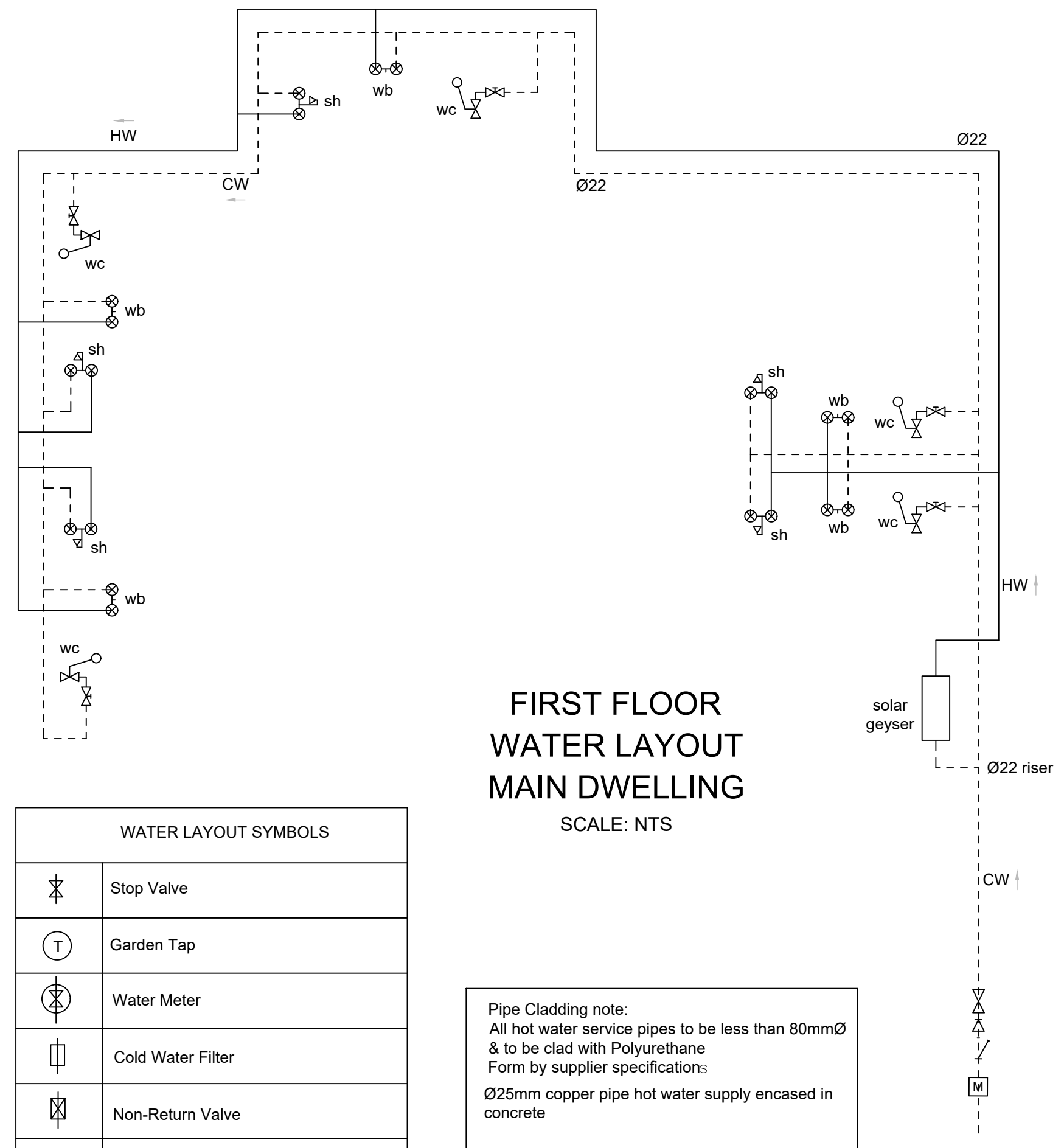


**SOUTH WEST ELEVATION
MAIN DWELLING**
SCALE 1:100

**GROUND FLOOR
WATER LAYOUT
MAIN DWELLING**
SCALE: NTS



**FIRST FLOOR
WATER LAYOUT
MAIN DWELLING**
SCALE: NTS



WATER LAYOUT SYMBOLS	
	Stop Valve
	Garden Tap
	Water Meter
	Cold Water Filter
	Non-Return Valve
	Water Pressure Regulator
C/W	Cold Water
HW	Hot Water

Pipe Cladding note:
All hot water service pipes to be less than 80mmØ & to be clad with Polyurethane Form by supplier specifications.
Ø25mm copper pipe hot water supply encased in concrete

NOTE:
A MIN OF 600KPA WATER PRESSURE TO BE MAINTAINED IN BOTH HOT AND COLD WATER SUPPLY PIPES. IT IS RECOMMENDED THAT COPPER PIPES TO BE USED FOR HOT AND COLD WATER SUPPLY.

