

- DEPARTMENTAL NOTES:**
- A. ROOF:-**
1. Refer to sections
  2. External overhangs to be treated with carbolinium.
  3. Ceilings to be 6.4mm gypsum board and painted with covered cornices.
- B. WALLS:-**
1. Two courses of brickwork to be reinforced in with brickforce. Solid cement mortar joint below wallplate level, above window head level and below window sill level.
  2. Unplastered external walls to be bagged and bitumen painted between skins.
  3. All brickwork below ground level to be bricks recommended for the purpose by the manufacturer.
  4. Galvanized wire ties to be built into all 230 cavity walls at 800 centres horizontally and every 6th course vertically.
  5. Gundle 'brickgrip' DPC's to be provided over all slabs, under all eills, parapets and elsewhere as required by the local authority and in accordance with NBR and window systems.
  6. Galvanized steel coil outguards, lapped and soldered at joints to be to local authority requirements.
  7. Two vermin-proofed airbricks to be provided in the external walls of all habitable rooms.
  8. Joints in facebrick to be pointed square 'raked' unless otherwise specified on drawing.
- C. SURFACE BEDS:-**
1. Surface beds to be 100mm concrete of mix not weaker than 1:3:6 by volume, reinforced with BRC mesh at 300 centres both directions or
  2. Surface beds to be laid on Gundle UFS green membrane on ground poisoned by specialist to SABS requirements.
- E. RETAINING WALLS:-**
1. To be built strictly in accordance with professional structural engineer's details.
  2. Vertical tanking behind all retaining walls to be Gundle 'hyperplastic' 500micron membrane installed under manufacturers supervision.
  3. All retaining walls to be provided with agricultural drains behind and below slab level, graded to fall to surface water disposal system.
  4. If the site is found to contain clay, shale, ground water or any other suspect soil condition, then all foundations are to be to professional engineer's details and built
  5. All foundations to be taken to hard, virgin ground. No back filling over excavated areas will be permitted. Foundation depths to be determined on site.

1. The owner is responsible for all local authority expenses.
  3. Where local authority or government regulations require more stringent specification than shown herein, they are to be followed with prior consent of the owner.
  4. The contractor is to inspect the official approved copies of the drawing to ensure that all amendments have been approved
  5. All NBR and SABS standards and specifications are to be adhered to as a minimum standard and good construction principles.
  6. All levels are approximate.
- M. GENERAL:-**
1. This drawing is to read in conjunction with the engineer's drawings, the electrical layout, the key to the electrical layout and the schedule of finishes.
- N. NOTES TO OWNER:-**
1. The attention of the owner is drawn to the fact that changes to the plan and/or specifications after official approval are likely to invalidate that approval.
- F. BOUNDARY WALLS:-**
1. No part of boundary walls or their foundations are to project beyond the property boundaries.
  2. Walls spanning servitudes to be built on RC ground beams to professional engineer's details.
  3. Boundary wall footings parallel with servitude must not project more than 370mm into servitude.
- G. DRAINAGE:-**
1. The contractor is required to ensure that he installs necessary stormwater and/or sewer connections before drainage work commences. It is thereafter the contractors responsibility to ensure adequate falls to these connections.
  2. Approval for the siting of septic tank and/or soakpits together with any percolation tests which may be required is to be obtained from the local authority by the contractor before commencing any building work.
  3. The contractor is responsible for ensuring that stormwater damage to the work in progress or the neighbouring properties does not occur during construction and that the surface water drainage is adequate.
  4. All sanitary fittings to be trapped and/or vented to local authority requirements.
  5. All bends and junctions in drains to be provided with inspection eyes at 25m centres.
  6. Adequate access panels to be fitted in all ducts over inspection eyes.

