

In pursuance of section 67 of the Town Planning Ordinance 27 of 1949 (as amended) the abovementioned development of land/buildings is hereby authorised subject to the following specific conditions:-

- The use of portion of the proposed garage/private workshop building as a pottery studio being personal to Mrs C Hook and being carried on as an ancillary use to the residential occupation of the dwelling by Mrs C Hook and her family.
  - The provision of two parking bays on the site to the satisfaction of the Executive Director (Physical Environment).
  - Pottery classes shall only operate between the hours of 15:00 and 16:00 on a Monday and Friday and the number of children attending such classes shall not exceed eight at any one time.
  - No external advertising is permitted without the prior approval of the Executive Director (Physical Environment).
- N.B. Attention is drawn to the provisions of clause 7(7) of the Town Planning Scheme Regulations, a copy of which is attached.

The Council may, where it is of the opinion that the carrying on of any profession or occupation within any Special Residential, Maisonette, Extended Residential, Duplex or General Residential use zone is causing an interference with the amenities of the neighbourhood, by not less than 30 days notice in writing to the person carrying on such profession or occupation, call upon him to remove the cause of such interference or to discontinue such use, notwithstanding that the Council has granted its authority for such use in terms of this clause or any similar provision in any other Town Planning Scheme in operation prior to the date of introduction of this Scheme.

"It should be noted that this plan has been approved on the basis of information thereon."

"A. The author of the plan is responsible for:-  
 (1) showing on the application drawings:  
 (a) the correct level of entry into DC services, drains and/or channels at discharge points, at a maximum depth of 0,250 metres below finished floor level.  
 (2) showing an attachment area DC services or DC underground services.  
 B. Footings shall be:-  
 (1) in accordance with the link of the residential subsoil or  
 (2) to be certified by the use of the following formulae:  $F = 0,150m \times D$   
 (where F = footing, D = level of water at finished floor level).  
 C. A concrete base at the correct finished floor level is to be provided at each entrance/exit at the area grade as the curb or road.  
 D. No change in level over DC services or DC underground services is permitted without the prior written approval of the Executive Director (Physical Environment)."

SHEET 11 COPY 3  
**CITY OF DURBAN**  
 PLAN NUMBER  
 0760-03-03-4  
 APPROVED: R. A. MOORE  
 EXECUTIVE DIRECTOR: PHYSICAL ENVIRONMENT SERVICE UNIT  
 1993/03/05

**ELECTRICITY SERVICES**  
 Any person undertaking building operations in accordance with his plan is required to ascertain from the Executive Director, Electricity Department,  
 1) The location of any electrical Services and services in the vicinity of the proposed works.  
 2) Departmental requirements regarding Substation, Meter rooms and Cables ports.

DEVELOPMENT CONTROL DEPARTMENT  
 TOWN PLANNING AUTHORITY  
**GRANTED/NOT GRANTED**  
 GRANTED: subject to the attached conditions  
 EXEC DIR. (Physical Environment) *Collette A.*  
 Town Planning Appeals Committee

ALL GLAZING TO COMPLY WITH PART NN2 AND NN3 OF SABS 0400.

