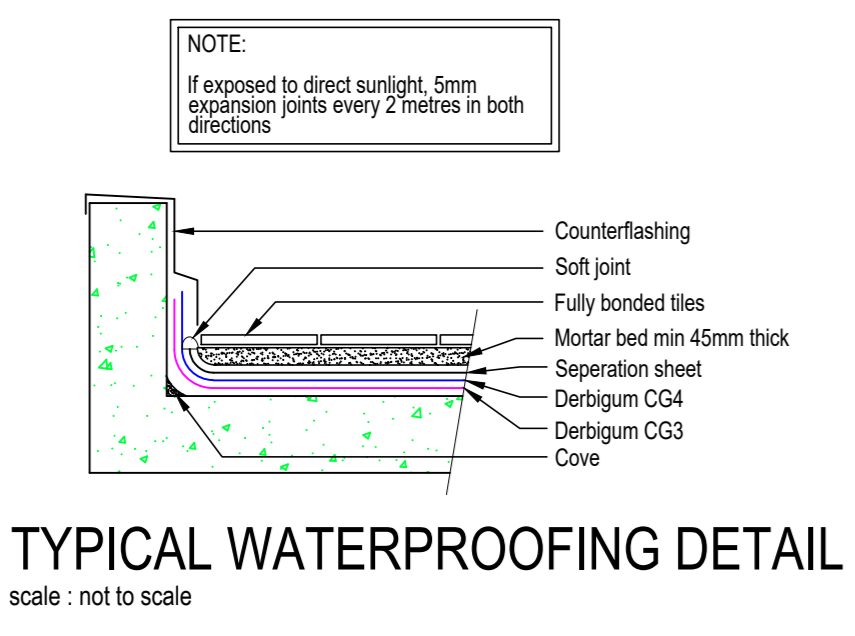


**GROUND FLOOR & SITE PLAN**  
scale 1:100



**TYPICAL WATERPROOFING DETAIL**  
scale: not to scale

**FIRE NOTES:**  
TO COMPLY WITH SANS 10400 PART 2 OCCUPANCY CLASSIFICATION - H3 SAFETY DISTANCES TO COMPLY WITH 4.2 FIRE STABILITY OF STRUCTURAL ELEMENTS OR COMPONENTS TO COMPLY WITH 4.7 PROTECTION OF OPENINGS TO COMPLY WITH 4.10 ROOF ASSEMBLY AND COVERINGS TO COMPLY WITH 4.12 PROVISION OF ESCAPE ROUTES TO COMPLY WITH 4.16 EXIT DOORS TO COMPLY WITH 4.17 EMERGENCY ROUTES TO COMPLY WITH 4.19 DIMENSIONS OF COMPONENTS OF ESCAPE ROUTES TO COMPLY WITH 4.20 WIDTH OF ESCAPE ROUTES TO COMPLY WITH 4.21 PROVISION AND MAINTENANCE OF FIRE-FIGHTING EQUIPMENT, INSTALLATIONS AND FIRE PROTECTION SYSTEMS TO COMPLY WITH 4.32 WATER RETICULATION FOR FIRE-FIGHTING PURPOSES TO COMPLY WITH 4.33 FIRE HOSE REELS TO COMPLY WITH 4.34 PORTABLE FIRE EXTINGUISHERS TO COMPLY WITH 4.37 FIRE STOPPING OF INACCESSIBLE CONCEALED SPACES TO COMPLY WITH 4.39 ACCESS FOR FIRE-FIGHTING AND RESCUE PURPOSES TO COMPLY WITH 4.54 BUILDING MATERIALS TO COMPLY WITH 4.56

**GENERAL NOTES - WINDOWS**  
ALL ALUMINUM TO BE 25mm ALUMINUM POWDER COATED TO CLIENT'S CHOICE  
ALL ALUMINUM TO BE PROVIDED WITH PROTECTIVE TAPE WHILE SIT WORK IS IN PROGRESS  
ALL GLAZING TO COMPLY WITH AAAMSA & SAAGA REGULATION  
ALL GLAZING TO BOTTOM RAIL TO BE SILICONE SEALED PRIOR TO FIXING OF GLAZING BEAD  
CONTRACTOR TO ALLOW FOR SEALING OF ALL DOOR AND WINDOW FRAME SURROUNDS  
SILICONE TO BE APPLIED TO UNDERSIDE OF SCREW HEADS PRIOR TO FIXING.  
ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE AND ANY DISCREPANCIES IS TO BE REFERRED TO THE AUTHOR PRIOR TO ANY MANUFACTURING.

