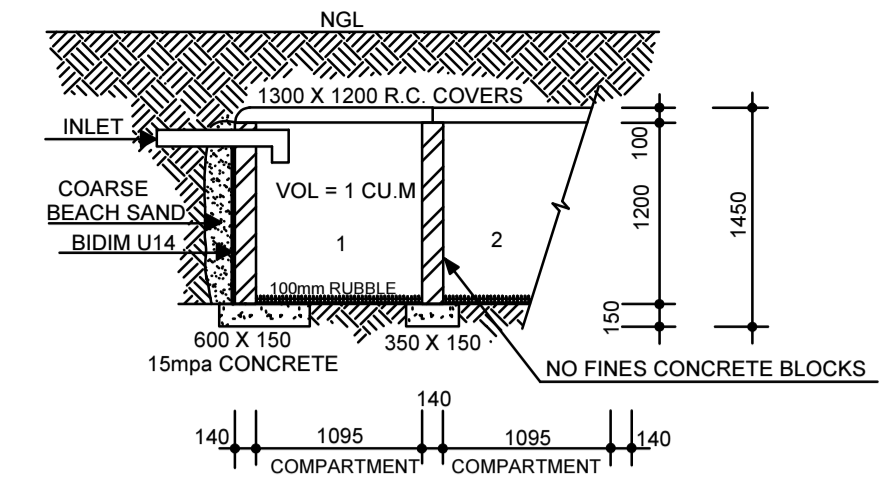
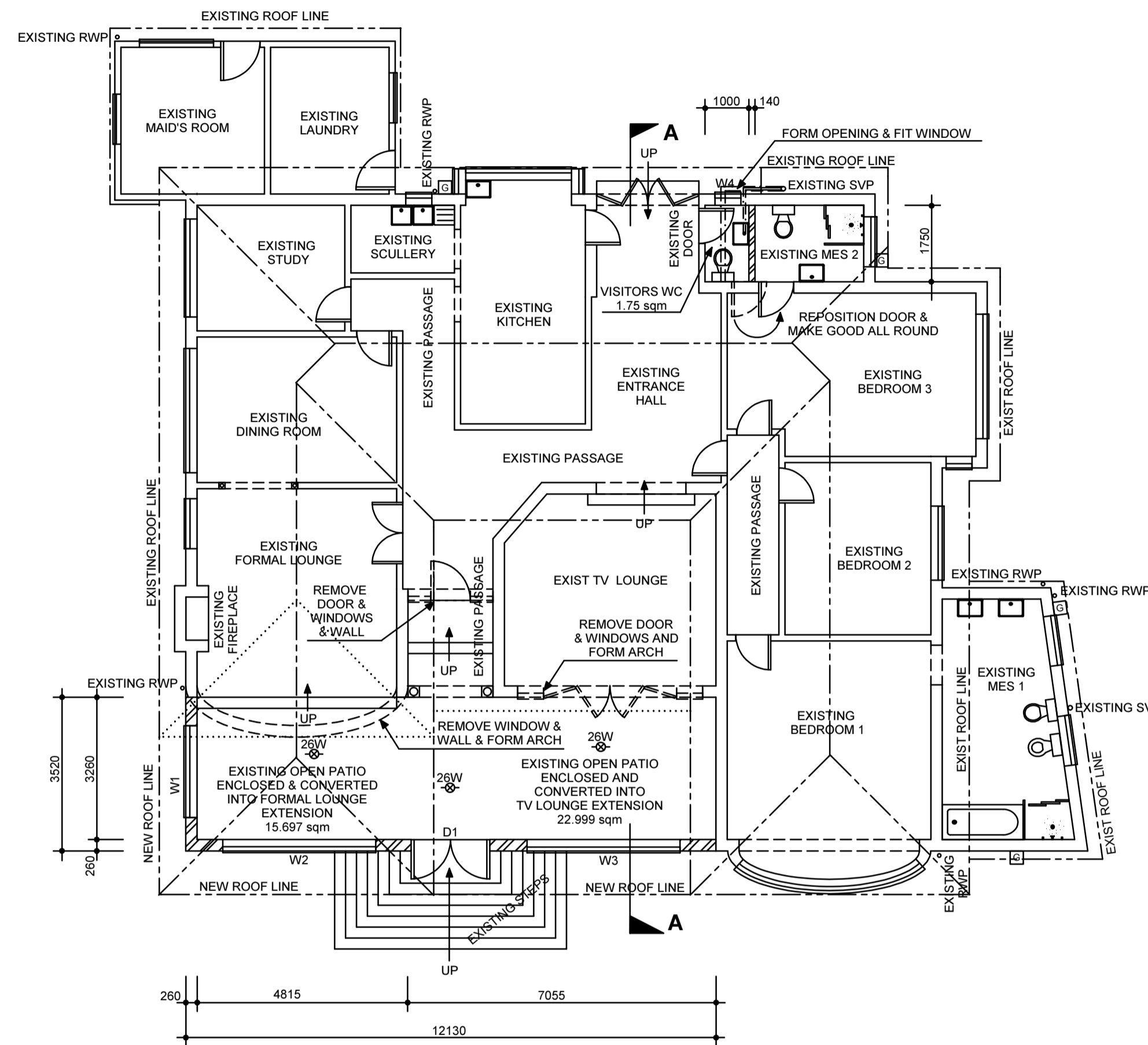