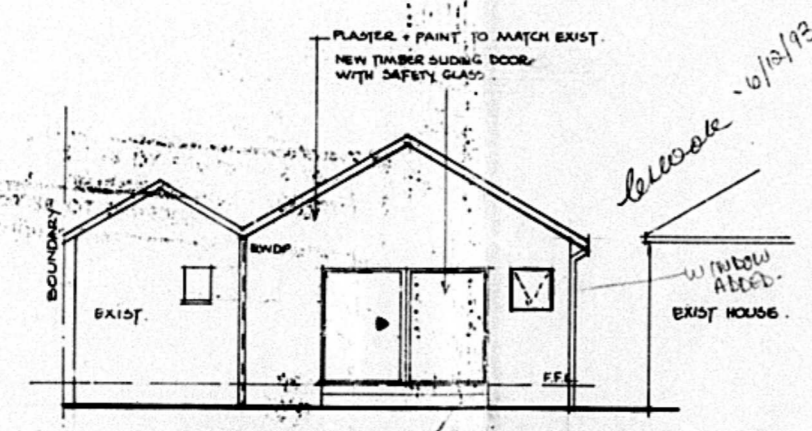
SUBDIVISION AND DEVELOPMENT SECTION  
**SITE PLAN CHECKED**  
*E 22/3/92*

PROPOSED NEW GARAGE AND PRIVATE WORKSHOP (POTTERY) FOR MR. G. HOOK AT 34 KELVIN PLACE, DURBAN NORTH

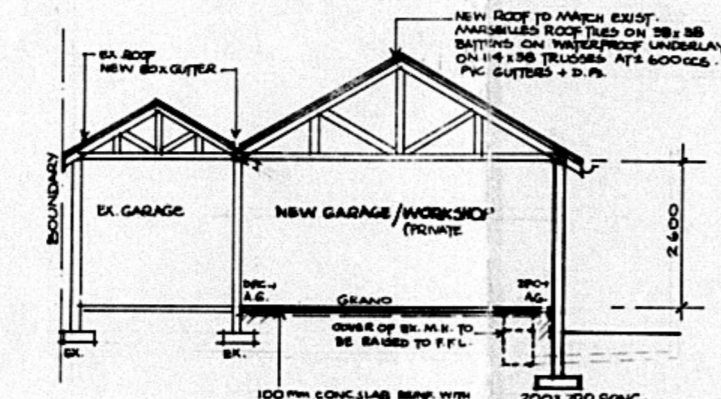
SUB 68 OF LOT 39 DURBAN NORTH

*M. Golden*  
**Moir Golden**  
 Architectural Drafting  
 24 Ashley Avenue, Glenolay, Durban 4051  
 Ph: 031-525184

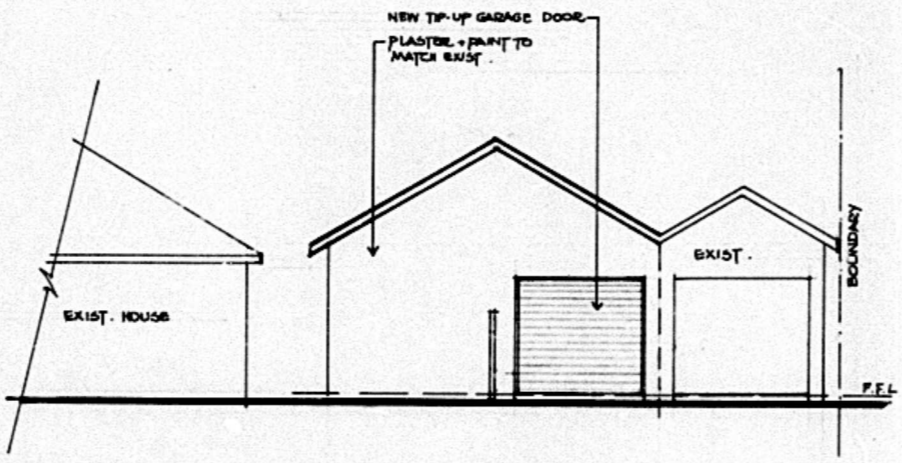
DATE: MARCH 93 SCALE: 1:100/1:500  
 DRAWN: MTG DWG NO: 6/93



