



AMAFA APPLICATION

ERF 8679 DURBAN

38 BAINES ROAD, UMBILO

*APPLICATION IN TERMS OF SECTION 37(1)(a)
OF THE KWAZULU-NATAL AMAFA AND
RESEARCH INSTITUTE ACT (5/2018,) FOR A
PERMIT TO ALTER OR ADD TO A STRUCTURE
WHICH IS, OR WHICH MAY REASONABLY BE
EXPECTED TO BE OLDER THAN 60 YEARS*



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1) SITE INFORMATION & LOCALITY

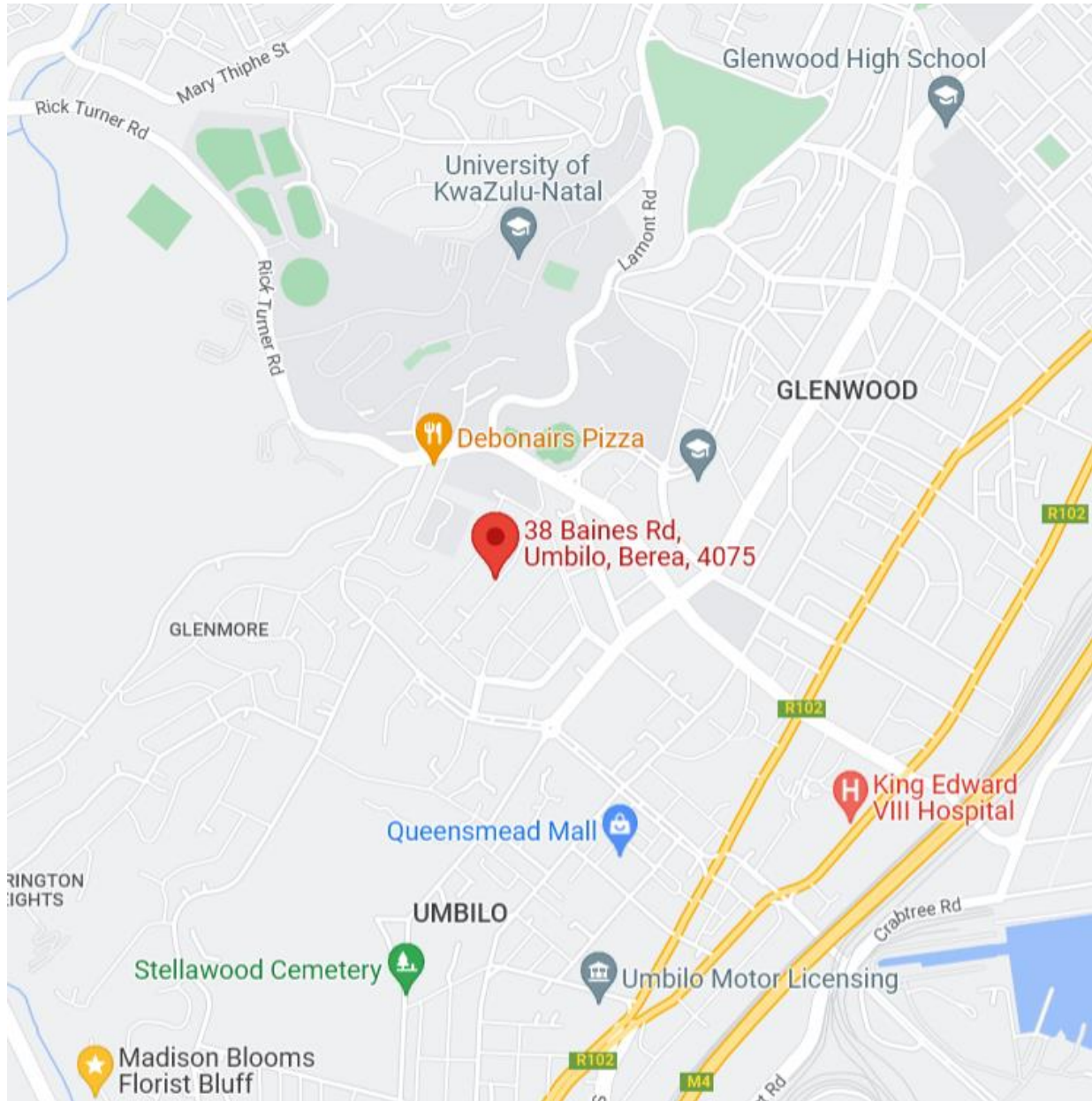


Figure 1. Image illustrates a Macro aerial map of 38 Baines Road in relation to other local precincts around the Umbilo & Glenwood region.



Figure 2 Aerial map indicating view of site and the neighbouring buildings within the vicinity

ERF Details

ERF Size: 1 178 m²

Current Zoning: Special Residential 900

Site affected by DMOSS: No

Servitudes: Service and drainage at North western part of site

2.) [C1 & C2] ORIGINAL DATE OF CONSTRUCTION + HISTORICAL SIGNIFICANCE

C1. Original construction date:

1962 (Extracted from Original Floor Plan)

C2. Historical significance:

Situated in the Northern part of Umbilo, 38 Baines Road was originally constructed as a single multi-level dwelling. The house's design followed the design typologies of other dwellings in the precinct. The original dwelling unit is estimated to have been constructed in June 1962. Due to the construction date, the building has recently triggered the regulations that apply to any alterations, additions or demolition to any building older than 60 years.

The house is situated on a sloping site which has the house sitting higher than the boundary walls, similar to adjacent houses. Research indicates that the dwelling bears no perceived importance as adjacent dwellings, this is further substantiated by the floor area which is similar to the other houses in the vicinity.

C3. Architectural Significance:

Considering the period of construction, the original dwelling bears the typical early Berea style construction. The original dwelling made use of general brick construction paired with face brick as the façade giving it a typical brick appearance. Construction has taken place over the years with a few internal walls being altered and windows and doors being replaced. The original roof consists of grey asbestos shingles. The house was primarily constructed of brick and mortar as this was the common construction method in the period of the 1960's.

The house bears a typical orthogonal plan with clean lines and simple room organisation. The house is composed by multiple pitched roofs at different levels

echoing the different level changes found within the house. While expressive in its façade and making use of different levels, the house still bears the resemblance of the surrounding typology by maintaining the pitched roofs and veranda. Given the site topography, the street facing façade of the house sits above the boundary wall height and is easily visible from the street. The topography and construction methods also made it possible for the house to have a basement level constructed. The rear of the house has a pool which sits elevated from the inner floor levels, again due to the changes in topography of the site.

Ancillary units are found in the rear of the household with awnings as well as planters which run along the boundary wall.

The boundary wall on the Baines Road frontage bears similarity with the neighbouring boundary walls as it makes use of exposed face brick and plastered brick. This allows for the wall to be expressive while also maintaining the modest aesthetic that the rest of the street bears.



Figure 3 Image of street elevation on Baines Road which depicts exposed face brick and plaster brick boundary wall



Figure 4 Image of the South Eastern Elevation of the property. Façade and columns of face brick with the existing pergola .

C4. Urban Setting and Locality:

The house is situated in the greater Umbilo area with Glenwood and Cato Manor being the most prominent neighbours. The regions are comprised of a variety of zonings with residential and educational zonings being the most common. The house is in close proximity with Durban Girls High School and the University of KwaZulu Natal lies in a one-kilometre radius.

There are student residences present in the vicinity complementary to the university. This is why residential typology takes priority in the precinct. The region is also lush in vegetation and Msinsi Nature Reserve, Pigeon Valley Nature Reserve and Umbilo Park can all be found within a 2 kilometre radius.



Figure 5 (page 6) Image illustrating the various properties in a 700-metre radius from the property which is located centrally on the map. The zoning is also indicated on the map with Residential Zoning in yellow and Educational Zoning in Pink.

D2. Motivation for Proposed Work:

It must firstly be noted that the awnings and pergolas were built prior to the main dwelling unit triggering the general 60-year protection period. Such is reflected on the latest approved plan. The pergola, awning over pool deck and awning at the servants' quarters were previously not reflected on the latest approved plans.



Figure 6 (page 7). Image substantiates that the items were constructed prior to 2022, and therefore would not have been applicable to the general 60-year protection as they are existing.

Annexures C and D show that the building has undergone various changes through additions and alterations. These changes were both for aesthetic and functional purposes. The proposed works now are to address functional concerns. The existing kitchen faces the early easterly light and this causes major heat gain into the space. Furthermore, the walk from the garage to the main house would be uncovered and open to the elements. Therefore, the client wishes to remove the existing two awnings between the main dwelling unit and garage, then install a new awning and extend the existing roof to serve as both a shading device and a protection against the elements. Evidently, the placement of any structural members on existing driveway would impede access to the existing garage, the proposed elements will

have to be placed over the side space, ensuring nothing impedes vehicular movement through site.



Figure 7 (page 7). Image illustrates the current poor condition of the roof sheeting which is to be replaced in accordance to the attached plans.

The existing roofing is to be replaced due to the current poor condition of the roof sheeting. The new proposed sheeting is to be Saflock 700 Roof sheeting which is to be placed on the existing roof members with new aluminium gutters installed.

Construction of this pool deck in any other location would have impeded movement and access around the existing pool.



Figure 8. Image illustrates the existing pool deck and awning.

The plan which indicates the proposed new additions is also attached. This plan has been discussed and approved by the owners of the adjoining properties. As part of this approval process, all owners have signed the aforementioned plan as well as the mandatory relaxation documentation required by the municipality

D3. Detail of Work to be Undertaken

The proposal is for alterations and additions to the existing structures on the site. The current owner had seen it necessary to add pergolas and pool decking to both add functional and aesthetic improvements to the house.

Starting at the porch, the owner had required for a new timber pergola to be installed over the existing porch. This was undertaken many years ago and is not considered to be a permanent material structure. The installation of the pergola will allow for shading to be added, protecting the adjacent Existing TV Room from harsh sunlight.

Additionally, the inclusion of a well-designed pergola will improve the overall experience of the outdoor space without having to make use of any major construction methods. Another pergola is also to be located over the gravel landscaping that lies between the garage and the existing pool. These items are minor in nature and do not alter the facades materially.



Figure 9. Image illustrates the existing pergola over the gravel landscaping.

A new awning that extends from the garage to the kitchen will also be installed. This awning is to serve the purpose of covering the walkway from the kitchen to the garage as this is currently exposed to the elements. Additionally, the new awning will provide shading to the kitchen which currently undergoes major heat gain. To construct this awning, new brick columns will have to be constructed to support the

steel columns and beams for the awnings. Beams will also be connected into the existing structures. This awning will have to extend over the current building line as anywhere else would impede access to the garage. A relaxation application has been placed to address this.



Figure 10. Image illustrates the existing awning over the garage entrance extending to the kitchen that is to be altered according to the attached plans

Lastly a new timber pool deck has been installed with an awning. The construction of this will provide a new shaded recreational space for the residents of the dwelling. The construction of this deck and awning will also extend beyond the rear building line hence the inclusion of this item in a relaxation application.

Internally, the client wishes to extend and combine his current two bathrooms into a single bath. The extension merely entails a partial demolition of the wall and constructing a new, to be in-line with the existing datum of the main façade. It does not affect the façade as the extension will not surpass the main datum of same. Furthermore, this alteration is made to a façade that is not street facing and has been previously altered in the past.



Figure 11. Image illustrates the portion of the bathrooms that will be extended.

Conclusion

This report is intended to illustrate the motivation for the alteration and additions to the existing structures located on the site (38 Baines Road). Based on the finding illustrated in the report, we hope that AMAFA will view the application in a positive light.