CLIENT SIGNATURE:

AUTHOR SIGNATURE:

No.	DATE	DESCRIPTION

REVISIONS
NOTE
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PROJECT
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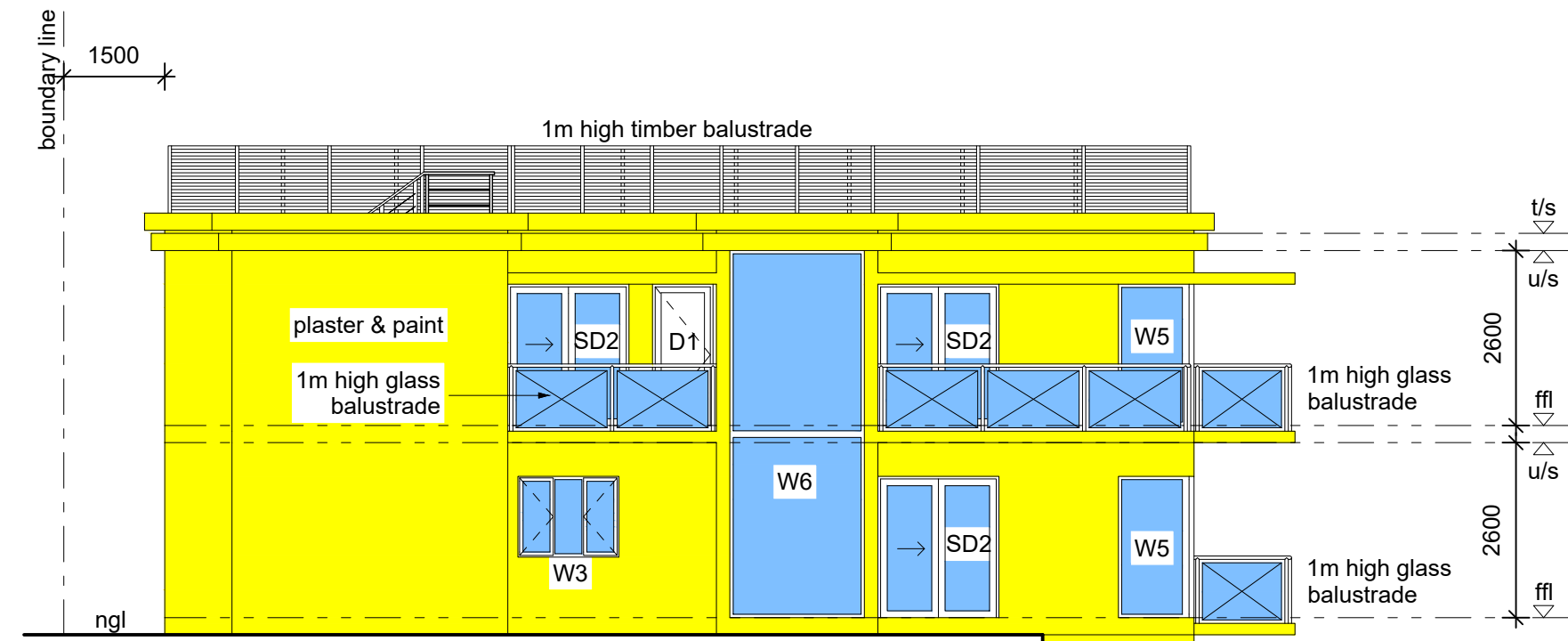
PHASE
SUBMISSION DRAWING

SCALE	1:100	DATE	June 2023
DRAWN	S.N	CHECKED BY	S.N
DATE OF PRINT	31/07/2023		
PROJECT NUMBER	004/23		
DRAWING NUMBER	LA 102	REV.	