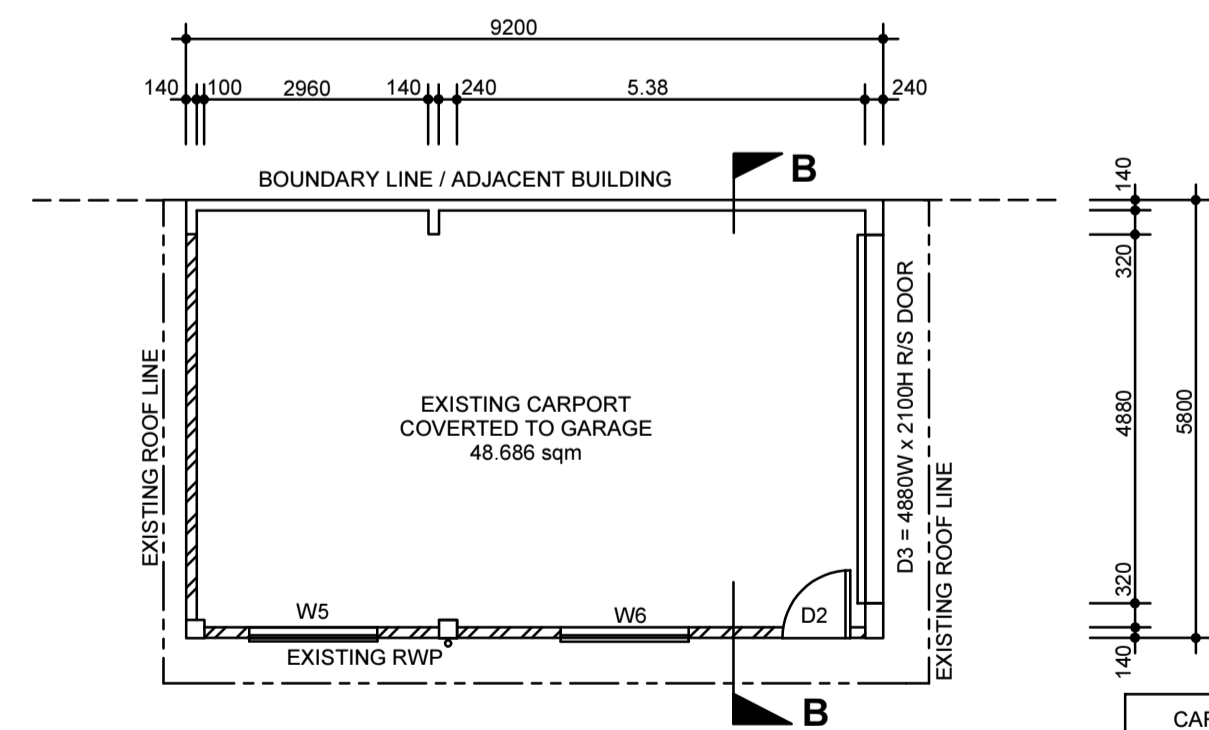
TYPICAL PLAN OF SW SOAK PIT 1:50



TYPICAL SECTION THRU SW SOAK PIT 1:50

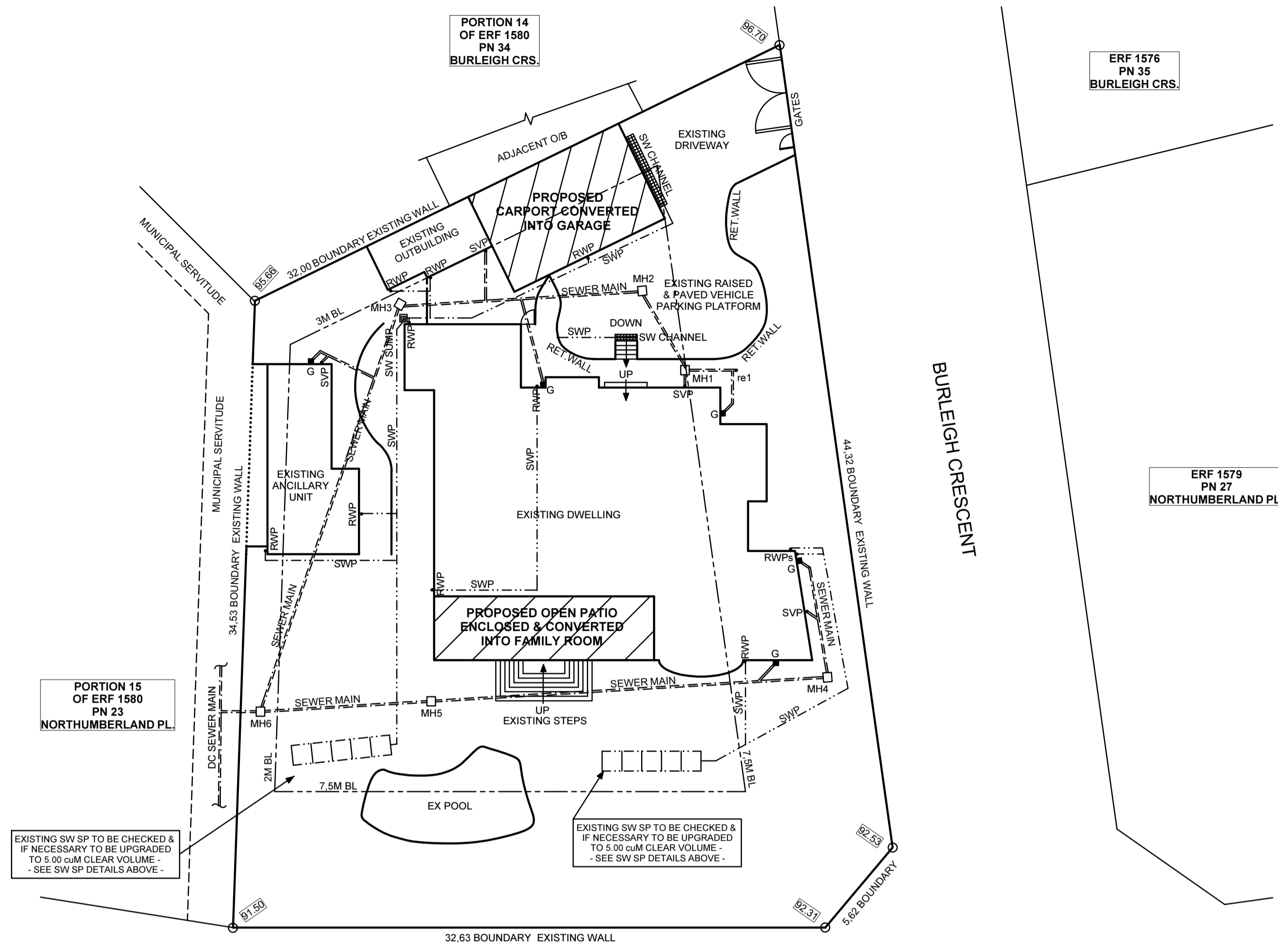


GROUND STOREY PLAN 1:200

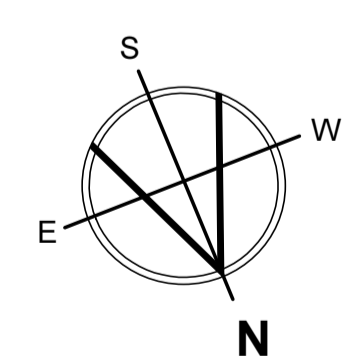


GARAGE - GROUND STOREY PLAN 1:200

CARPORT CONVERTED INTO GARAGE: ALL FOUR SIDES BRICKED UP FROM EXISTING RC SLAB TO US EXISTING TILED ROOF WITH SIDE DOOR, ROLLER SHUTTER DOR AND 2 x WINDOWS AS SHOWN



SITE PLAN 1:200



**CONSTRUCTION NOTES TO CONTRACTORS**  
**GENERAL:**  
 1) USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING.  
 2) ALL LEVELS AND DIMENSIONS TO BE CHECKED ON SITE PRIOR TO COMMENCING WITH CONSTRUCTION.  
 3) ALL NEW WORK TO MATCH EXISTING.  
 4) MATERIALS & CONSTRUCTION TO COMPLY TO SANS 10400.  
 5) COMPLETION AND/OR COMPLIANCE CERTIFICATE TO BE SUPPLIED BY ENGINEERS & OTHER SERVICE PROVIDERS.  
 6) CERTIFICATE FOR LOADING, STRUCTURAL & FIRE STABILITY REGARDING FLOOR & WALLS CONSTRUCTION TO BE ISSUED BY STRUCTURAL ENGINEER.  
 7) UNLESS OTHERWISE SPECIFIED AND APPROVED, ANY ENCROACHMENT OVER BOUNDARY / BUILDING LINES, SERVICUTE ETC. ARE TO BE RECTIFIED AND / OR REPORTED TO AUTHOR OF PLAN.  
 8) CLIENTS AND/OR CONTRACTORS TO NOTIFY THE APPOINTED STRUCTURAL ENGINEER AND THE MUNICIPAL BUILDING INSPECTOR OF THE NECESSARY INSPECTIONS DURING THE VARIOUS STAGES OF CONSTRUCTION, AS PER THE LOCAL COUNCIL'S REQUIREMENTS