URBAN PLATFORM
ARCHITECTS + PLANNERS

Suite 7, Sutton Square | 306 Matthews Meyiwa Rd |
Windermere | Durban | KZN
P.O. Box 50789, Overport, 4065
CK Number: 2016/027007/07

ANNEXURE A: PICTURES OF THE EXISTING BUILDING



A1. Image illustrates the rear boundary wall with the existing planter. Existing pool deck and awning to be altered according to plans also visible



A2. Image illustrates the Baines Road facing boundary wall



A3. Image illustrates the existing planter adjacent to ancillary unit at the rear of the site



A4. Image illustrates ancillary units as well as the awning existing over the gravel landscaping that is to be altered according to the plans attached



A5. Image illustrates the service passage between the garage and boundary wall



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ANNEXURE B: PICTURES OF THE PROPERTY SURROUNDINGS



B1. Image illustrates the a neighbouring dwelling opposite the main house. The house boundary walls bears little to no architectural similarity



B2. Image illustrates the a neighbouring dwelling to the right of the main house. The house boundary walls bears little to no architectural similarity



B3. Image illustrates the a neighbouring dwelling to the right of the main house. The house boundary walls bears little to no architectural similarity



B4. Image illustrates the a neighbouring dwelling opposite the main house. The house boundary walls bears little to no architectural similarity



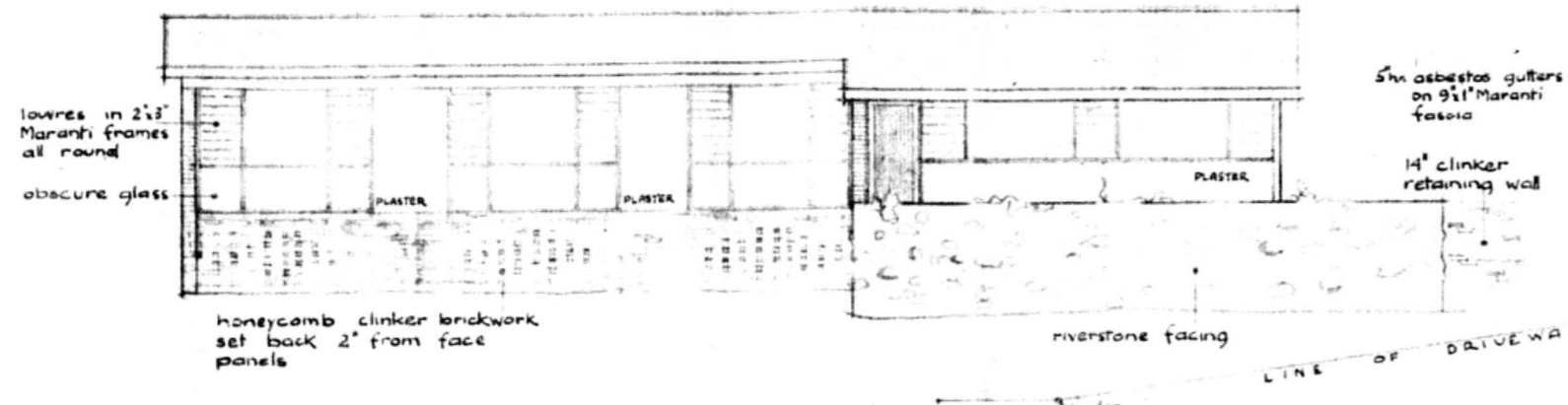
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CK Number: 2016/027007/07

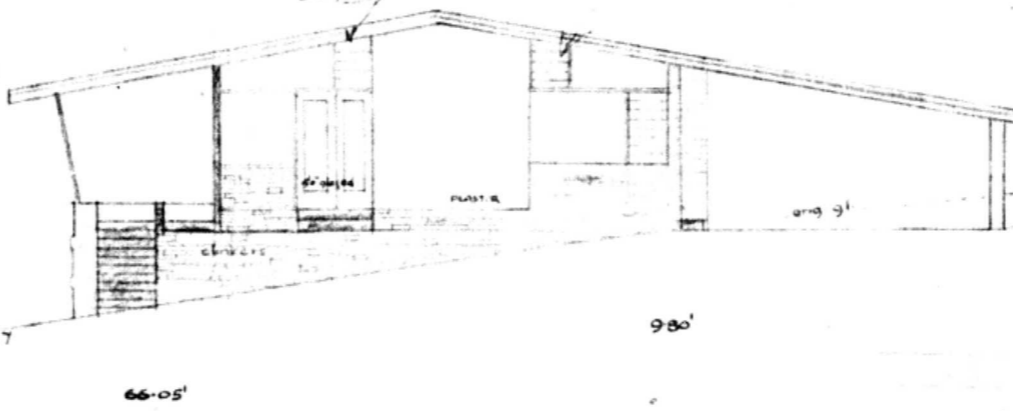
ANNEXURE C: ORIGINAL BUILDING / EARLIEST ARCHIVED DRAWINGS FROM MUNICIPALITY

AMENDED
 PROPOSED RESIDENCE FOR MR & MRS A. J. COETZEE SCALE 1"=8'

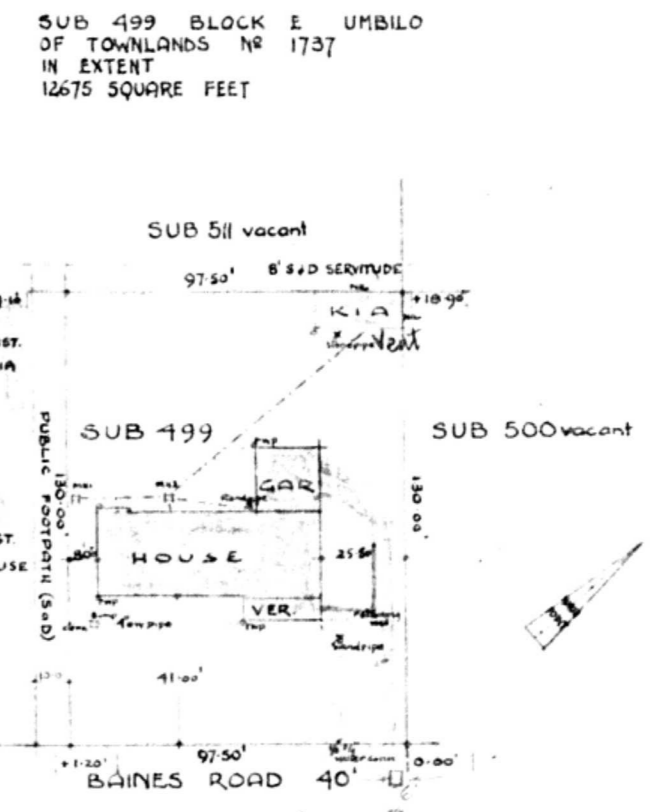
S.E. ELEVATION



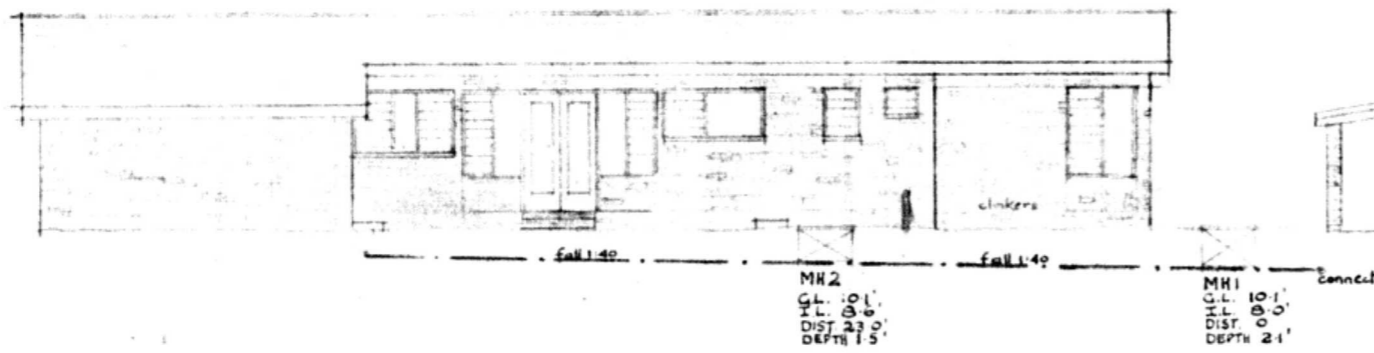
N.E. ELEVATION



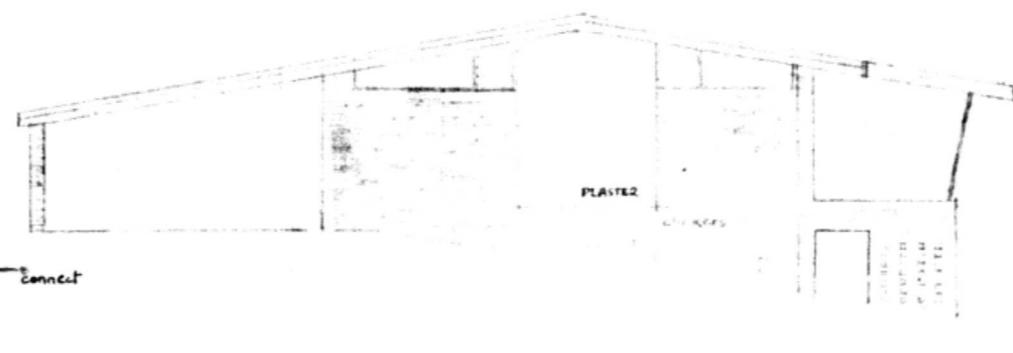
SITE PLAN SCALE 1"=40'