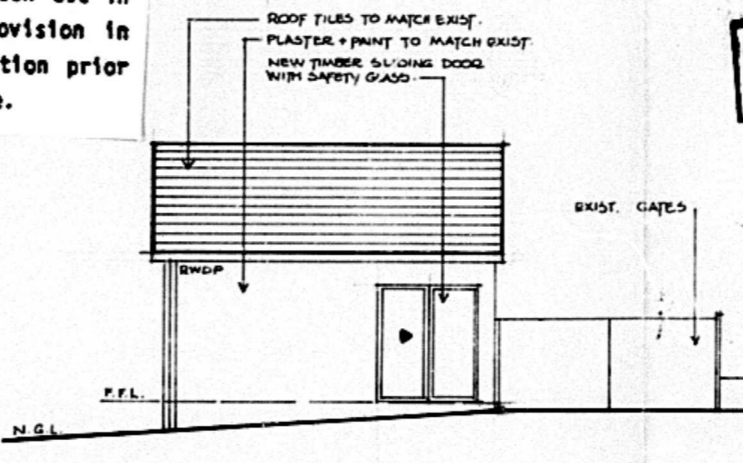
● EAST ELEVATION



● SECTION AA



● WEST ELEVATION



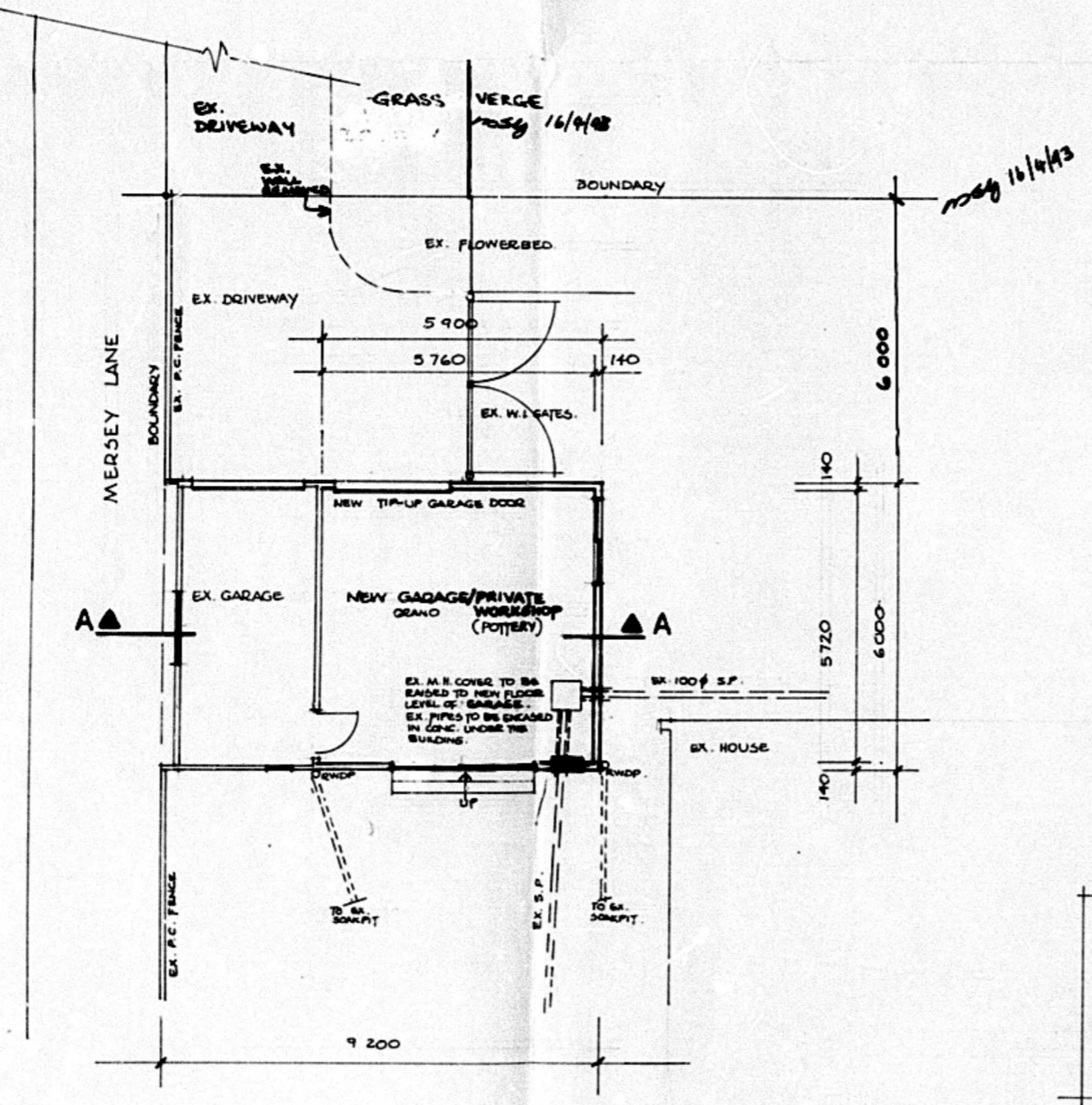
● NORTH ELEVATION

**ROOF STRUCTURE TO BE TO EMPIRICAL RULES OR DESIGNED BY ENGINEER**

GLAZING TO BE 1m<sup>2</sup> FOR EVERY 40m<sup>2</sup> OF ROOFED AND HARDENED AREA