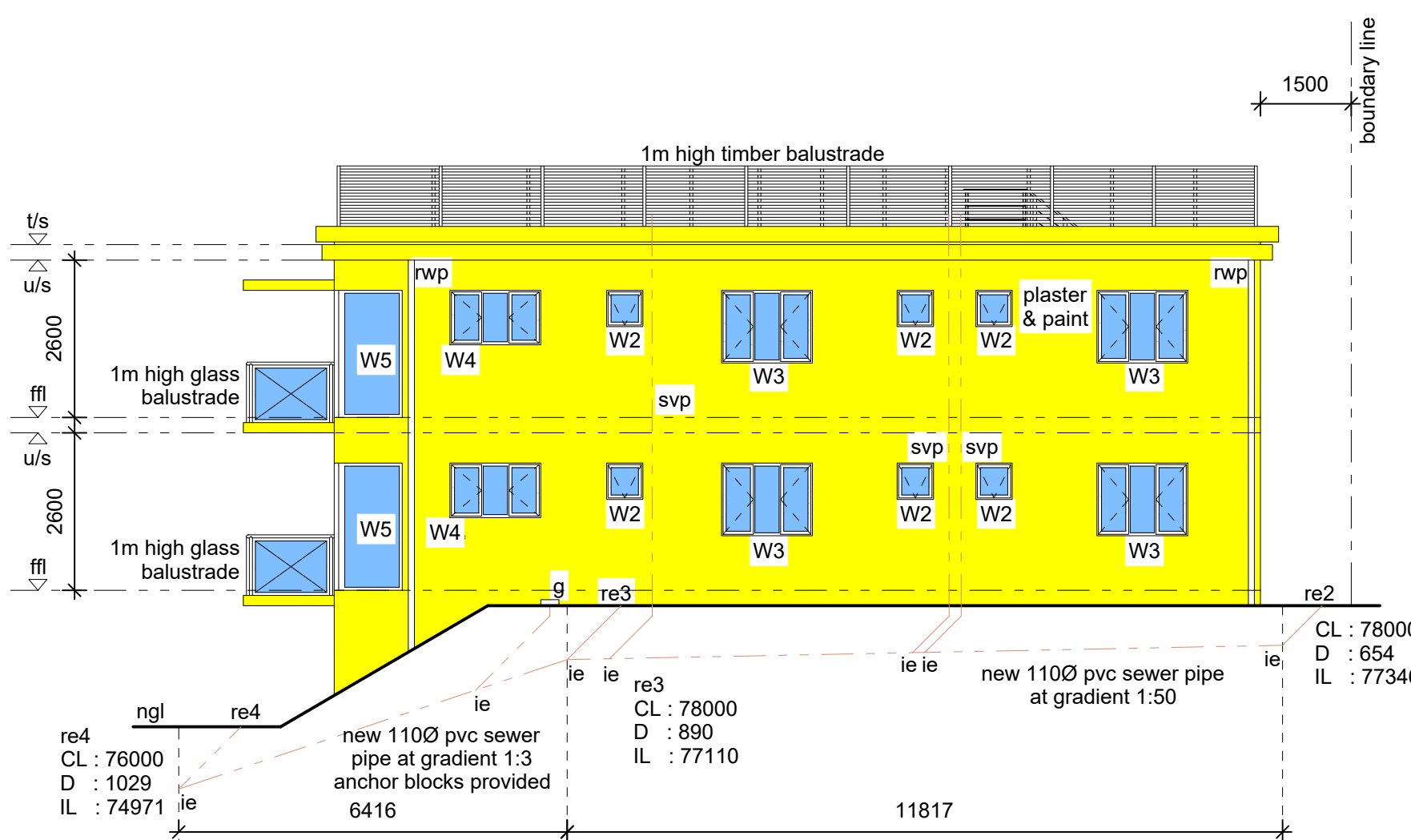
SN ARCHITECTURE

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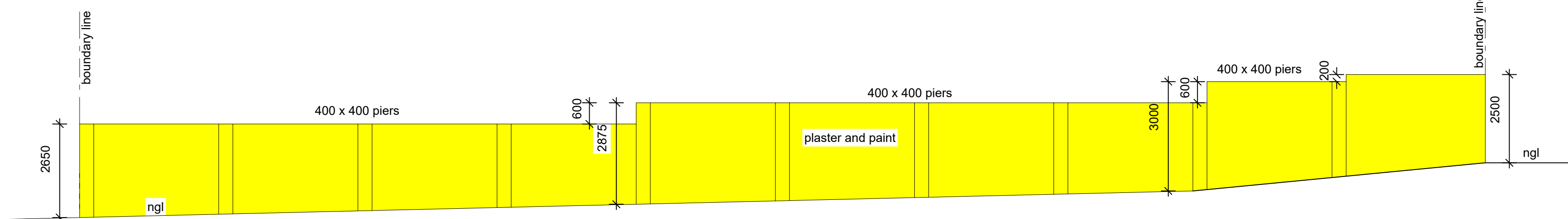
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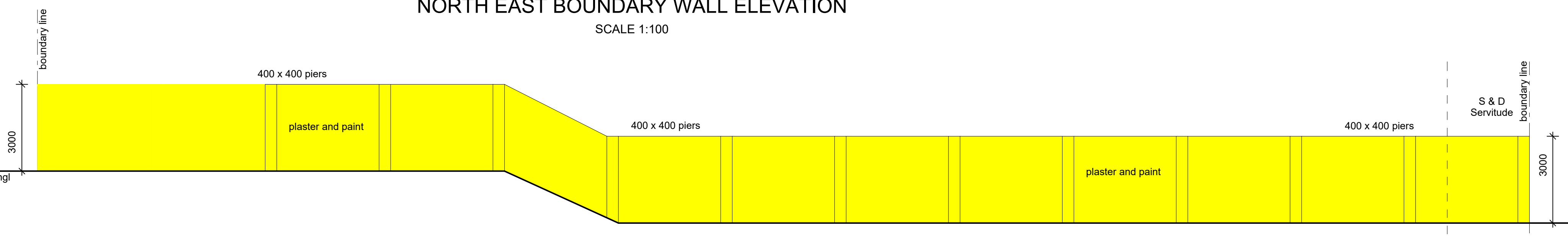
**SOUTH EAST ELEVATION
SECOND DWELLING**
SCALE 1:100