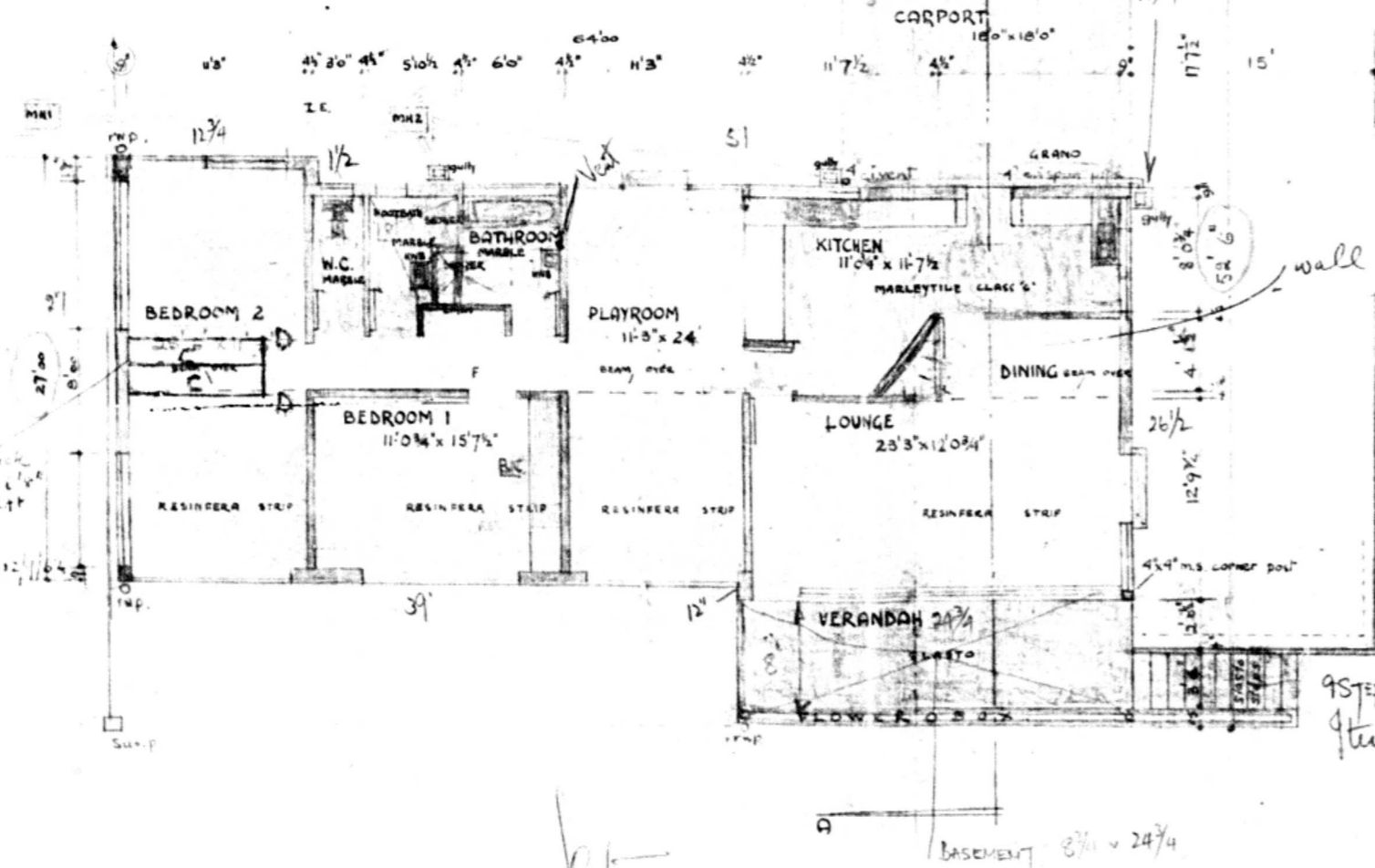
N.W. ELEVATION



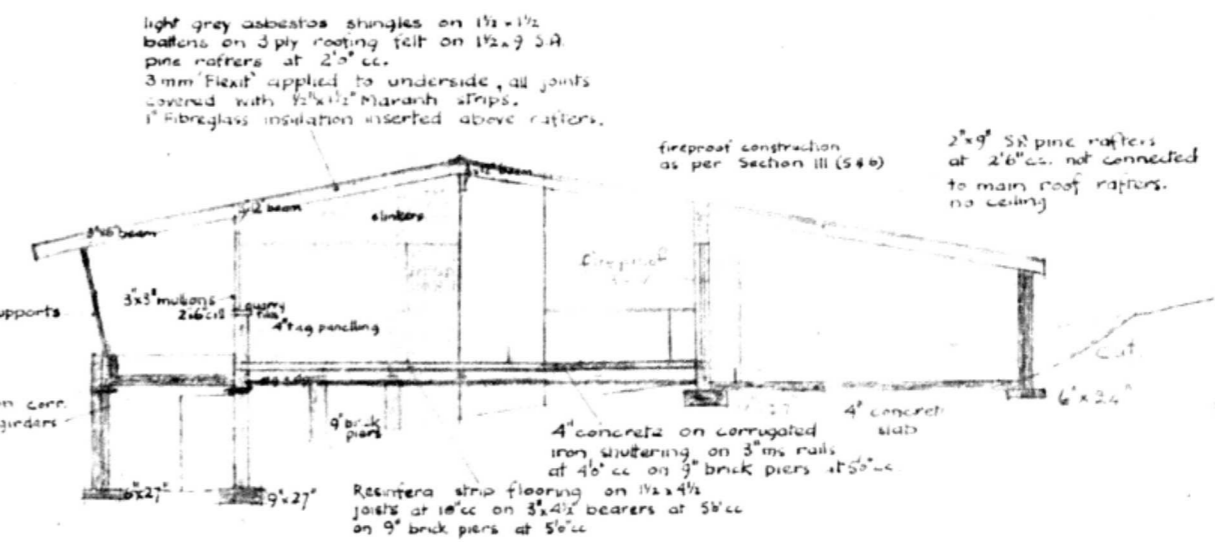
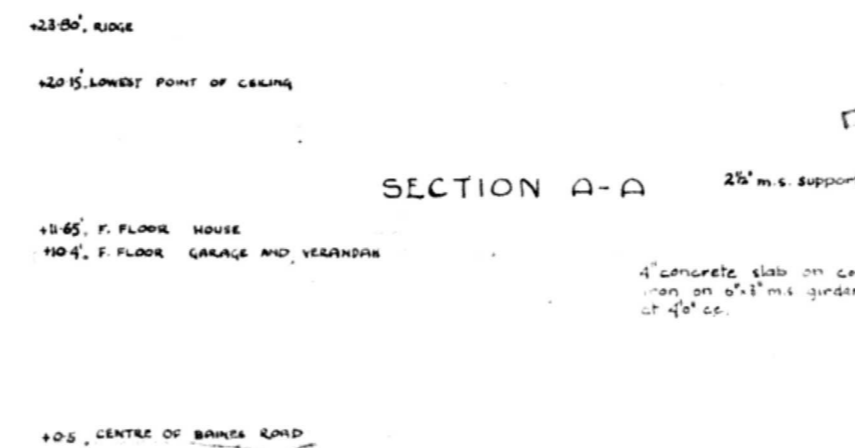
S.W. ELEVATION



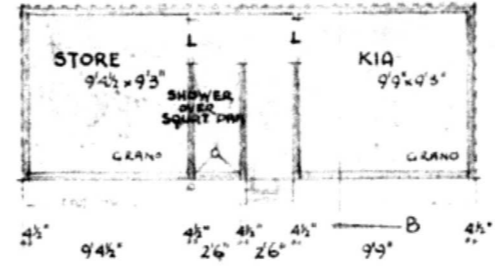
PLAN



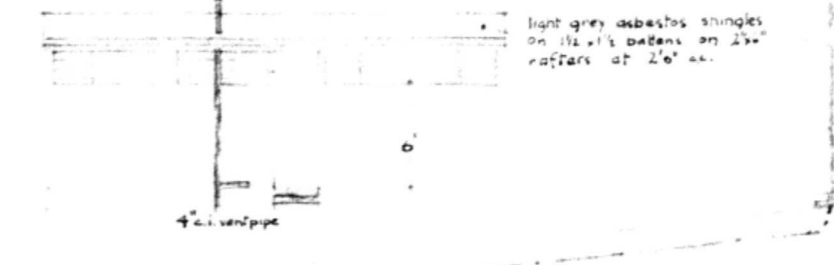
SECTION A-A



KIA PLAN 26'



KIA S.E. ELEVATION



KIA N.E. ELEVATION



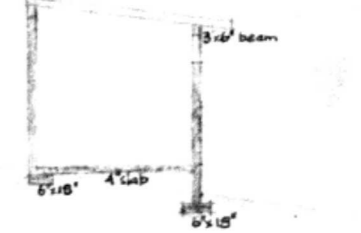
KIA S.W. ELEVATION



KIA N.W. ELEVATION



KIA SECTION B-B



W. Matthews 24-5-62
 Vents required
 where indicated on plan

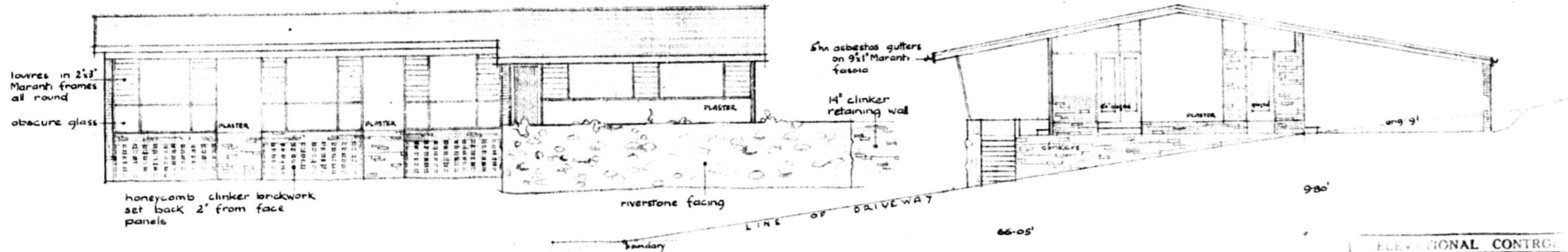
DESIGNER: F. CROOKS PHONE 81285

PROPOSED RESIDENCE FOR MR & MRS A. J. COETZEE SCALE 1"=8'

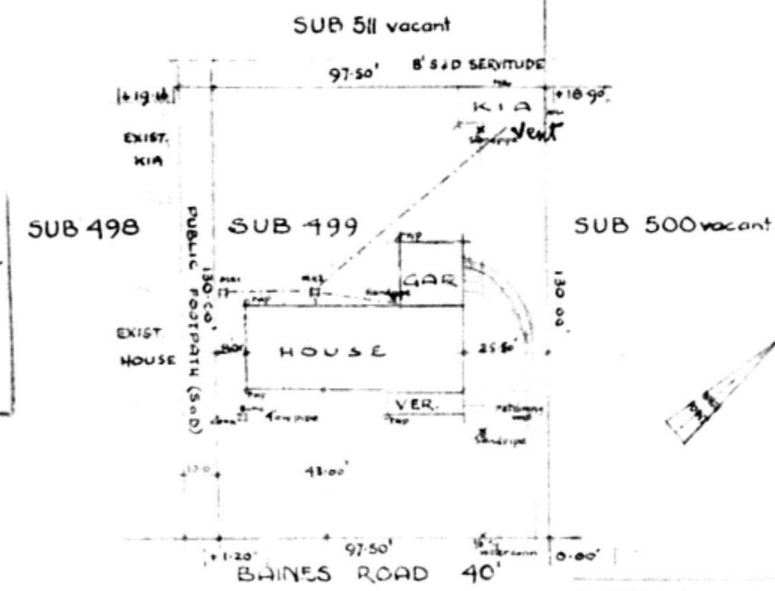
S.E. ELEVATION

N.E. ELEVATION

SITE PLAN SCALE 1"=40'



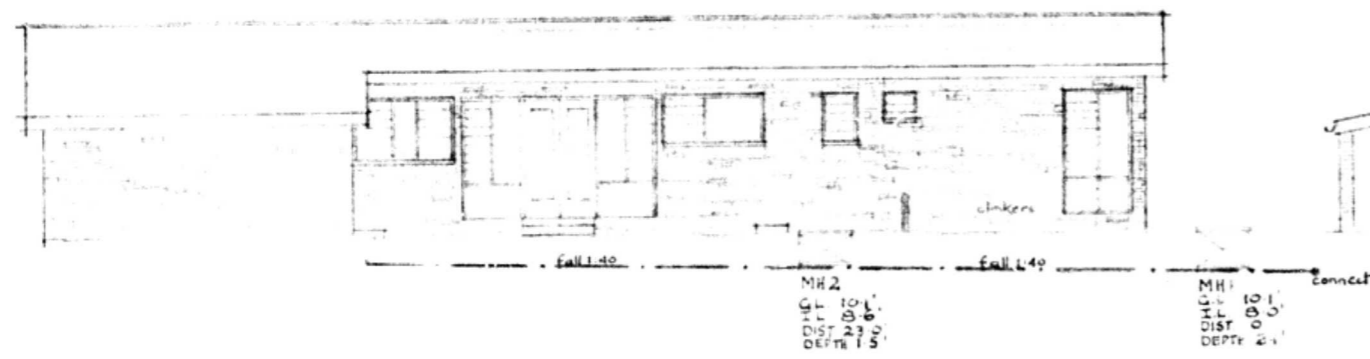
SUB 499 BLOCK E UMBILO OF TOWNLANDS N° 1737 IN EXTENT 12675 SQUARE FEET



ELEVATIONAL CONTROL REFERENCE No. CHECKED BY PLANS APPROVED SUBJECT TO:

