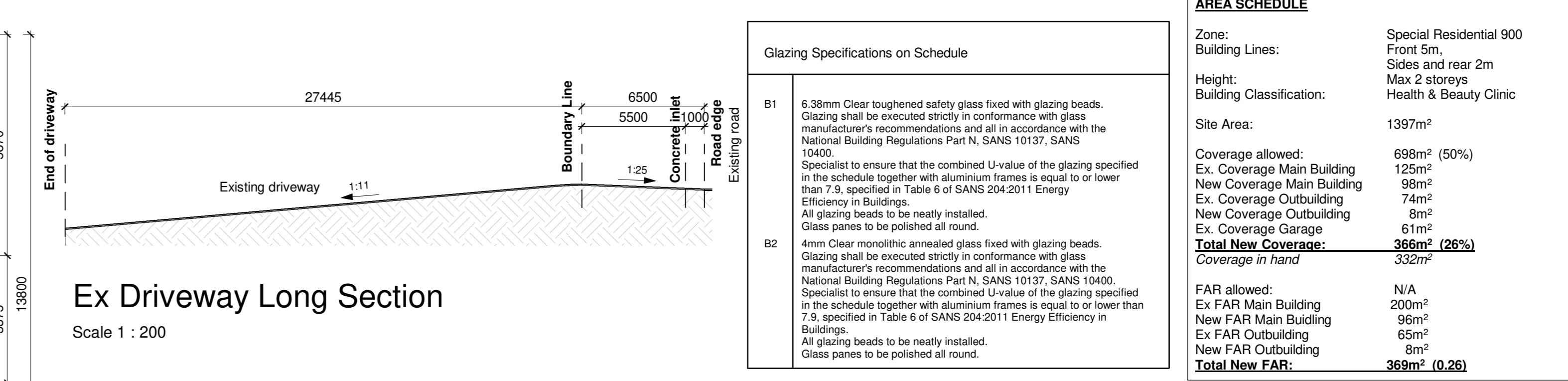


**NOTE: All windows are existing**

Door / Window No.	Description	Material	Glazing	Colour
W01	Aluminum window with side opening	Naturally anodised aluminium sections	B2	White
W02	Aluminum window with side opening	Naturally anodised aluminium sections	B2	White
W03	Aluminum window with side opening	Naturally anodised aluminium sections	B2	White
W04	Aluminum door with side lights	Naturally anodised aluminium sections	B2	White
W05 & W06	Aluminum window with top hung opening	Naturally anodised aluminium sections	B2	White
W07, W08, W09	Aluminum window with top opening	Naturally anodised aluminium sections	B2	White
W10	Aluminum door	Naturally anodised aluminium sections	B1	White
W11, W12, W13	Aluminum window with top opening	Naturally anodised aluminium sections	B1	White
W14	Aluminum window with top opening	Naturally anodised aluminium sections	B2	White
W15	Aluminum window with top hung opening	Naturally anodised aluminium sections	B2	White
W16	Aluminum window with side opening	Naturally anodised aluminium sections	B2	White
W17	Aluminum window with side opening	Naturally anodised aluminium sections	B2	White
W18	Aluminum window with top opening	Naturally anodised aluminium sections	B1	White
W19	Aluminum window	Naturally anodised aluminium sections	B2	White
W20	Aluminum window with top hung opening	Naturally anodised aluminium sections	B2	White



**GENERAL SEWER NOTES:**

-NOTES IN RESPECT OF A STANDARD CODE OF PRACTICE FOR THE APPLICATION OF THE NATIONAL BUILDING REGULATIONS, SABS 0400 AND SANS 10-400

- Cleaning facilities shall be provided at all changes in gradient and direction and elsewhere where required.
- All levels and directions to be checked on site and any discrepancies to be reported to the architect immediately before commencing with any work.
- All work to be executed in strict accordance to the drawings and local authority requirements.
- All SABS applicable specifications and Codes of Practice to be used.
- All upvc pipes shall be installed according to SABS codes and other relevant requirements including those of the local authority.
- All pipes shall be provided to drains at every change of gradient and direction and at least 25m intervals by means of a cleaning eye or manhole.
- The maximum bend on any single fitting shall be 45 degrees with the exception of the ventilation pipe where up to 90 degrees may be used.
- All traps up to and including 50mm dia shall be of deep seal (75mm) resin type.
- All pipes shall be laid to falls as indicated on the drawings.