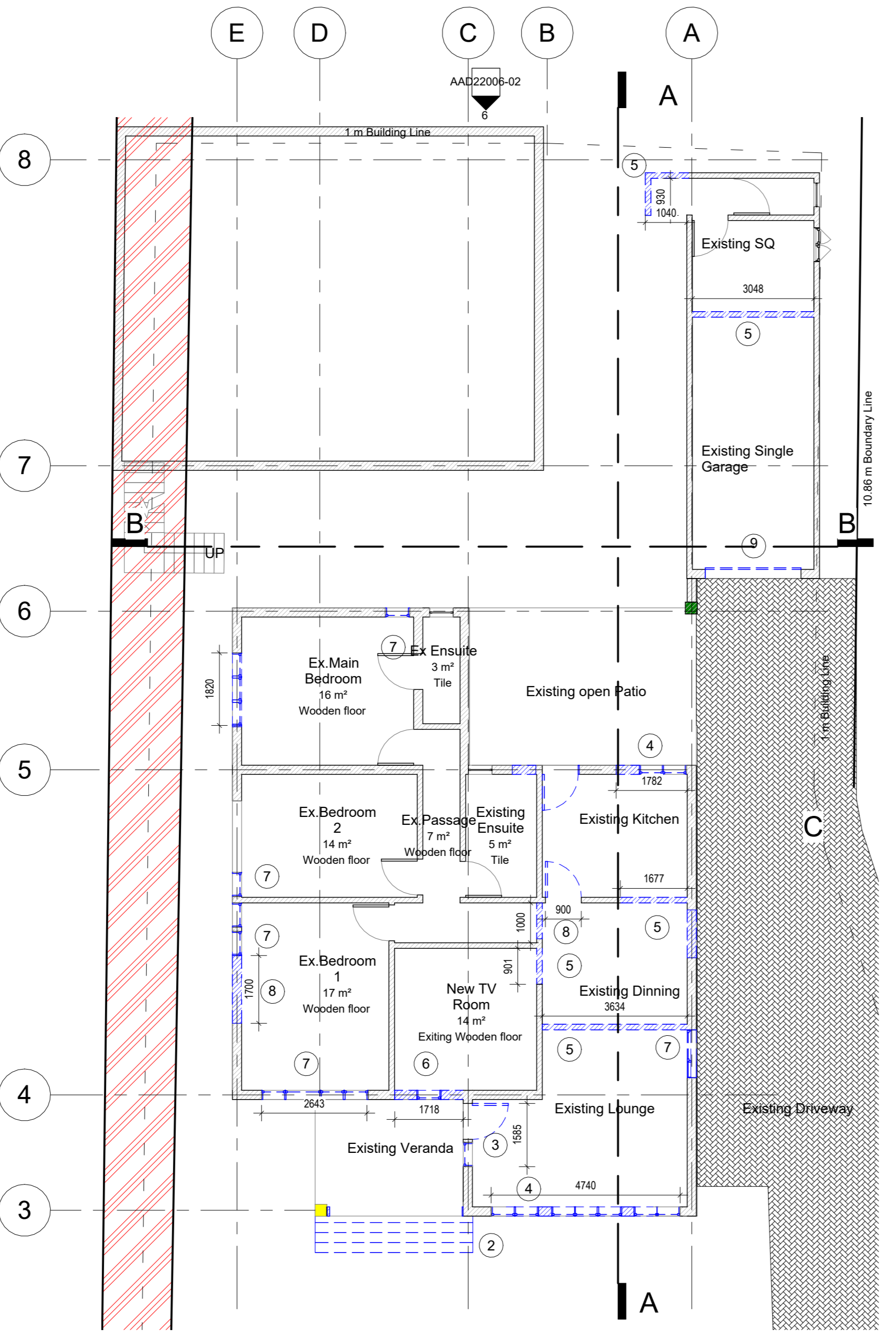
- H. DOORS AND FRAMES:-**
- Safety glass to windows and doors to comply with part NN3 of SANS 10400 -
- Fire doors to be 2hr 44mm solid hardwood timber rated door and self closing from Garage to interior. Roll up garage doors to be horizontal panel door. Please refer to note on window and door materials. Contractor to refer to schedules as provided by architects

- I. WINDOWS:-**
- Windows to be aluminium bronze anodised 36's section aluminium with 25mm cover and sealed.
- All new windows to be taped for protection.
- J. GLAZING:-**
1. All glazing is to be accordance with SANS 10400.
  2. Glazing to bathrooms and WC's to be in clear glass.
- Nominal glass thickness Max. Size Panel
- |      |      |
|------|------|
| 3 mm | 0.75 |
| 4 mm | 1.50 |
| 5 mm | 2.10 |
| 6 mm | 3.20 |
- Any panel of glass installed in any door shall, be safety glass and shall have a nominal thickness of not less than 6 mm and doors not likely to be apparent to any person approaching them, shall bear markings. Any glass lower than 500 mm from floor finish shall be safety glass. Any window at staircases must be safety glass.

- K. SITING AND EXCAVATIONS:-**
1. All boundary beacons are to be flagged by a registered land surveyor and the contractor is to obtain a certificate stating that the work has been correctly set out before proceeding with excavations.
  2. Contractor is to check all dimensions and levels before commencing work and report any discrepancies. Contractor is to confirm and ensure correctness of floor and entrance levels physically on site with local authority inspector before commencing work.