N.W. ELEVATION

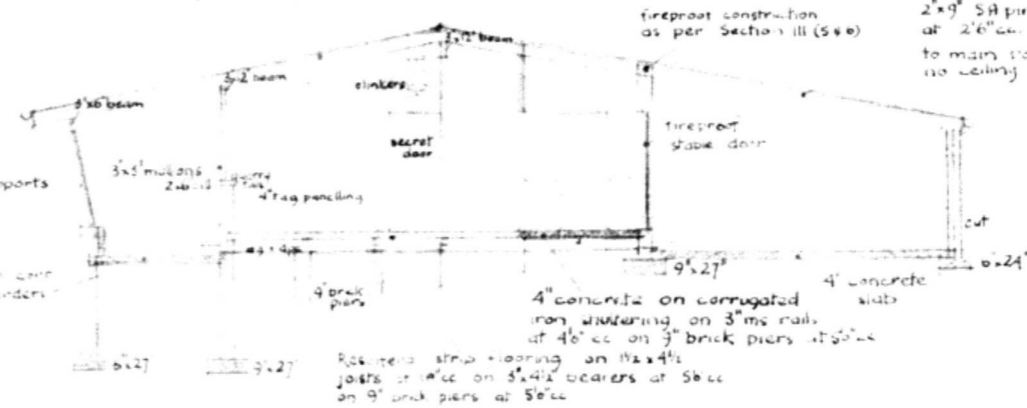
S.W. ELEVATION



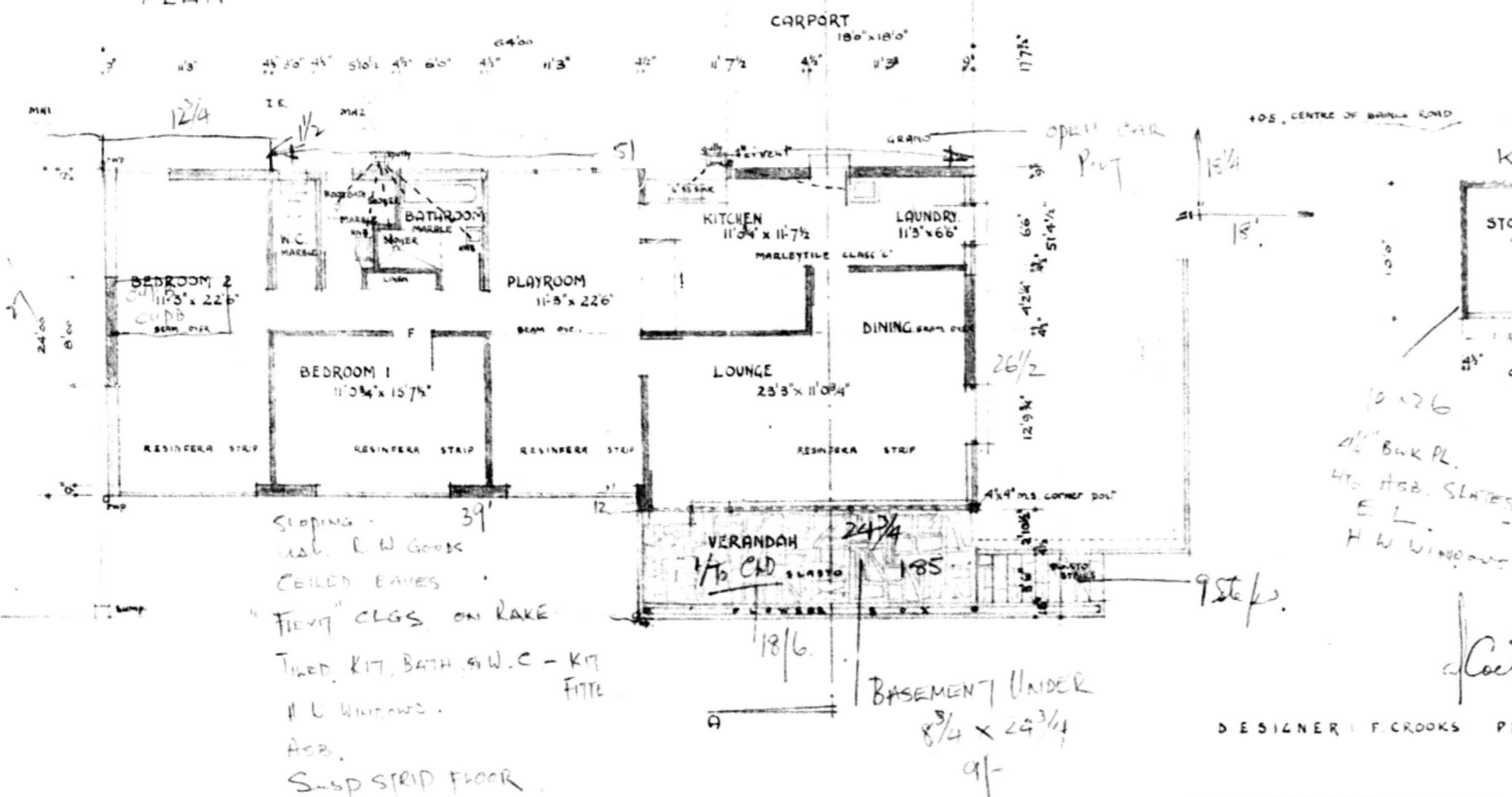
light grey asbestos shingles on 1 1/2\"/>

fireproof construction as per Section III (S&B) 2\"/>

SECTION A-A



PLAN



KIA PLAN



KIA S.E. ELEVATION

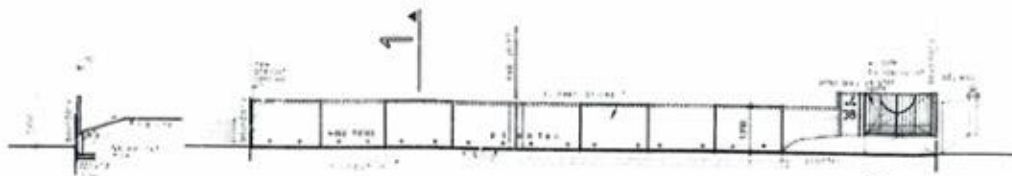
KIA N.E. ELEVATION

KIA S.W. ELEVATION

KIA N.W. ELEVATION

KIA SECTION B-B

DESIGNER: F. CROOKS PHONE B1285



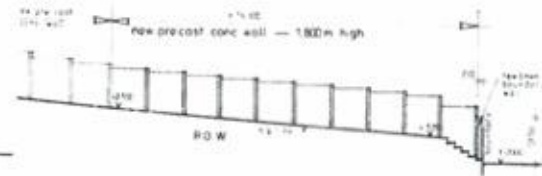
1-1
1:100

south east elevation

1:100

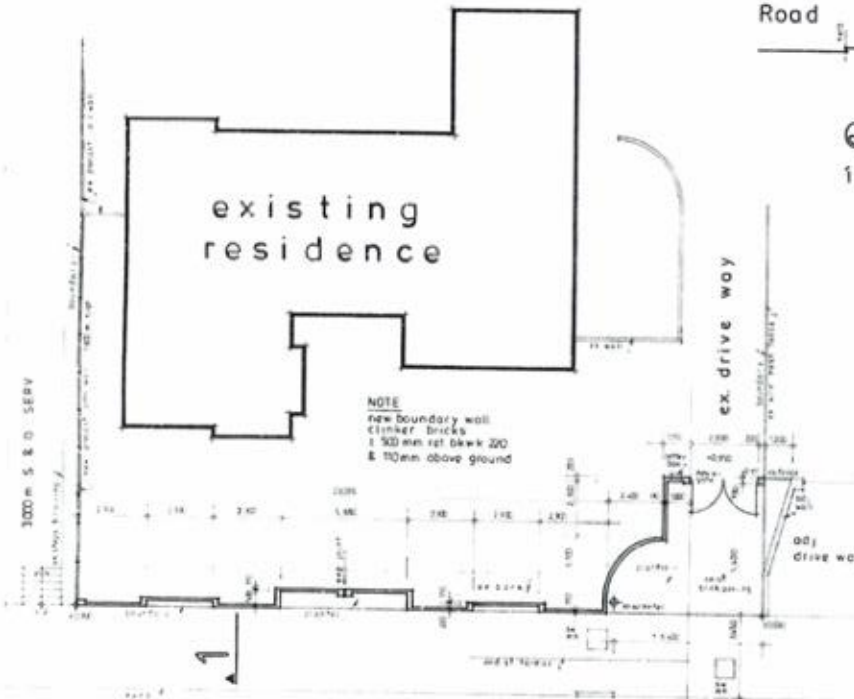
NOTE

all dimensions & levels to be checked on site before work is commenced
Entrance levels are existing - approx 300 mm above tarred road & 3450 mm to kerb



south west elevation

1:100

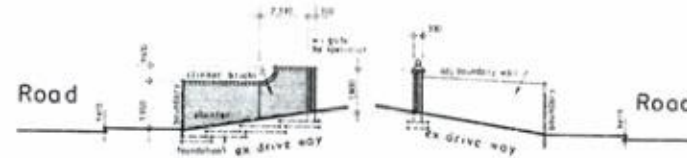


existing residence

NOTE

new boundary wall
clinker bricks
150 mm rat brick 200
& 110 mm above ground

plan 1:100 — BAINES ROAD —



elevations A & B

1:100



BAINES ROAD

site plan 1:500

site description

sub 499 Block E UMBILO of Townlands n° 1737

postal address

38 BAINES ROAD

role n° 14251120

APPROVED: D. C. HAGLEDD
CITY ENGINEER

Any person undertaking building operations in accordance with this plan is required to ascertain from the City Building Engineer the location of underground cables in the vicinity of the proposed works prior to commencement thereof.

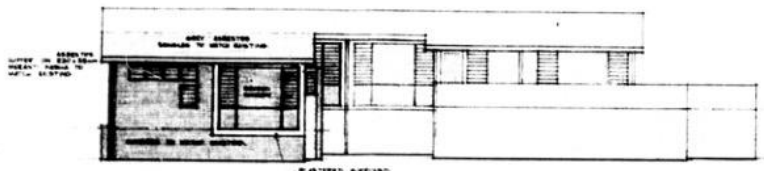
NEW BOUNDARY WALLS
AT
38 BAINES ROAD ✓
ON
SUB 499 BLOCK E
UMBILO OF TOWN —
LANDS N° 1737
FOR
MR. R. A. WRIGHT

scale 1:500
drawn 1/1/17
N°

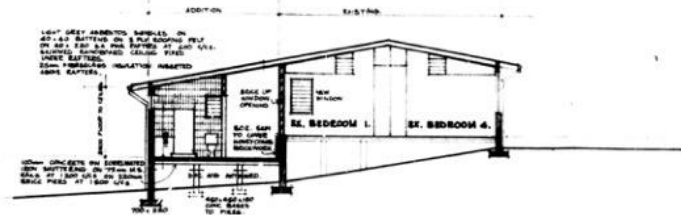
A. Estlin

NOTE: ALL NEW MATERIALS, FINISHES ETC TO MATCH EXISTING

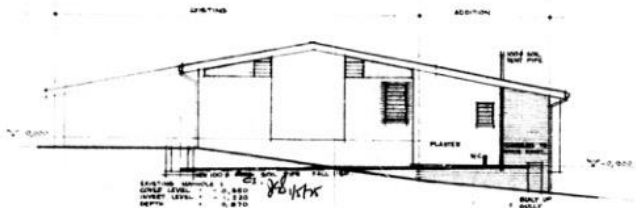
SHEET 1/1 COPY 3
CITY OF DURBAN
 PLAN No. 114/75
 APPROVED
 D. C. MACLEOD DATE 12 MAY 1975
 City Engineer