**ELECTRICAL KEY**

20 WATT CEILING MOUNTED LIGHT FITTING  
20 WATT CEILING MOUNTED FLUORESCENT LIGHT FITTING

**ENERGY EFFICIENCY (UNIT 1 & 3)**

LAMP POWER RATING (W)	NO. OF LAMPS	HOURS IN USE/DAY
20	5	5
PERMITTED (W) PER SQM = 5 W		
TOTAL AREA = 72.75 SQM		
ACCEPTABLE LIGHTING REQUIREMENTS = 464.55 W		
LIGHTING PROVIDED		

**ENERGY EFFICIENCY (UNIT 2 & 4)**

LAMP POWER RATING (W)	NO. OF LAMPS	HOURS IN USE/DAY
20	5	5
PERMITTED (W) PER SQM = 5 W		
TOTAL AREA = 72.75 SQM		
ACCEPTABLE LIGHTING REQUIREMENTS = 363.75 W		
LIGHTING PROVIDED		

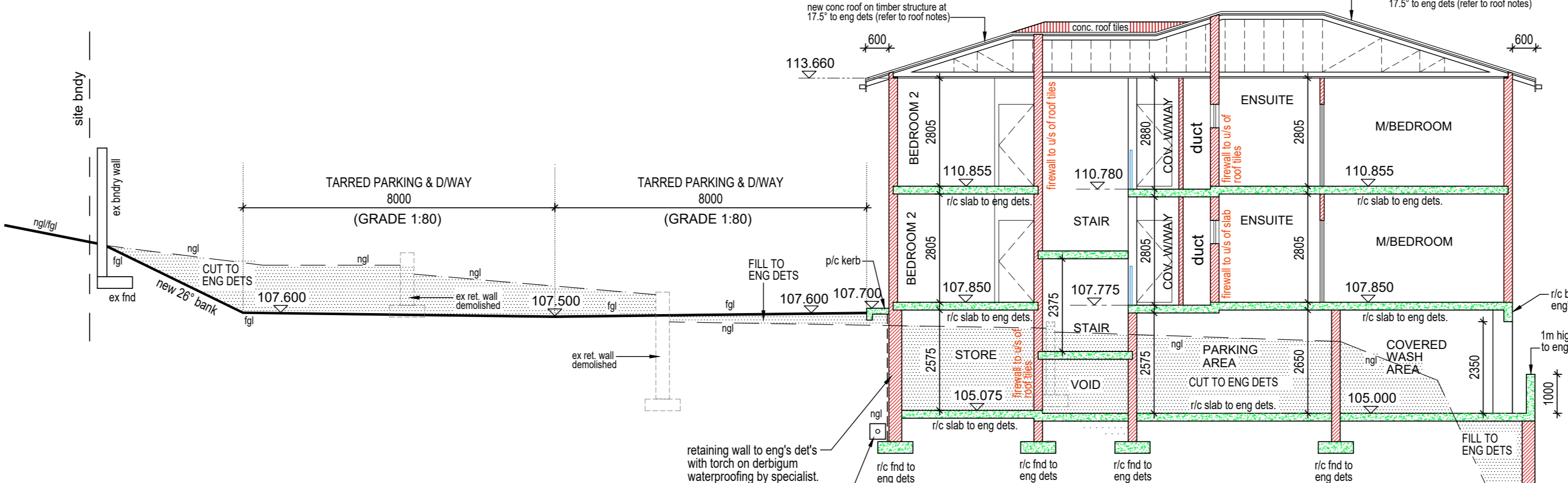
**PART XA : UNIT 1 & 3**  
AREA - (excl int. walls) = 92.91sqm  
GLAZING PERMITTED (15%) = 13.93sqm  
GLAZING PROVIDED = 12.96sqm (UNDER 15%)  
Total glazing area provided is under 15% of Floor Area therefore do not need XA calculations

**PART XA : UNIT 2 & 4**  
AREA - (excl int. walls) = 72.75sqm  
GLAZING PERMITTED (15%) = 10.91sqm  
GLAZING PROVIDED = 10.44sqm (UNDER 15%)  
Total glazing area provided is under 15% of Floor Area therefore do not need XA calculations