**BRICK AND CONCRETE WORKS:**  
 BRICKWORK: CONCRETE FLOORS, RC BEAMS, COLUMNS, BUTTRESSES, SPANS, JOINTS, FOUNDATIONS, RETAINING WALLS AND METHOD OF FIXING OTHER MATERIALS TO CONCRETE, BRICKWORK AND TIMBER STRICTLY TO ENGINEERS DETAILS.  
**WALLS - EXTERNAL:**  
 1) FOUNDATION WALLS TO BE 2 x 140mm CONCRETE BRICKS RE-INFORCED WITH 2) BRICKWORK AT MIN. EVERY 3 BRICK COURSE UP TO 2 COURSE ABOVE RC SLAB 3) WALLS TO BE 2 x CLAY BRICKS & PLASTER TO MATCH EXISTING 140mm WALLS. 4) ALL WALLS WITH BRICKWORK AT EVERY THIRD COURSE AND AT WALL PLATES AND LINTELS ABOVE ALL DOORS & WINDOWS AND WALL OPENINGS, THEN PLASTERED & PAINTED TO MATCH EXIST.  
**ROOF AND CEILING OVER FORMAL LOUNGE EXTENSION:**  
 1) TILES TO MATCH EXISTING TO BE SECURED WITH 8mm WIRE TIES ON 38 x 38mm BRISONS ON PVC UNDERLAY ON 38 x 144mm BANGNAILED TIMBER TRUSSES APPROX. 700mm CTRS ON 38 x 114mm WALL PLATES. ROOF PITCH AS SPECIFIED. 2) CEILING - GYP/SUM BOARD ON 38 x 38mm BRANDIRING FIXED UNDERSIDE TRUSSES 3) PVC FASCIA, BARGE BOARDS AND FLASHING TO MATCH EXISTING.  
**ROOF AND CEILING OVER TV LOUNGE EXTENSION:**  
 1) 170mm RC SLAB TO ENGINEER'S DETAILS AND TO MATCH EXISTING OVER PASSAGE AND 2) EXISTING TV LOUNGE WITH WATERPROOFING BY SPECIALIST. CEILING - STONE CRESTING UNDERSIDE RC SLAB PVC FASCIA, BARGE BOARDS AND FLASHING TO MATCH EXISTING FLOORS.  
 EXISTING OPEN PATIO 1000mm RC SLAB

**HOT WATER SYSTEMS:**  
 1) 15mm INTERNAL DIAMETER COPPER PIPING FROM GEYSERS AND HEAT PUMPS INSULATED WITH ECO-FLEX SNAP ON INSULATING TUBING - R VALUE = 1.0  
 2) ALL ELECTRIC GEYSERS, SOLAR GEYSERS AND HEAT PUMPS TO BE INSTALLED BY SPECIALIST STRICTLY AS PER MANUFACTURERS INSTRUCTIONS  