**AS BUILT**  
 1994/03/02  
*P.A. Smith*

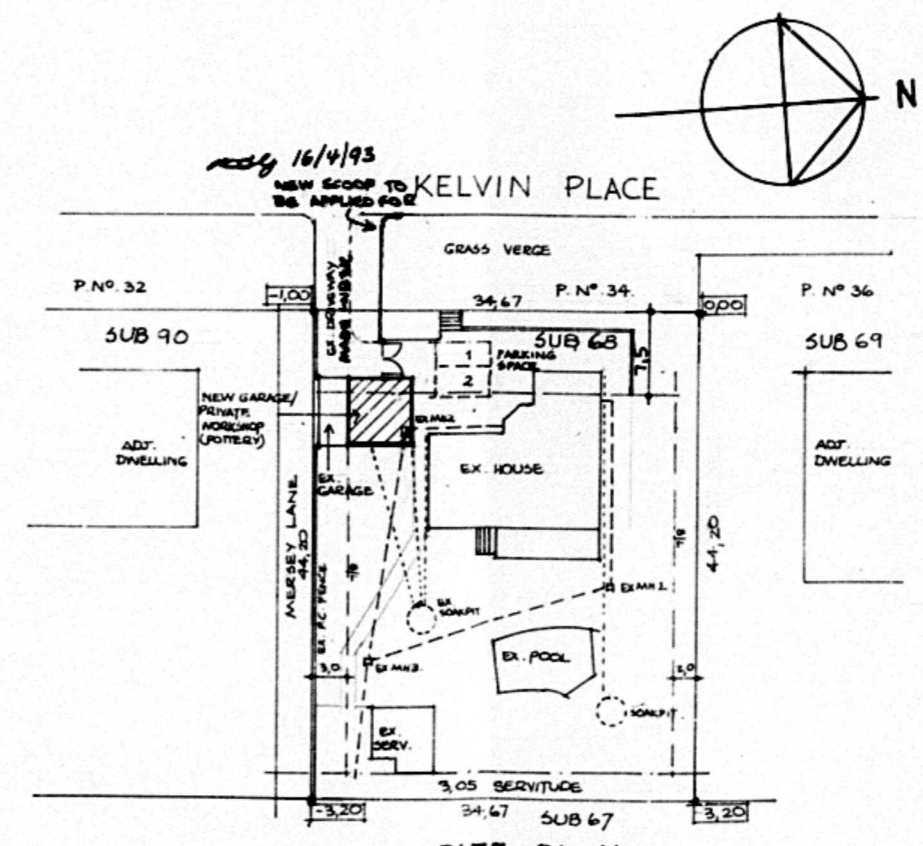
**GENERAL NOTES:**  
 ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO COMMENCING BUILDING OR ORDERING MATERIALS.  
 USE FIGURE DIMENSIONS IN PREFERENCE TO SCALING.  
 ALL GLAZING TO COMPLY TO PART NN2 + NN3 OF SABS 0400. SAFETY GLASS TO ALL SLIDING DOORS.



● PLAI.

AREAS: IN M <sup>2</sup>	
EXIST. HOUSE	190.00
EXIST. GARAGE	18.00
EXIST. SERVANTS	28.50
<b>TOTAL EXIST.</b>	<b>236.50</b>
NEW GARAGE	35.40

① EAST ELEVATION CHANGED, WINDOW ADDED AND SIDELIGHTS OMITTED.



● SITE PLAN: 1:500  
 SUB 68 OF LOT 39 DURBAN NORTH