**WATER SUPPLY NOTES:**

- Existing municipal water connections to be used.
- Water pressure to be tested at existing FHR to determine if water tanks are required for fire hose needs.
- All water supply pipes above ground with a diameter of 38mm or less, are to be copper class 460/0. All pipes in chases to be spiral wrapped with KRAFFTEX building paper.
- Pipes in ground to be in LIPVC or glazed earthenware installed to manufacturers' specification. All galvanised pipes used in ground shall be DENS-C protected in strict accordance with manufacturers' specification.
- Fire hose reels and extinguishers to be SABS approved.
- Variation to pipe layout, design, sizes, etc must be approved by the architect prior to installation.

**PART 'R' DRAINAGE:**

- All pits to comply with PP2 & PPE.
- All sanitary fixtures to be in accordance with PP2 - PPS.
- All drainage to comply with the relevant portions of PP15, depending on type of system utilized.
- All discharge & ventilation pipes to be installed in compliance with PP20.
- Drains to be accessible in accordance with PP21.
- All sanitary fixtures to have traps in accordance with PP22.
7. Gully to comply with requirements of PP23.
- All drains to be laid in accordance with PP24.

**PART 'R' STORMWATER DISPOSAL:**

- Size of roof valleys and gutters to comply with RR3.
- Drains to be accessible in accordance with RR4.

**AREA SCHEDULE**

Zone	Special Residential 900
Building Lines:	Front 5m Sides and rear 2m Max 2 storeys Health & Beauty Clinic
Height:	Building Classification:
Site Area:	1397m <sup>2</sup>
Coverage allowed:	688m <sup>2</sup> (50%)
Ex. Coverage Main Building	125m <sup>2</sup>
New Coverage Main Building	98m <sup>2</sup>
Ex. Coverage Outbuilding	74m <sup>2</sup>
New Coverage Outbuilding	8m <sup>2</sup>
Ex. Coverage Garage	61m <sup>2</sup>
Total New Coverage:	368m <sup>2</sup> (26%)
Coverage in hand	332m <sup>2</sup>
FAR allowed:	N/A
Ex FAR Main Building	200m <sup>2</sup>
New FAR Main Building	98m <sup>2</sup>
Ex FAR Outbuilding	65m <sup>2</sup>
New FAR Outbuilding	36m <sup>2</sup> (0.26)
Total New FAR:	368m <sup>2</sup>

**GENERAL NOTES:**

- Drawings to be read in conjunction with drawings issued by consultant of various disciplines in particular structural, electrical, mechanical and wet services disciplines.
- General and first floor room names adjusted.
- Outbuilding room names adjusted.
- Schedule of areas adjusted.
- Building lines adjusted.
- Title block adjusted.
- Site plan adjusted.
- Planning schedule added.
- Existing Driveway Section added.
- Existing Driveway Section added.
- 2 Traffic dimensions added to site plan.
- 30m long section added.
- 1 Parking bays 9 to 13 revised to 90 degrees. Asides width 9.0m.
- 1 Driveway stacking distance adjusted to actual site dimensions 9.0m.
- 2 Driveway widened to 5.7m.
- 1 Driveway section updated.
- 1 Updated for Anala and council materials.

**REVISION NOTES**

NO.	DATE	DESCRIPTION	SCALE
A	2021-12-15	Submitted to LURM	LB
B	2022-01-18	1. Parking bays numbered. 2. General and first floor room names adjusted. 3. Outbuilding room names adjusted. 4. Schedule of areas adjusted. 5. Building lines adjusted. 6. Title block adjusted.	LB
C	2022-01-18	Store room designation removed	LB
D	2022-05-17	1. Area Schedule updated, garage FAR removed. 2. Existing Driveway Section added.	LB
E	2022-05-17	1. Planning schedule added. 2. Traffic dimensions added to site plan. 3. 30m long section added.	LB
F	2022-06-14	1. Parking bays 9 to 13 revised to 90 degrees. Asides width 9.0m. 2. Driveway stacking distance adjusted to actual site dimensions 9.0m.	LB
G	2022-07-04	1. Driveway widening to 5.7m. 2. Driveway section updated.	LB
H	2022-07-21	1. Driveway section updated.	LB
J	2022-10-05	1. Updated for Anala and council materials.	LB

**OWNER NAME:** CHENIN TRADING PROPRIETARY LIMITED

**OWNERS SIGNATURE:** [Signature]

**ARCHITECT ON BEHALF OF STUDIO 87 ARCHITECTS**

**SIGN:** Lidia Breztko PRArch 22235

**STUDIO 87 ARCHITECTS**

**PROJECT ADDRESS:** Portion 176 of ERF 39, Athlone, Durban North, 36 Kenneth Kurona Road (Northway Rd)

**PROJ. NO.:** 0006 **DWG. NO.:** 001 **REV.:** J