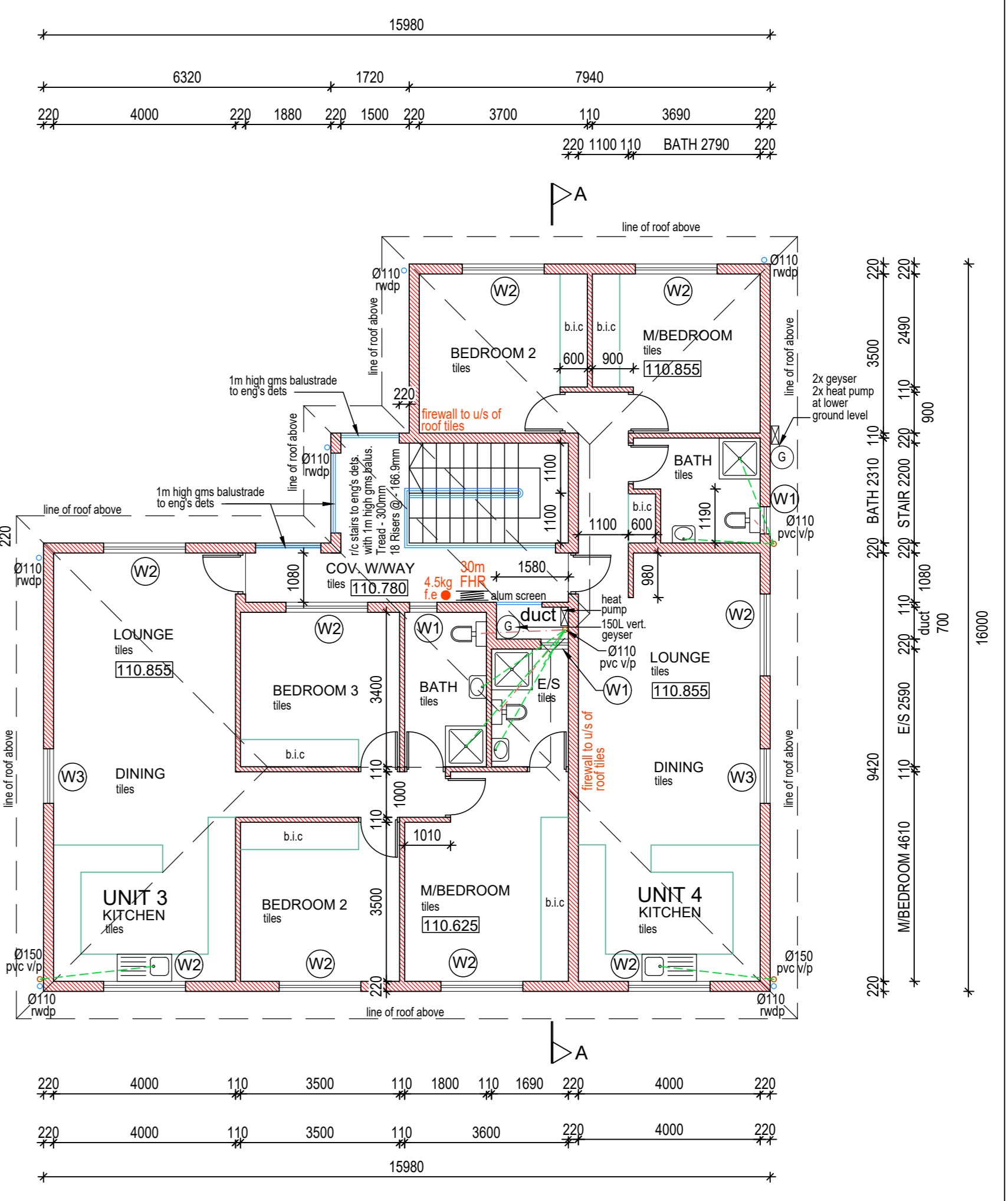