 3) GEYSERS IN ROOF SPACE TO BE MOUNTED IN A DRIP TRAY (NOT OPTIONAL) WHICH IS FIXED ACROSS THE ROOF TRUSSES WITH A MINIMUM OF TWO SUPPORTS AND THE DRIP TRAY TO HAVE A 90mm PVC WASTE PIPE THAT DRAINS THE TRAY OF WATER OUT OF THE ROOF SPACE.  
 4) EXTERNAL GEYSERS AND HEAT PUMPS TO BE MOUNTED ON THE EXTERNAL WALL WITH A MINIMUM OF TWO WALL BRACKETS.  
 5) ALL ELECTRIC GEYSERS TO BE INSULATED WITH 150mm THICK 'ISOTHERM' FLEXIBLE POLYESTER BLANKET - R VALUE = 2.29  
 6) ELECTRIC GEYSERS AND HEAT PUMPS TO BE CONNECTED TO EARTH LEAKAGE  
 7) ON COMPLETION OF INSTALLATION AND TESTS, SPECIALIST TO SUBMIT A COMPLIANCE CERTIFICATE.

**DRAINAGE:**  
 1) EXISTING RETICULATIONS TO BE CHECKED AND DAMAGED FITTINGS REPLACED.  
 2) RAINWATER: GUTTERS AND DOWNPIPES TO MATCH EXIST AND TO COMPLY WITH N.B.R. AND S.A.S. 082 - 160mm PVC PIPES BELOW AND ABOVE NGL AND 160mm UPVC RIBBED PIPES BELOW STRUCTURES.  
 3) 50mm WASTE PIPES AND 110mm SOIL PIPES - PVC PIPES ABOVE AND BELOW NGL AND UPVC / UPVIB RIBBED PIPES BELOW STRUCTURES. PIPES BELOW NGL & STRUCTURES TO HAVE IE'S & RE'S AT ALL BENDS AND JUNCTIONS RE'S EVERY 10 METRES MIN. ON STRAIGHT RUNS, 2WAY VENT VALVE AT EVERY WC AND A 110mm PVC OPEN VENT PIPE AT THE HEAD OF THE SOIL & WASTE SYSTEM.  
**[GLAZING]**  
 1) AS PER SANS 10400-N - SEE WINDOW & DOOR SCHEDULES  
 2) LIGHTING AND VENTILATION AS PER SANS 10-400 PART 0  
**[TRANSPARENT GLAZING]**  
 WHERE TRANSPARENT GLAZING IS USED AND IS NOT LIKELY TO BE APPARENT TO, OR SUSPECTED BY, ANY PERSON APPROACHING IT, SUCH GLAZING SHALL BEAR MARKINGS THAT SHALL RENDER IT APPARENT TO SUCH PERSON  
**SAFETY GLAZING:**  
 THE PANES OF ALL SAFETY GLAZING SHALL BE PERMANENTLY MARKED BY THE INSTALLER IN SUCH A MANNER THAT THE MARKINGS ARE VISIBLE IN INDIVIDUAL PANES AFTER INSTALLATION.