**NORTH WEST ELEVATION
SECOND DWELLING**
SCALE 1:100

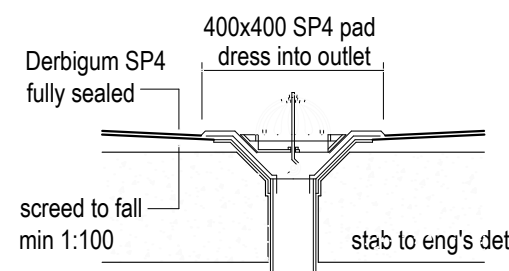


NORTH EAST BOUNDARY WALL ELEVATION
SCALE 1:100



NORTH WEST BOUNDARY WALL ELEVATION
SCALE 1:100

**FLOOR PLAN
BOUNDARY WALLS**
SCALE 1:100

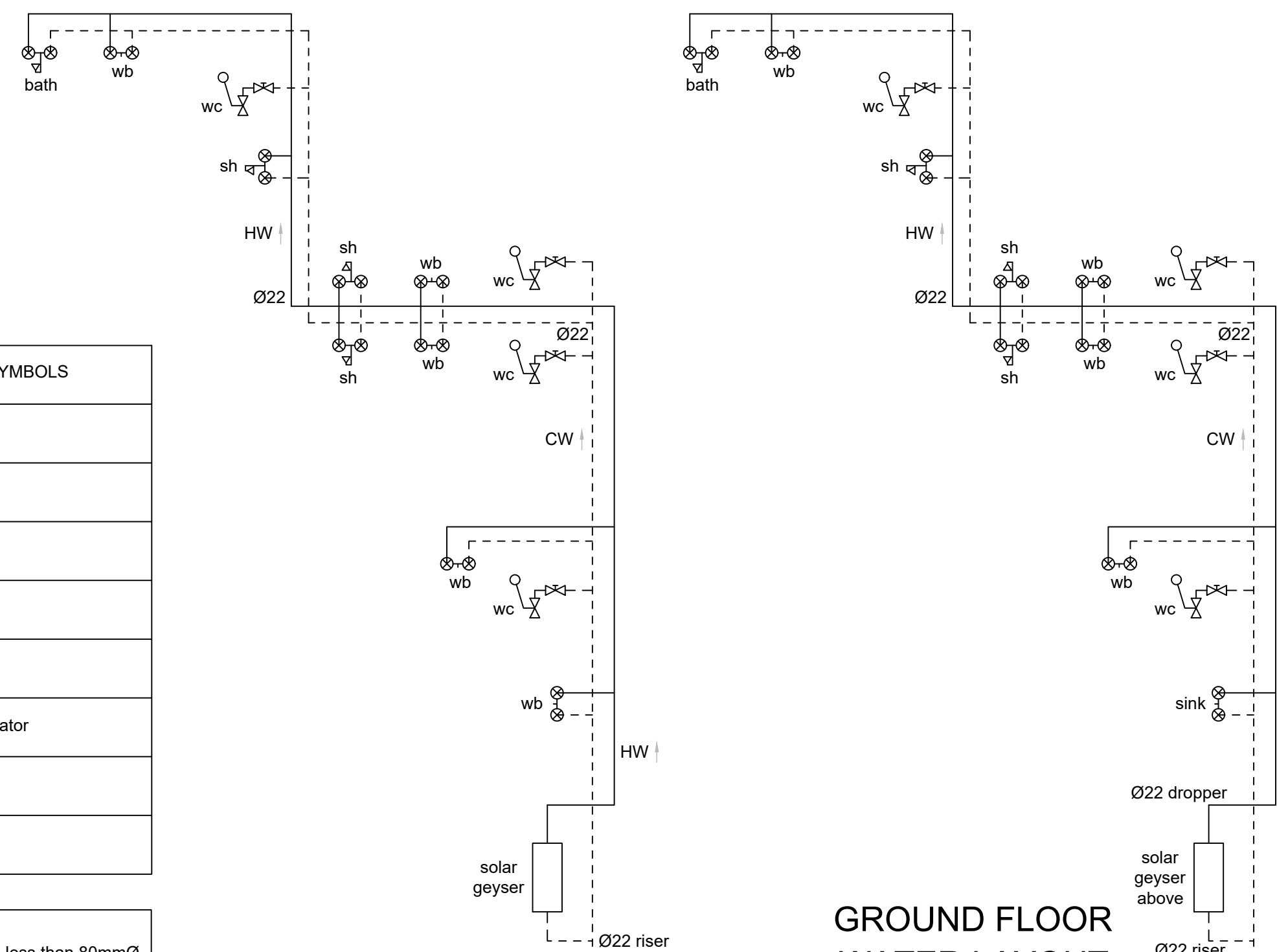


FULLBORE DETAIL
SCALE (NTS)