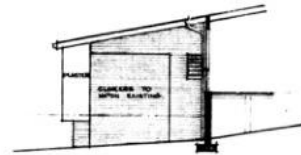
SOUTH EAST ELEVATION



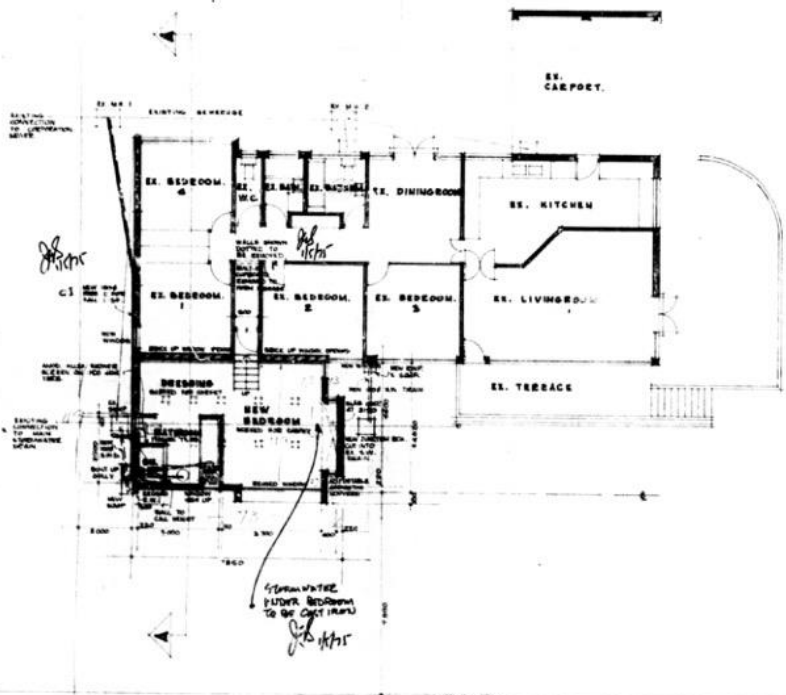
SECTION A-A



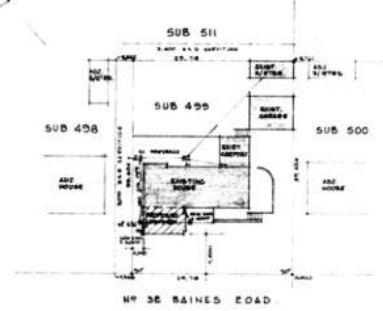
SOUTH WEST ELEVATION



NORTH EAST ELEVATION



PLAN



SITE PLAN

SUB 499 BLOCK E UMULO OF TOWNLANDS NR 1737

PLANNING SECTION
 APPROVED
 DATE - 7 APR 1975
 SIGNATURE *[Signature]*

38, Baines Rd
 Additions

PROPOSED ALTERATIONS AND ADDITIONS TO HOUSE FOR MR. R. WRIGHT
 AT 36 BAINES ROAD
 ON SUB 499 BLOCK E UMULO OF TOWNLANDS NR 1737

AREAS.
 EXISTING HOUSE EC 256.0 M²
 ADDITION 51.7 M²

WORKING DRAWING
 SCALE - 1:100 1:500
 DATE - MARCH 1975

DIRKSEN BLUMENFELD & KEADS
 HWIA AR. SA. ARCHITECTS. PHONE 2084
 101 FLOORS 101ST BUILDING 26 BILLO STREET DURBAN



URBAN PLATFORM
ARCHITECTS + PLANNERS

Suite 7, Sutton Square | 306 Matthews Meyiwa Rd |
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CK Number: 2016/027007/07

ANNEXURE D: LATEST / PROGRESSED MUNICIPAL DRAWINGS

29.72M BOUNDARY LINE

AREA SCHEDULE:

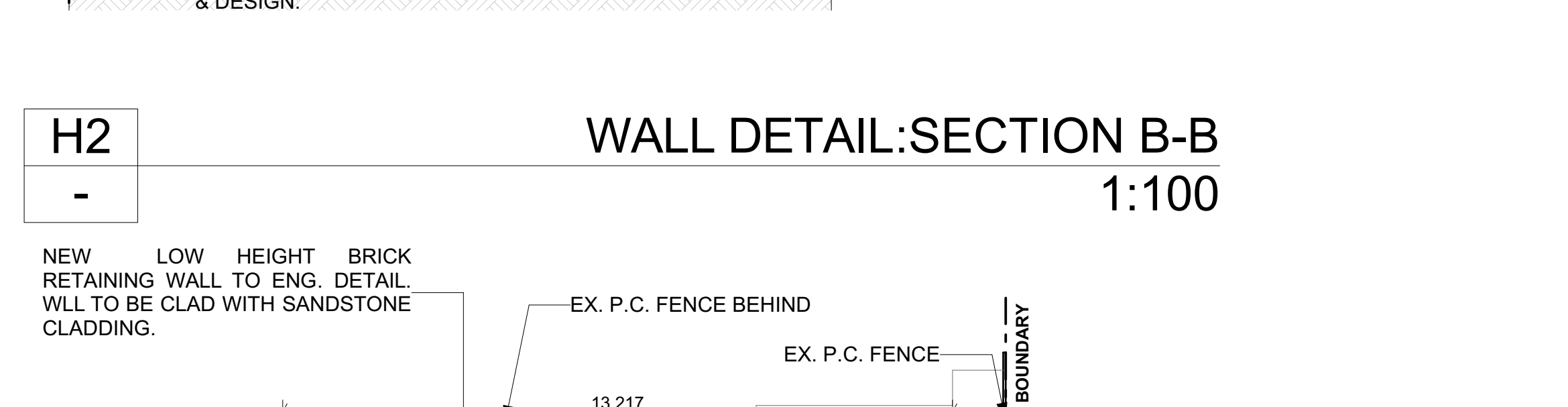
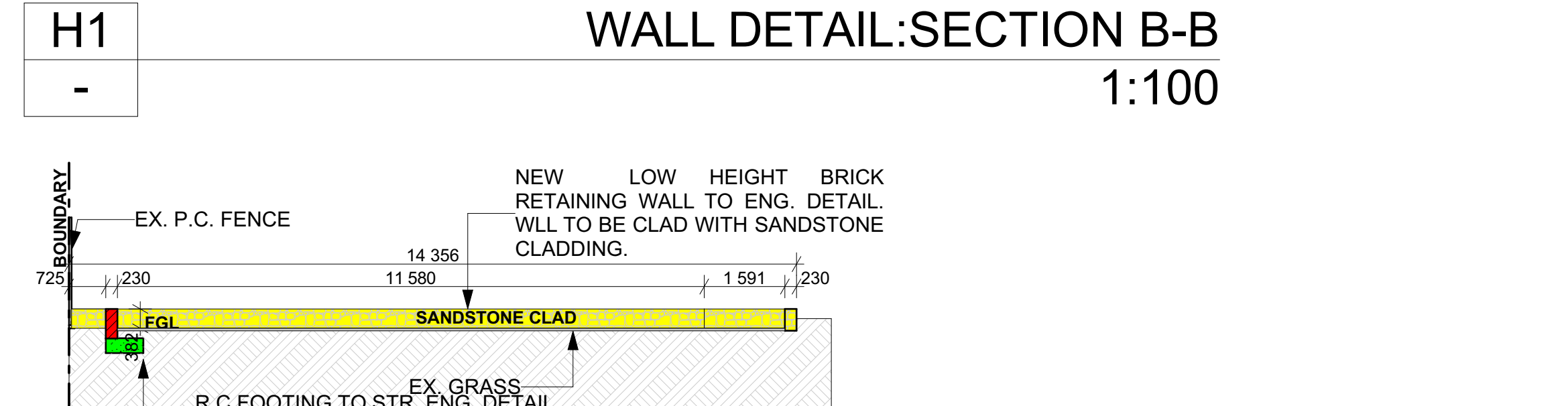
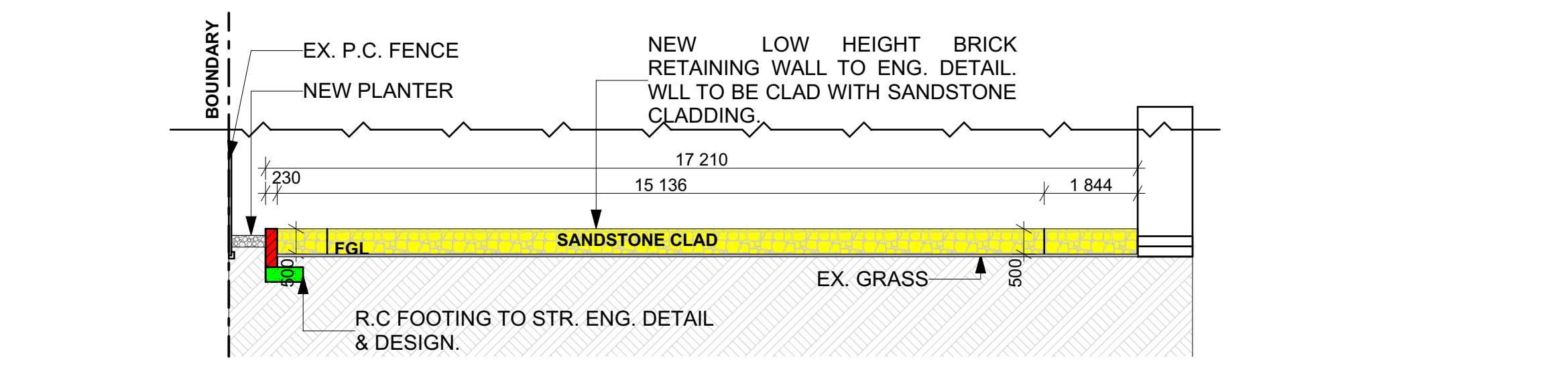
SITE AREA: 1178 m²
 ZONING: SPECIAL RESIDENTIAL 900
 ALLOWED FAR: N/A
 ALLOWED COVERAGE: 50 % (589m²)
 EXISTING COVERAGE: = 406.06m²
 EXISTING FAR: = 275.18m²
 NEW FAR: 5.46m² (NEW BATHROOM EXTENSION)
 NEW COVERAGE: 95.88 m² (NEW AWNING 1+ NEW AWNING 2 + NEW AWNING 3+ EXTENSION TO EX. COVERED AREA)
 NEW TOTAL COVERAGE=501.94 m² (42.86%)
 NEW TOTAL FAR=280.64m² (23.82%)

FIRE PROTECTION TO COMPLY WITH PART 4:
 - ALL WORK TO COMPLY WITH SANS 10400
 - SAFETY DISTANCES TO COMPLY WITH CLAUSE 4.2, ALL EXTERNAL WALLS FIRE RESISTANCE TO COMPLY WITH TABLE 1-30 MINUTE RATINGS FOR WALLS WITH WINDOW OPENINGS ONTO A LATERAL BOUNDARY AS PER 4.2.8 AND TABLE 2 SAFETY DISTANCES: H3 OPENINGS OF LESS THAN 5M² WITH A DISTANCE OF 1M.
 - ANY BUILDING DIVIDED WITH DIFFERENT OCCUPANCIES MUST COMPLY WITH SANS 1000 PART 1, CLAUSE 4.4, 4.5, 4.7, 4.8 AND 4.9
 - ALL MATERIALS TO COMPLY WITH 4.5
 - ALL STRUCTURAL ELEMENTS AND COMPONENTS TO COMPLY WITH PART 4-1.1
 - ALL OPENINGS TO BE PROTECTED IN COMPLIANCE WITH 4.10
 - WHERE AN OPENING IN ANY EXTERNAL WALL OF ANY DIVISION IS LESS THAN 1M MEASURED FROM THE EXTERIOR TO THE INTERIOR OF AN OPENING IN ANOTHER DIVISION SHALL BE PROTECTED BY ANY OTHER EQUIVALENT MEANS OF FIRE PROTECTION WHICH ENSURES THAT THE FLAME TRAVEL PATH FROM ONE OPENING TO ANOTHER IS NOT LESS THAN 1M SHALL BE PERMITTED. TO APPLY TO GLAZED CURTAIN WALLS
 - ALL INTERNAL FINISHES TO COMPLY WITH PART 4-1.2
 - ALL CEILINGS TO COMPLY WITH PART 4-1.3
 - ALL FLOOR COVERINGS TO COMPLY WITH PART 4-1.4
 - ALL INTERNAL FINISHES TO COMPLY WITH PART 4-1.5
 - EMERGENCY AND ESCAPE ROUTES ARE TO COMPLY WITH PART 4-1.6, 4.17, 4.18 AND 4.19
 - ALL ACCESS DOORS TO EMERGENCY ROUTES TO BE SABS CLASS B 120MIN.
 - FIRE RATED DOORS ATTACHED WITH SELF CLOSERS IN COMPLIANCE WITH 4.10.4 AND LOCKS IN COMPLIANCE WITH 4.18.9
 - ALL FIRE DOORS ARE CLASS B FIRE DOORS -2 HOUR FIRE RATING AND ARE SELF CLOSING
 - ESCAPE ROUTES TO BE PROVIDED IN ACCORDANCE WITH 4.18
 - IRONMONGERY, LOCKS AND PANIC HARDWARE TO FIRE ESCAPE AND ACCESS AND 4.21
 - DIMENSIONS OF COMPONENTS OF ESCAPE ROUTES TO COMPLY WITH 4.20 AND 4.21. WIDTH OF ESCAPE ROUTE NOT LESS THAN 1M
 - VENTILATION OF BASEMENTS TO COMPLY WITH 4.4.2
 - ALL OPENINGS IN FLOORS TO COMPLY WITH 4.26
 - EXTERNAL STAIRWAYS TO COMPLY WITH 4.27
 - LOBBIES, FOYERS AND VESTIBLES TO COMPLY WITH 4.28

NOTES:
 1. All boundaries, dimensions and levels are to be checked on site before construction and any discrepancies are to be reported to the office of the Architect.
 2. Partial Service: Any discrepancies with site or other information is to be advised to the Architect and direction of approval is to be sought before the implementation of the detail.
 3. Do not scale this drawing.
 4. For the purpose of coordination, all relevant parties must check this information prior to implementation and report any discrepancies to the Architect.
 5. All fittings, fixtures, sanitaryware, furniture etc. are indicative only. Refer to data sheets for details.
 6. Any dimensions not shown must be confirmed by the Architect prior to construction.
 7. Engineer to confirm all structural design and layout prior to construction and submission for municipal approval.