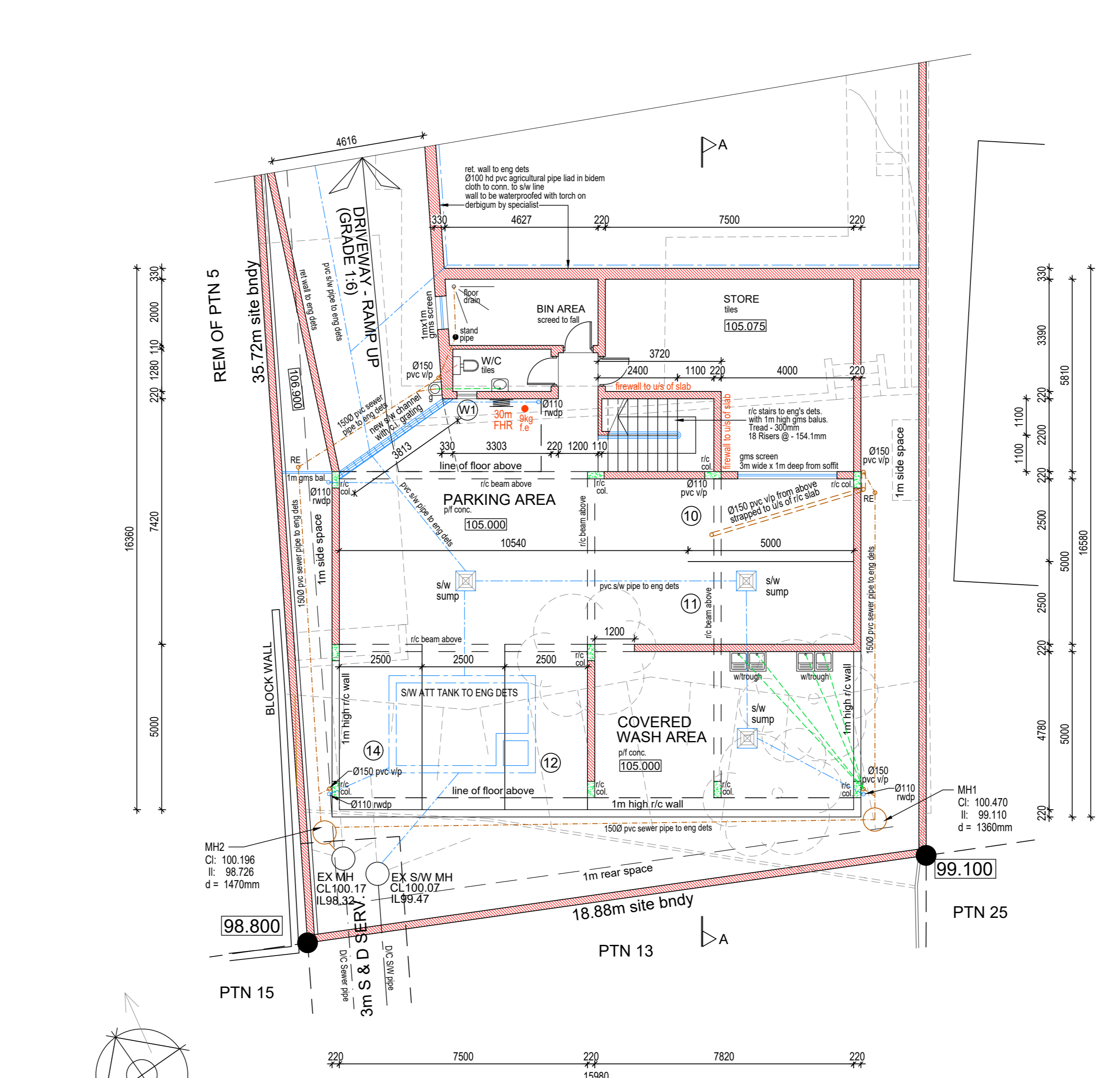
**WINDOW SCHEDULE**  
scale: 1:100