WATER LAYOUT SYMBOLS	
	Stop Valve
	Garden Tap
	Water Meter
	Cold Water Filter
	Non-Return Valve
	Water Pressure Regulator
C/W	Cold Water
H/W	Hot Water

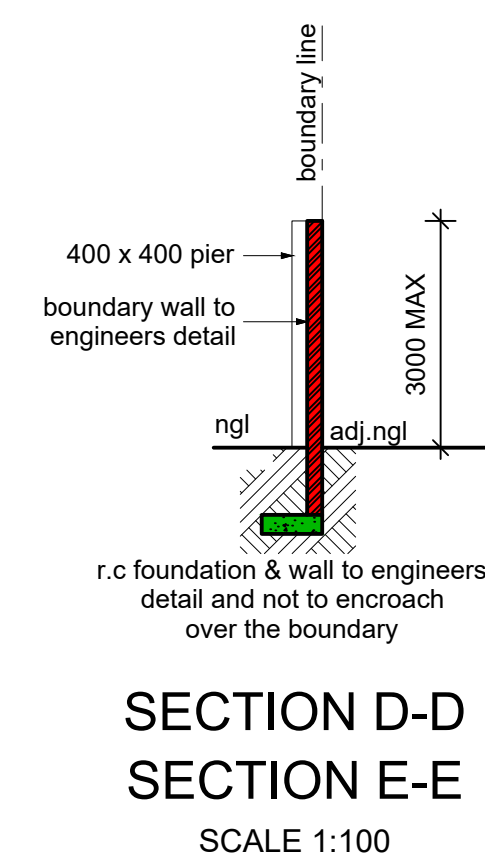
Pipe Cladding note:
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Ø25mm copper pipe hot water supply encased in concrete