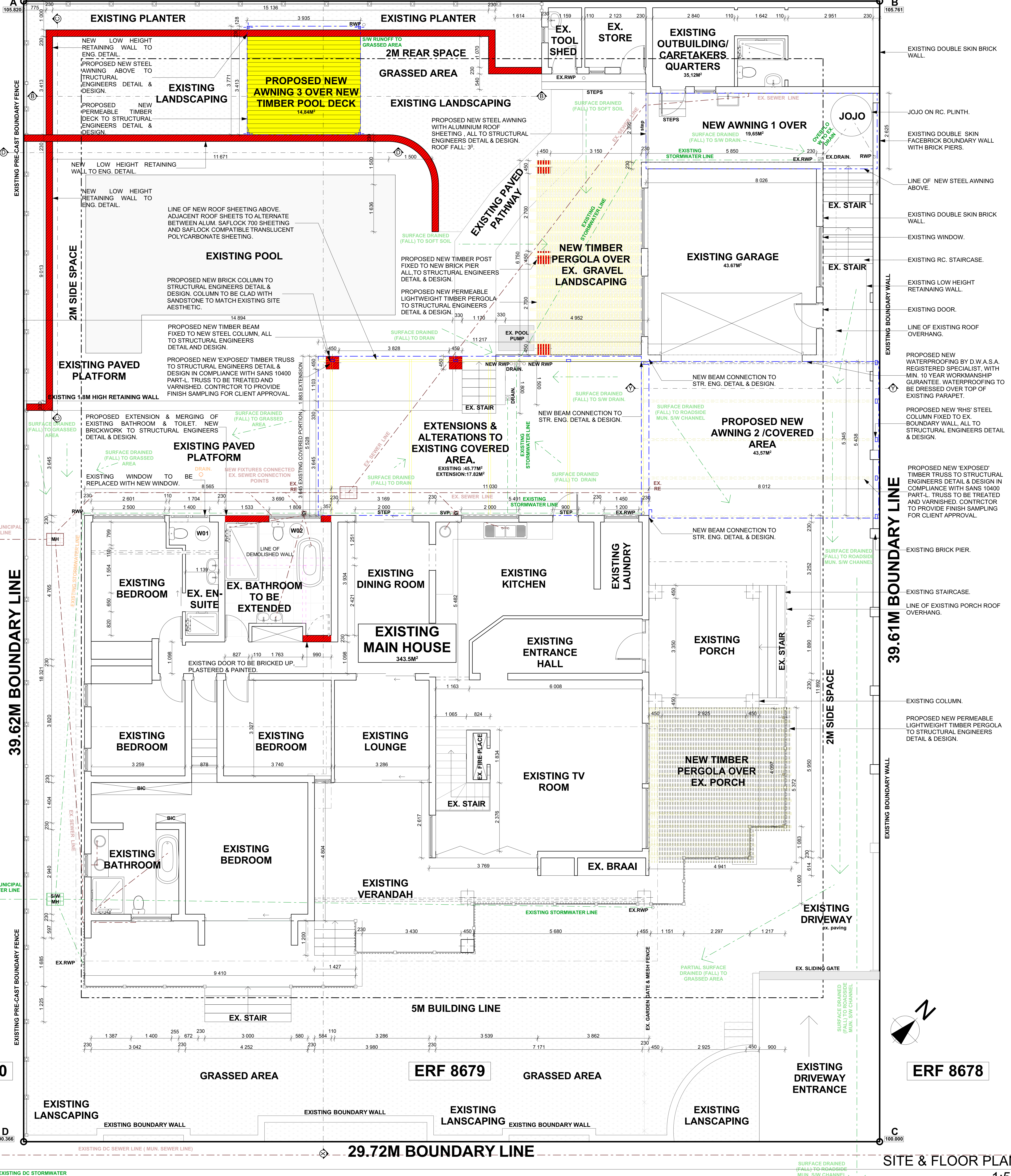
1. QUALITY OF MATERIALS TO COMPLY WITH THE LATEST RELEVANT SABS & BSS SPECIFICATION AND SHALL CONFORM TO THE MINIMUM STANDARDS SPECIFIED IN THE NATIONAL BUILDING REGULATIONS
 2. THE CONTRACTOR IS TO CHECK ALL DIMENSIONS SHOWN ON THESE DRAWINGS BEFORE ANY WORK IS PUT ON HAND AND IS TO REPORT ANY DISCREPANCIES TO THE ARCHITECT/AUTHOR FOR RATIFICATION
 3. THE CONTRACTOR SHALL CORRECT (AT HIS OWN COST) ANY WORK INCORRECTLY PERFORMED AS A CONSEQUENCE OF HIS FAILURE TO OBSERVE THIS INSTRUCTION
 4. ALL CONTRACTORS TO CHECK THE DETAILS SHOWN ON THESE DRAWINGS FOR COMPLIANCE WITH STANDARDS OF GOOD BUILDING PRACTICE WITH PARTICULAR REFERENCE TO SPECIAL REQUIREMENTS NECESSITATED BY LOCAL AND/OR SITE CONDITIONS AND TO REFER ANY COMMENTS OR QUERIES TO THE ARCHITECT/AUTHOR OR PROJECT CO-ORDINATOR BEFORE ANY WORK IS UNDERTAKEN
 5. CONTRACTORS ARE TO LOCATE AND IDENTIFY EXISTING SERVICES ON SITE AND TO PROTECT THESE FROM DAMAGE THROUGHOUT THE DURATION OF THE PROJECT WORKS. SERVICES HAVE BEEN IDENTIFIED BASED ON INFORMATION GATHERED FROM EXISTING DRAWINGS AND VARIANCES EXPERIENCED ON SITE; ANY DISCREPANCIES ENCOUNTERED DURING THE BUILDING WORKS MUST BE RELATED TO THE AUTHOR/ENGINEER FOR RATIFICATION
 6. ANY ERRORS, DISCREPANCIES OR OMISSIONS ON THESE DRAWINGS ARE TO BE REPORTED TO THE ARCHITECT/AUTHOR IMMEDIATELY BEFORE WORK IS UNDERTAKEN
 7. CONTRACTOR IS TO BUILD IN APPROVED DPCS WHETHER OR NOT THESE ARE SHOWN ON THE DRAWINGS I.E. EXTERNAL WALLS, AT EACH FLOOR, BEAM OR PARAPET LEVEL AND TO ALL WINDOWS, DOORS, GRILLES OR OTHER OPENINGS
 8. FIGURED DIMENSIONS TO BE USED AT ALL TIMES
 9. ALL STRUCTURAL WORK TO ENGINEER'S DETAILS
 10. ENGINEER'S DRAWINGS TO BE CHECKED AGAINST ARCHITECT'S/AUTHORS DRAWINGS; ANY DISCREPANCIES TO BE BROUGHT TO THE ARCHITECT'S/AUTHORS ATTENTION ACCORDINGLY
 11. ALL CONSTRUCTION DETAIL UNLESS OTHERWISE SPECIFIED TO BE IN ACCORDANCE WITH MANUFACTURERS WRITTEN SPECIFICATION
 12. CONTRACTOR IS RESPONSIBLE FOR CORRECT SETTING OUT OF BUILDINGS, ALL EXTERNAL AND INTERNAL WALLS WITH PARTICULAR REFERENCE TO BOUNDARIES, BUILDING LINES ETC.
 13. SOIL POSING TO COMPLY WITH THE LOCAL AUTHORITIES REQUIREMENTS
 14. ALL RELEVANT COMPLIANCE CERTIFICATES TO BE OBTAINED BY THE RELEVANT CONTRACTORS FOR SUBMISSION TO COUNCIL
 15. RC LINTOLS ABOVE ALL DOORS AND WINDOWS (TO ENGINEER'S DETAILS AND SPECIFICATION)
 16. EXPRESS JOINTS TO ALL RC BEAM AND MASONRY JOINTS
 17. ROOF TILING TO COMPLY WITH SANS 10062, 2003 CODE OF PRACTICE AND STANDARD FIXING MECHANISMS AND DETAILS
 18. DOORS: WEATHERPROOF GILL TO ALL EXTERNAL FACING DOORS JOINTS TO BE CONFIRMED BY SUPPLIERS
 19. STAIRCASES: ALL FINAL DIMENSIONS FOR STAIRCASES/STEPS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION. ANY VARIATIONS SHOULD BE BROUGHT TO THE ATTENTION OF THE AUTHOR
 20. TIMBER: ALL STRUCTURAL TIMBER WORK BY TO ENG. DESIGN AND DETAILS; EXTERNAL TIMBER TO BE OF SUITABLE STRUCTURAL GRADE AND SEALED ACCORDINGLY
 21. WINDOW CILLS: 75x50MM PLASTERED CILLS WITH 10MM V CHANNEL DRIP GROOVE TO UNDERSIDE
 22. TIMBER: ALL GLAZING TO CONFORM TO SANS 10400: PART N (REFER TO DOOR/WINDOW SCHEDULE)