**WINDOW SCHEDULE:**  
 6mm LAMINATED SAFETY / TINTED DOUBLE LOW-E GLASS  
 W1 = 2100W x 1800H - TIMBER FRAME  
 W2 = 3500W x 1800H - TIMBER FRAME  
 W3 = 3500W x 1800H - TIMBER FRAME  
 4mm MONOLITHIC / SINGLE CLEAR GLASS  
 W4 = 600W x 600H - ALUMINIUM FRAME  
 W5 = 1700W x 600H - ALUMINIUM FRAME  
 W6 = 1700W x 600H - ALUMINIUM FRAME  
**DOOR SCHEDULE:**  
 6mm LAMINATED SAFETY / TINTED DOUBLE LOW-E GLASS  
 D1 = 1800W x 2400H - TIMBER FRAME  
 D2 = STANDARD SOLID TIMBER EXTERNAL DOOR  
 D3 = STANDARD HOLLOW-CORE TIMBER INTERNAL DOOR

**SCHEDULE OF AREAS**  
 SITE AREA = 1368 sqm  
 OCCUPANCY BUILDING CLASSIFICATION = H3  
 ZONING = SPECIAL RESIDENTIAL 1800  
 EXISTING DWELLING = 270.107 sqm  
 EXISTING ANCILLARY UNIT = 56.000 sqm  
 EXISTING OUTBUILDING = 18.707 sqm  
 EXISTING GARAGE = 53.360 sqm  
 PROPOSED LOUNGES CONVERSION = 42.697 sqm  
 PROPOSED GARAGE CONVERSION = 53.360 sqm  
 EXISTING F.A.R. = 398.174 sqm  
 PROPOSED F.A.R. = 0.000 sqm  
 TOTAL F.A.R. = 398.174 sqm = 0.29  
 EXISTING COVER = 398.174 sqm  
 PROPOSED COVER = 0.00 sqm  
 TOTAL COVER = 398.174 sqm = 29%

**CONSENTS:**

NAME: \_\_\_\_\_

ADDRESS: 34 BURLEIGH CRESCENT

TEL. No: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_

**OWNER'S SIGNATURE:**

Signature: \_\_\_\_\_

Project : **PROPOSED ALTERATIONS & ADDITIONS TO EXISTING DWELLING**  
 Owners : **J. COLE**  
 Address : **36 BURLEIGH CRESCENT 6 DURBAN NORTH**  
 Site : **PORTION 1 OF ERF 1580 OF DURBAN NORTH**

Rate No : **08 - 88186050 - 0**

**DRAWING SERVICES**  
 8 Egret Way, Yellowwood Park, Durban  
 Telephone : 031 462 3800  
 Facsimile : 086 606 1262  
 Cellular : 084 606 9119  
 Email : plans@axxess.co.za  
 Web: plans6.wix.com/drawingservices

Date : **28 OCTOBER 2013**  
 Scale : **As Shown**  
 Drawn by : **Herve Ferriere**  
 Profession : **Pr. Arch Draughts**  
 SACAP No : **D0723**

DWG NO : **349** Sheet 1 of 2