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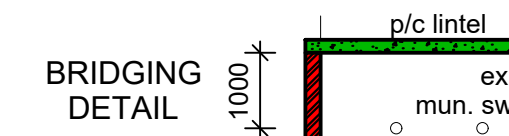


**FIRST FLOOR
WATER LAYOUT
SECOND DWELLING**
SCALE: NTS

**GROUND FLOOR
WATER LAYOUT
SECOND DWELLING**
SCALE: NTS



**SECTION D-D
SECTION E-E**
SCALE 1:100



**BRIDGING
DETAIL**

CLIENT SIGNATURE:

AUTHOR SIGNATURE:
(SACAP No. ST 0307)

No. DATE DESCRIPTION

REVISIONS

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PHASE
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SCALE	1:100	DATE	June 2023
DRAWN	S.N	CHECKED BY	S.N
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PROJECT NUMBER	004/23		
DRAWING NUMBER	LA 103		

SN ARCHITECTURE

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6 SUNSET PARK, 15 CALEDONIAN PLACE
SEA VIEW, DURBAN, 4094
E : sumesh40@gmail.com
M : 073 140 1600 / 067 144 7963

DOOR SCHEDULE - Scale 1:100		
D1	SD1	SD2
purpose made aluminium framed glazed hinged door	purpose made aluminium framed sliding door and sidelight with top hung opening out sections	purpose made aluminium framed sliding door
natural anodised aluminium	natural anodised aluminium	natural anodised aluminium
6mm toughened safety glazing	6mm toughened safety glazing	6mm toughened safety glazing
900 X 2100	3000 X 2100	1800 X 2100

WINDOW SCHEDULE - Scale 1:100											
	W1	W2	W3	W4	W5	W6	W7	W8	W9	W10	W11
window head height											
window head height											
ffl											
DESCRIPTION:	purpose made aluminium framed window with top hung opening out sections	purpose made aluminium framed window with top hung opening out section	purpose made aluminium framed window with side hung opening out sections	purpose made aluminium framed window with side hung opening out sections	purpose made aluminium framed corner window with fixed panels	purpose made aluminium framed window with fixed panels	purpose made aluminium framed window with side hung opening out sections	purpose made aluminium framed window with side hung opening out sections	purpose made aluminium framed corner window with fixed panels	purpose made aluminium framed window with side hung opening out sections	purpose made aluminium framed corner window with fixed panels
FRAME:	natural anodised aluminium	natural anodised aluminium	natural anodised aluminium	natural anodised aluminium	natural anodised aluminium	natural anodised aluminium	natural anodised aluminium	natural anodised aluminium	natural anodised aluminium	natural anodised aluminium	natural anodised aluminium
GLAZING:	6mm toughened safety glazing	6mm toughened safety glazing	6mm toughened safety glazing	6mm toughened safety glazing	6mm toughened safety glazing	6mm toughened safety glazing	6mm toughened safety glazing	6mm toughened safety glazing	6mm toughened safety glazing	6mm toughened safety glazing	6mm toughened safety glazing
SIZE:	1200 X 600	600 X 600	1500 X 1200	1500 X 900	2000 X 2100	2000 X 5455	1200 X 1200	1200 X 900	1450 X 2100	1800 X 1200	2350 X 2100

CLIENT SIGNATURE :

AUTHOR SIGNATURE :

(SACAP No. ST 0307)

No.	DATE	DESCRIPTION
REVISIONS		
NOTE		
All relevant details, levels and dimensions are to be checked on site prior to commencement of work. Any discrepancies to be brought to the attention of the author immediately.		
PROJECT		
PROPOSED ADDITIONS & ALTERATIONS TO EXISTING MAIN DWELLING, PROPOSED SECOND DWELLING, OUTBUILDING AND BOUNDARY WALLS AT 34 ATHERSTONE PLACE, WOODLANDS, ON ERF 219 MOBENI FOR MR. G. MAJORITY		
PHASE		
SUBMISSION DRAWING		
SCALE	1:100	DATE June 2023
DRAWN	S.N	CHECKED BY S.N
DATE OF PRINT	31/07/2023	
PROJECT NUMBER	004/23	
DRAWING NUMBER	LA 104	REV.

SN ARCHITECTURE

K. NAIDOO (SUMESH)
 NHD ARCHITECTURE (DUT)
 SACAP Reg No : ST0307
 SAIBD Reg No : N0451
 Professional Senior Architectural Technologist (PSAT)

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