PART P DRAINAGE
 ALL WASTE PIPES AND DRAINS TO BE ACCESSIBLE ALONG THE ENTIRE LENGTH.
 INSPECTION EYE (I.E.) TO BE PROVIDED AT ALL BENDS AND JUNCTIONS IN THE DRAIN AND AT A MAXIMUM OF 23m LENGTHS ALONG STRAIGHT RUNS OF THE DRAIN.
 ALL INSPECTION EYES TO HAVE MARKED COVERS AT GROUND LEVEL.
 CLEANING EYES (C.E.) TO BE PROVIDED AT ALL BENDS AND JUNCTIONS OF WASTE PIPES.
 ALL WASTES TO BE FITTED WITH 60mm RE-SEAL TRAPS.
 ALL SOIL PIPES TO BE 100mm EXCEPT URINALS WHICH ARE TO BE 75mm OR 50mm IN CASE OF WALL HUNG URINALS.
 ALL SOIL VENTILATION PIPES (S.V.P.) MUST BE TAKEN TO A MINIMUM HEIGHT OF 1.8m ABOVE THE NEAREST ADJACENT WINDOW HEAD.
 WHERE A DRAIN PASSES UNDER A BUILDING IT MUST BE ENCASED IN 150mm CONCRETE AT GROUND AND MUST BE IN A STRAIGHT RUN UNDER THE BUILDING WITH NO BENDS OR JUNCTIONS AND MUST HAVE I.E.'S AT EACH END AT A MINIMUM OF 600mm BEYOND THE BUILDING.
 50mm² COLDROOM CONDENSATE
 100mm² W.O. AND REFUSE FLOOR DRAIN
 WHERE THE VERTICAL DROP FROM SOIL FITTINGS TO THE MAIN DRAIN EXCEEDS 1.2m THESE FITTINGS ARE TO BE ANTI-SYPHON VENTED
 ALL ACCESS PANELS TO BE LOCATED AT PIPE JUNCTION. EXTERNAL PANEL TO BE FIRE CEMENT FINISHED TO MATCH SURROUNDING PLASTER/WALL FINISH.
 ALL DISCHARGES FROM WASHING AREAS TO COMPLY WITH SANS 10400 PART P 4.9
 ALL MATERIALS, PIPES, FITTINGS AND JOINTS TO COMPLY WITH SANS 10400 PART P 4.2
 ALL SANITARY FIXTURES TO BE IN ACCORDANCE WITH SANS 10400 PART P 4.1
 ALL DISCHARGE & VENTILATING PIPES TO BE INSTALLED IN ACCORDANCE WITH SANS 10400 PART P 4.18
 DRAINS TO BE ACCESSIBLE IN ACCORDANCE WITH SANS 10400 PART P 4.19
 ALL SANITARY FIXTURES TO HAVE TRAPS IN ACCORDANCE WITH SANS 10400 PART P 4.20
 ALL GULLYS TO BE INSTALLED IN ACCORDANCE WITH SANS 10400 PART P 4.21
 ALL SEWER & STORMWATER LAYOUTS TO ENGINEER'S DESIGN & DETAILS
 SIZES OF WASTE/SOIL PIPES:
 50mm² - WBS
 38mm² - SHOWER AND SINK
 ALL DRAINS TO BE LAID IN ACCORDANCE WITH SANS 10400 PART P 4.22



NAME+ SURNAME	ADDRESS	EMAIL & CELL	SIGNATURE
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Architect: MITHASHA MISTRY
 Client: MR S.D. DEONARAIN
 Name: MR S.D. DEONARAIN
 Signature:
 Project: PROPOSED ADDITIONS & ALTERATIONS TO 38 BAIRD ROAD, UMBILO (ERF 8679 DURBAN)
 Drawing description: PROPOSED ALTERATIONS TO EX. AWNING, NEW AWNING, COVERED TIMBER DECK, REFURBISHMENT TO BATHROOM, EXTENSION OF BATHROOM & REPLACEMENT OF EXISTING MAIN HOUSE ROOF COVERINGS
 Project: IRSHAAD DALA
 Drawing Number: 140-SD-100