LOCATION	W1 - An 0.36sqm	W2 - An 2.16sqm	W3 - An 1.44sqm
TYPE	25mm ALUMINUM POWDER COATED COLGAR TO BE CONFIRMED ON SITE WITH ARCHITECT	25mm ALUMINUM POWDER COATED COLGAR TO BE CONFIRMED ON SITE WITH ARCHITECT	25mm ALUMINUM POWDER COATED COLGAR TO BE CONFIRMED ON SITE WITH ARCHITECT
GLAZING	4mm TOUGHENED OBSCURE GLASS	6mm LAMINATED SAFETY GLASS	4mm TOUGHENED CLEAR GLASS
QUANTITY	REFER TO FLOOR PLAN	REFER TO FLOOR PLAN	REFER TO FLOOR PLAN

**SECTION A-A & DWAY SECTION**  
scale 1:100



**LOWER GROUND FLOOR PLAN**  
scale 1:100



**FIRST FLOOR PLAN**  
scale 1:100

**GEOTECH NOTE:**  
SITE CLASSIFICATION -

**SCHEDULE OF AREAS**  
ZONING - SR180

SITE AREA	= 768sqm
permitted coverage (75%)	= 576sqm
proposed coverage	= 210.4sqm
permitted f.a.r (N/A)	= N/A
proposed lower ground floor f.a.r	= 210.4sqm
proposed first floor f.a.r	= 210.4sqm
total proposed f.a.r	= 480.2sqm
Proposed Area for Fee Calculations	= 660.7sqm

**PARKING SCHEDULE**

no. of 3 bedroom units	= 2 units
no. of parking bays req. @ 2 bays /unit	= 4 bays
no. of 2 bedroom units	= 2 units
no. of parking bays req. @ 1.5 bays /unit	= 3 bays
total no. of parking bays required	= 7 bays
total no. of parking bays provided	= 14 bays

**GENERAL SPECIFICATIONS**

**TILED ROOF:**  
ROOF FITCH: 17.5°  
DOUBLE ROMAN CONCRETE ROOF TILES ON 38x38mm TIMBER BATTENS AT MAX. 400mm CENTRES ON GRADE 400 LIGHT INDUSTRIAL SIALATION ON 114x38mm TIMBER TRUSSES AT MAX. 700mm CENTRES ON 114x38mm TIMBER WALLPLATE. TO BE TIED DOWN 4 COURSES INTO BRICKWORK WITH GALVANISED HOOP IRON. ROOF OVERHANGS TO MATCH EXISTING. ROOF STRUCTURE TO BE TO ENGINEERS DESIGN. ALL LEAVES TO BE EXPOSED.

**CEILING:**  
8-4mm CYPRUM RHINOBOARD CEILING FIXED TO UNDERSIDE OF ALUMINUM HANGERS BY SPECIALIST.

**WALLS:**  
EXTERNAL - 220mm BRICKWORK & PLASTER & PAINT AS SHOWN ON ELEV.  
INTERNAL - 110mm BRICKWORK PLASTERED & PAINTED  
WALLS TO COMPLY WITH PART K OF SANS 10400  
LINTELS TO COMPLY WITH PART K OF SANS 10400

**WINDOWS/GLAZING:**  
25 MICRON ALUMINUM POWDER COATED TO CLIENT'S CHOICE  
ALL SHOWER DOORS TO BE 6mm LAMINATED SAFETY GLASS.  
GLAZING TO COMPLY WITH LOCAL GLAZING REGULATIONS REFER TO WINDOW SCHEDULE.

**DOORS:**  
HARDWOOD TIMBER DOORS

**ELECTRICAL:**  
ALL SEWER & STORMWATER PIPES UNDER THE BUILDING TO BE ENCASED IN CONCRETE  
ALL EXPOSED GUTTERS AND RAINWATER DOWNPIPES TO BE POWDER COATED WHITE SEAMLESS ALUMINUM

**FLOOR CONSTRUCTION:**  
GROUND STOREY: FLOOR FINISH ON 30mm THICK SCREENED REINFORCED CONCRETE SLAB TO ENGINEERS DETAILS ON 250 MICRON DPM ON WELL COMPACTED POSSESSED EARTH.  
ALL SUBFLOORS TO BE REINFORCED TO ENGINEERS DETAILS.

**PLUMBING:**  
SEWER PIPES: 500 PVC PIPES  
SEWER PIPES: 1500 PVC PIPES  
ALL SEWER & STORMWATER PIPES UNDER THE BUILDING TO BE ENCASED IN CONCRETE  
ALL EXPOSED GUTTERS AND RAINWATER DOWNPIPES TO BE POWDER COATED WHITE SEAMLESS ALUMINUM



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**355 CLARE ROAD**

PROPOSED NEW RESIDENTIAL UNITS ON REM. OF PORTION 4 OF ERF 4297 RESERVOIR HILLS AT P. NO. 355 CLARE ROAD FOR MASJID-E-MAHMOOD TRUST

**SUBMISSION**

scale	date	drawn by	des. no.
1:100	02-06-2022	um	2022/07-01A