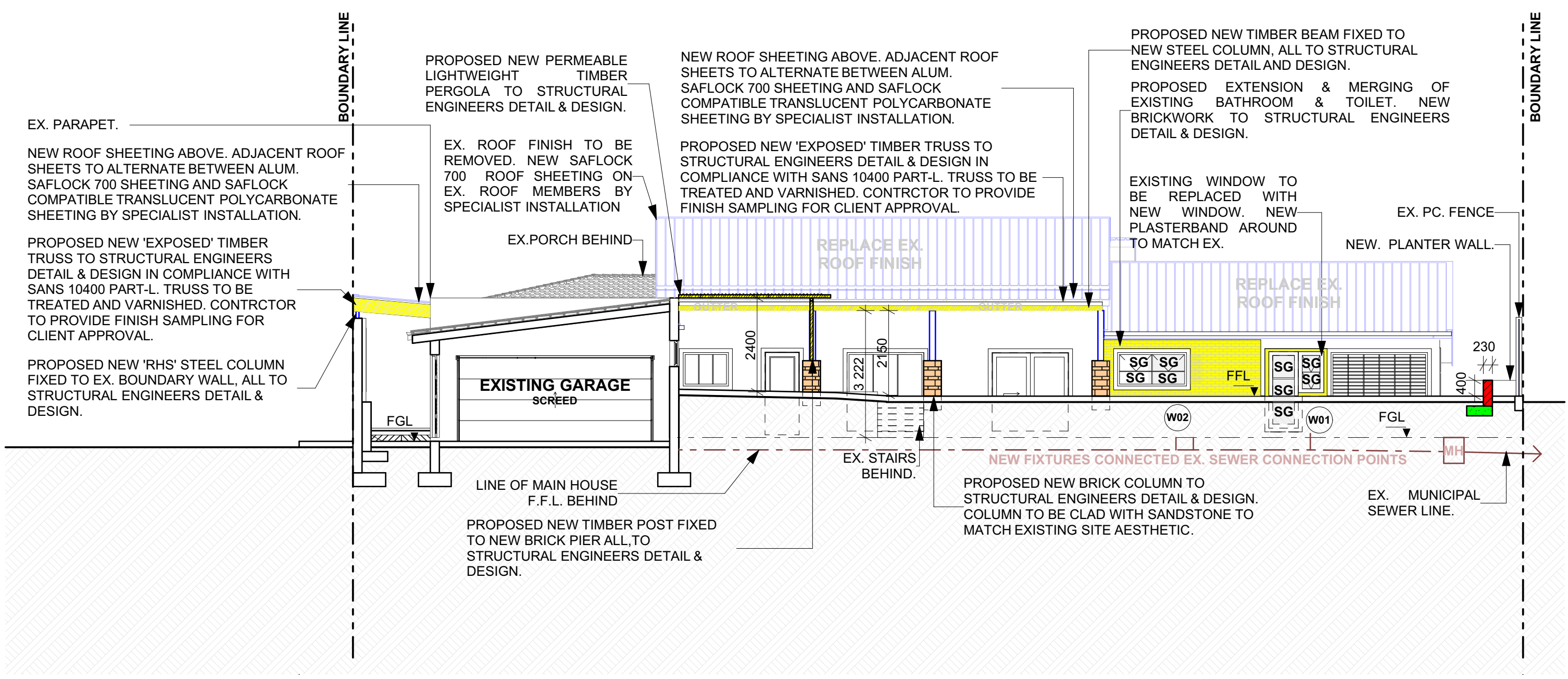


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ERF 8679

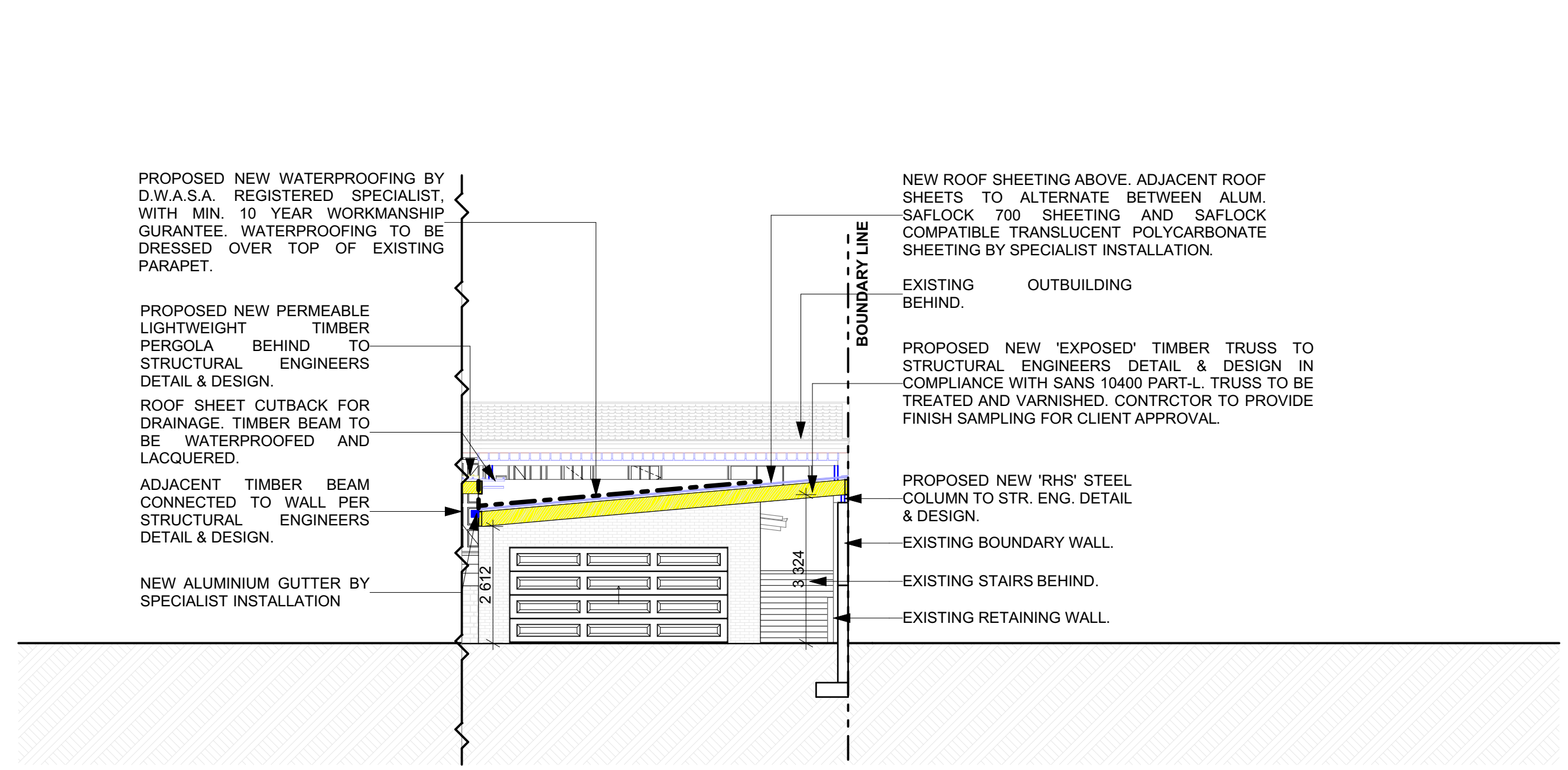
ERF 8678

SITE & FLOOR PLAN
 1:50



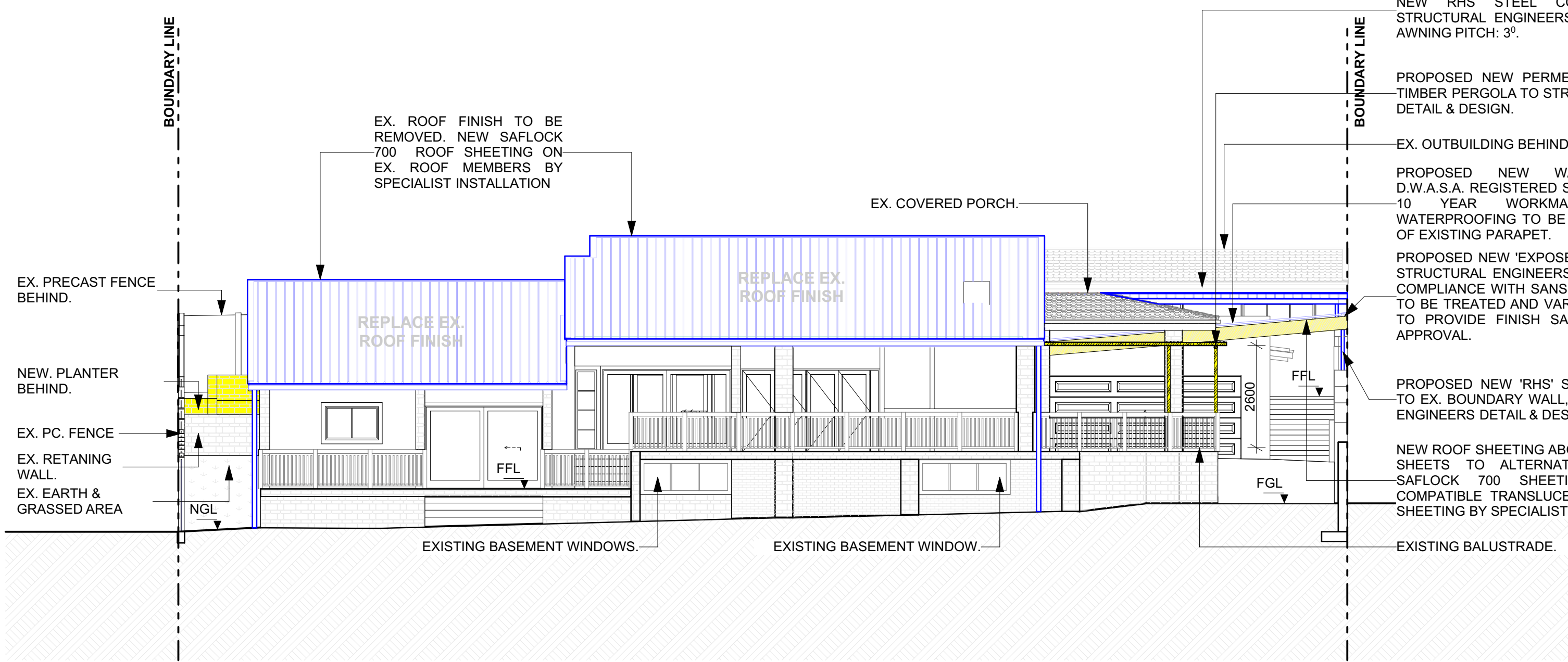
NORTH WEST SECTIONAL ELEVATION
1:100

B
-



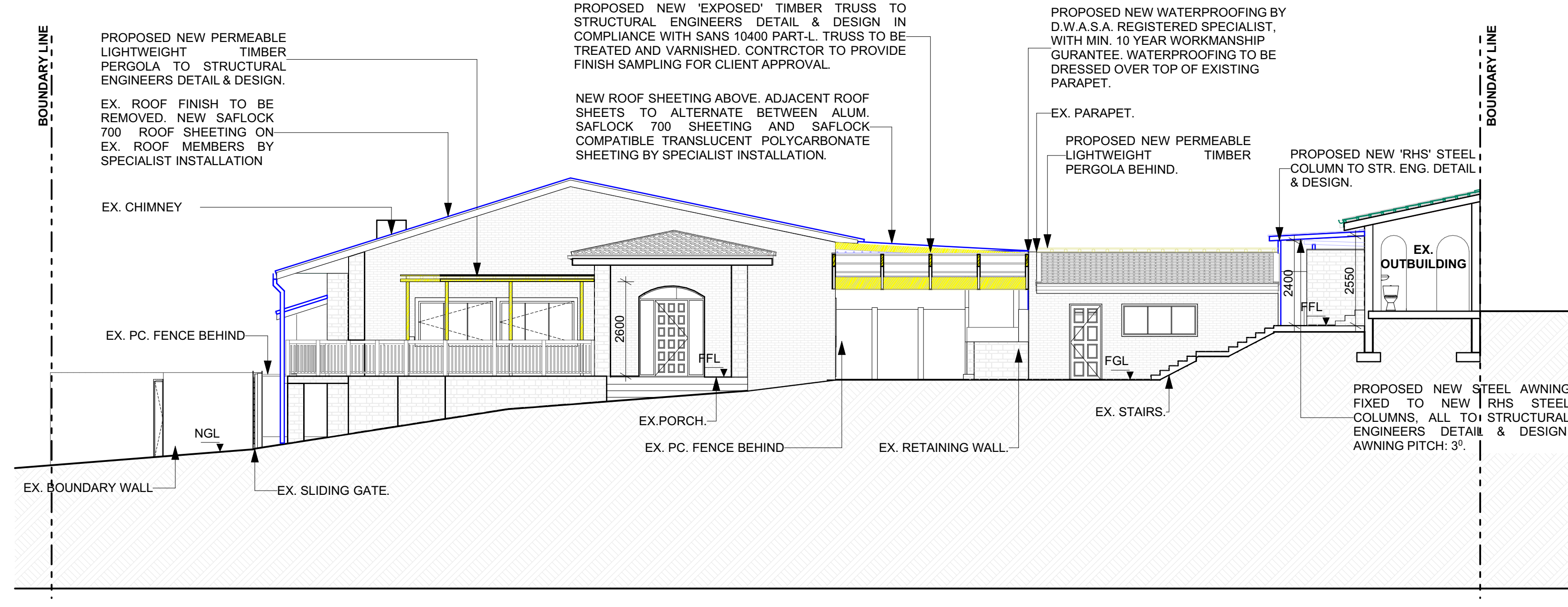
SECTION Y-Y
1:100

F
-



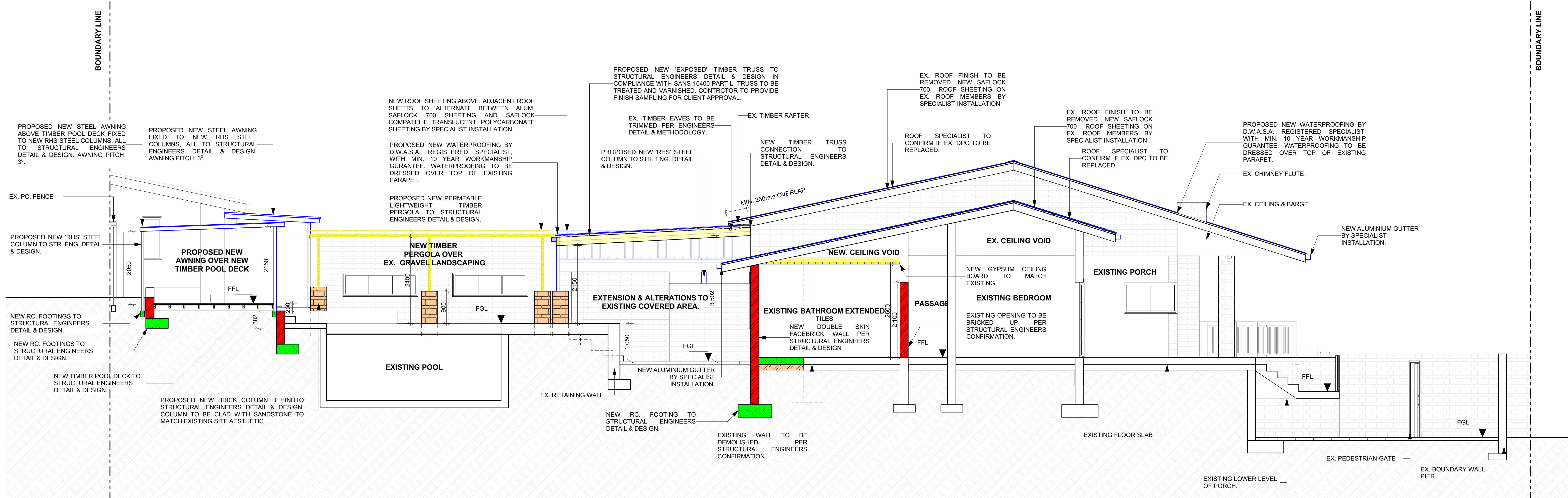
SOUTH EAST ELEVATION
1:100

C
-



NORTH EAST SECTIONAL ELEVATION
1:100

D
-



SECTION X-X
1:50

E
-

ELEMENT ID	W02	W01
TYPE	DOUBLE TOP HUNG WITH FIXED GLAZING TRANSOM	DOUBLE TOP HUNG WITH FIXED GLAZING SIDELIGHT
FRAME	POWDERCOATED ALUMINIUM COLOUR TO MATCH EX. ON SITE	POWDERCOATED ALUMINIUM COLOUR TO MATCH EX. ON SITE
GLAZING	5MM TINTED TOUGHENED SAFETY GLAZING	5MM TINTED TOUGHENED SAFETY GLAZING
VINYL	CLIENT TO CONFIRM	CLIENT TO CONFIRM

G WINDOW SCHEDULE.
1:50

STORMWATER TO COMPLY WITH PART P:-
 - STORM WATER TO BE ATTENUATED ON SITE AS PER ENGINEERS DESIGNS AND THE REQUIREMENTS OF THE LOCAL AUTHORITY.
 - TYPICAL STORM WATER CHANNEL DETAIL TO BE DESIGNED AND DETAILED BY ENGINEER.
 - WATERPROOFING TO SPECIALIST DETAILS.
 - ACCESS TO STORM WATER DRAINS TO BE PROVIDED AT INTERVALS SO THAT NO PART OF THE DRAIN MEASURED ALONG THE CENTRE LINE OF THE DRAIN IS MORE THAN 40M FROM SUCH ACCESS AS PER SANS10400
 - DURING CONSTRUCTION CONTRACTOR TO ENSURE PROPER RUN OFF INTO STORM WATER CHANNEL, APRONS, GRIDS AND OTHER MEASURES AS INDICATED BY THE ENGINEER.
 - AGRICULTURAL DRAINS FOR RETAINING WALLS TO BE POSITIONED AND GRADED TO FALL TO SURFACE WATER DISPOSAL SYSTEM OR EQUIVALENT SYSTEM.
 - RAINWATER GOOD FLAT REINFORCED CONCRETE ROOF (AND OTHER SLABS, WHERE APPLICABLE) TO BE FITTED WITH FULL-BORE DRAINAGE FITTINGS AND CONNECTED TO MIN 75MM DIA.
 - STORMWATER PIPES TO BE MINIMUM DIAMETER OF 110MM. PVC PIPES AT MINIMUM FALL OF 1:100.
 - STORMWATER PIPES FROM ROOF ARE TO BE SEPARATE FROM OTHER STORM WATER PIPES TO BALCONIES, WALKWAYS AND OTHER SIMILAR AREAS.
 - THE TWO SETS OF PIPES TO CONNECT SEPARATELY TO THE STORMWATER ATTENUATION SYSTEM.
 - ALL SURFACES LAID TO FALL TO DRAINS TO BE FINISHED IN NON-POROUS MATERIALS.
 - MINIMUM OF 300 MM WIDE TRENCH DRAINS WITH GMS GRID ACROSS DRIVE WAY WITHIN PROPERTY BOUNDARY.

PART O: LIGHTING AND VENTILATION
 ALL AREAS THAT ARE MECHANICALLY VENTILATED ARE TO BE IN ACCORDANCE WITH SANS 10400 PART O 4.3.2. FRESH AIR TO BE SUPPLIED AT RATE OF 7.5L/SP & TO BE UNIFORMLY DISTRIBUTED THROUGHOUT HABITABLE AREA.

NOTE: OPEN END SVP VENTED 100mm ABOVE ROOF FINISH IN ACCORDANCE WITH SANS 10400 PART P

NAME+ SURNAME	ADDRESS	EMAIL & CELL	SIGNATURE
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BENEDICT POTGIETER	19 WANLESS ROAD GLEAMORE	ben@mg10101.co.za	[Signature]

NOTES:
 1. All boundaries, dimensions and levels are to be checked on site before construction and any discrepancies are to be reported to the office of the Architect.
 2. Partial Service: Any discrepancies with site or other information is to be advised to the Architect and direction of approval is to be sought before the implementation of the detail.
 3. Do not scale this drawing.
 4. For the purpose of coordination, all relevant parties must check this information prior to implementation and report any discrepancies to the Architect.
 5. All fittings, fixtures, sanware, furniture etc. are indicative only. Refer to data sheets for details.
 6. Any dimensions not shown must be confirmed by the Architect prior to construction.
 7. Engineer to confirm all structural design and layout prior to construction and submission for municipal approval.

Architect:
MITHASHA MISTRY

Client:
MR J. DEONARAIN
MR S.D. RUGANAN

Project:
PROPOSED ADDITIONS & ALTERATIONS TO 38 BAINES ROAD, UMBILO (ERF 8679 DURBAN)

Drawing description:
PROPOSED ALTERATIONS TO EX. AWNING, NEW AWNING, COVERED TIMBER DECK, REFURBISHMENTS TO BATHROOM, EXTENSION OF BATHROOM & REPLACEMENT OF EXISTING MAIN HOUSE ROOF COVERINGS

Project:
IRSHAAD DALA

Scale:
AS SHOWN ON DRAWING

FOR SUBMISSION

Drawing Number:
140-SD-101

Revision:
8