- O. ARCHITECTS ADDITIONAL STAND/RECOM/D SPEC:-**
1. All foundations reinforced and compacted hardcore to 99% modashto.
  2. All brickwork to be cross-bonded every 4 courses vertically, namely Plastered and painted houses.
  3. Skirting to be 100mm Meranti with quadrant.
  4. External cills to be clear glass with drip (250 Micron DPC under).
  5. Internal cills must be meranti with trim.
  6. All aluminium windows to be sealed around edges with Polysulphide sealant.
  7. All window heads to have drip groove.
  8. All parapets walls to have coping with drip groove with 250 micron DPC under, (coping to be impervious to water) and water proofed where applicable.
  9. All flashing to be guaranteed for 10 years.
  10. All flat roof parapets to have build-on Aluminium edge
  11. All walls to have coping with drip fall away from face with drip mould on soffit.
  12. Outer face of innerskin to be bagged and sealed, if not 50mm cavity to used.

- P. PAINT SPEC. FOR PLASTER AND PAINT:-**
1. All plaster work to be done in a 3 to 1 plaster mix in accordance to CSIR standards.
  2. Plaster to have a water proof agent.
  3. Fresh plastered wall to have Sliseal or equal with sealant sprayed on.
  4. Undercoat to be Plascon plaster primer 2 coat final to be 'Plascon Wall&All' or equiv.
  5. Exterior walls to be plastered smooth.



**1 Ground Floor Demolition Layout 1:100**

**LEGEND**

EXISTING CONSTRUCTION	
	Existing Masonry Wall
	Existing Concrete Floor Slab
	Existing Door
	Existing Window

DEMOLITION	
	Demolished Masonry Wall
	Demolished Concrete Floor Slab
	Demolished Door
	Demolished Window

NEW CONSTRUCTION	
	New Masonry Wall
	New Concrete Floor Slab
	New Door
	New Window

SEWER	
	Existing 110mm $\varnothing$ pVPC Soilpipe
	Existing 50mm $\varnothing$ pVPC Waste Water Pipe
	New 110mm $\varnothing$ pVPC Soilpipe
	New 50mm $\varnothing$ pVPC Waste Water Pipe
	Municipal Sewer Connection

**Legend 1:50**

**Schedule of areas**

Use Zoning:	Special Residential 400														
Building Height:	2 Storey														
Building Lines:	Street Boundary: 3.0m Rear and side boundaries: 1 m														
Stand Area:	Gross Area: 715 m <sup>2</sup> Net Area: 649.17														
Permitted:	Existing, proposed, Total :														
Coverage: 50% 357.5	<table border="1"> <tr><td>Exisente House</td><td>148.9 m<sup>2</sup></td></tr> <tr><td>Exisente Garage converted in Granny Flat</td><td>34.76 m<sup>2</sup></td></tr> <tr><td>Additional New Garage</td><td>42.61 m<sup>2</sup></td></tr> <tr><td>Additional New Veranda</td><td>20.67 m<sup>2</sup></td></tr> <tr><td>Additional New Entertainment Area</td><td>35.57 m<sup>2</sup></td></tr> <tr><td>Additional Store room/Laundry</td><td>28.22 m<sup>2</sup></td></tr> <tr><td><b>Total</b></td><td><b>310.73 m<sup>2</sup></b></td></tr> </table>	Exisente House	148.9 m <sup>2</sup>	Exisente Garage converted in Granny Flat	34.76 m <sup>2</sup>	Additional New Garage	42.61 m <sup>2</sup>	Additional New Veranda	20.67 m <sup>2</sup>	Additional New Entertainment Area	35.57 m <sup>2</sup>	Additional Store room/Laundry	28.22 m <sup>2</sup>	<b>Total</b>	<b>310.73 m<sup>2</sup></b>
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**Shedule Areas 1:200**

- EXISTING WALLS TO BE CLEAN AND NEW PAINT**
- EXISTING WOODEN FLOOR TO SAND IT, TREAT IT AND MAKE GOOD.**
- 1 - DEMOLISHION OF THE PORTION OF THE WALL TO OPEN DOOR FOR DOUBLE GARAGE 4.8 M X 2.1M AND PEDESTRIAN DOOR 1000MMX2100MM ON FRONT BOUNDARY WALL.
  - 2 - DEMOLISHION OF THE EXISTING STAIR CASE.
  - 3 - REMOVING WINDOW AND AND DOOR AND BRICK THE OPENING UP.
  - 4 -REMOVING WINDOW AND DEMOLISHING PORTION OF THE WALL TO ACCOMODATE NEW DOOR AND NEW WINDOWS
  - 5- DEMOLISHION OF THE WALL.
  - 6 - REMOVING EXISTING WINDOW, AND DEMOLISHION OF THE WALL.
  - 7 - REMOVING WINDOW AND BRICK UP THE OPENING.
  - 8- REMOVING EXISTING DOOR AND FINISH THE OPENING WITH THE ARCH
  - 9- REMOVING GARAGE DOOR TO ACOMODATE NEW DOOR AND WINDOWS.

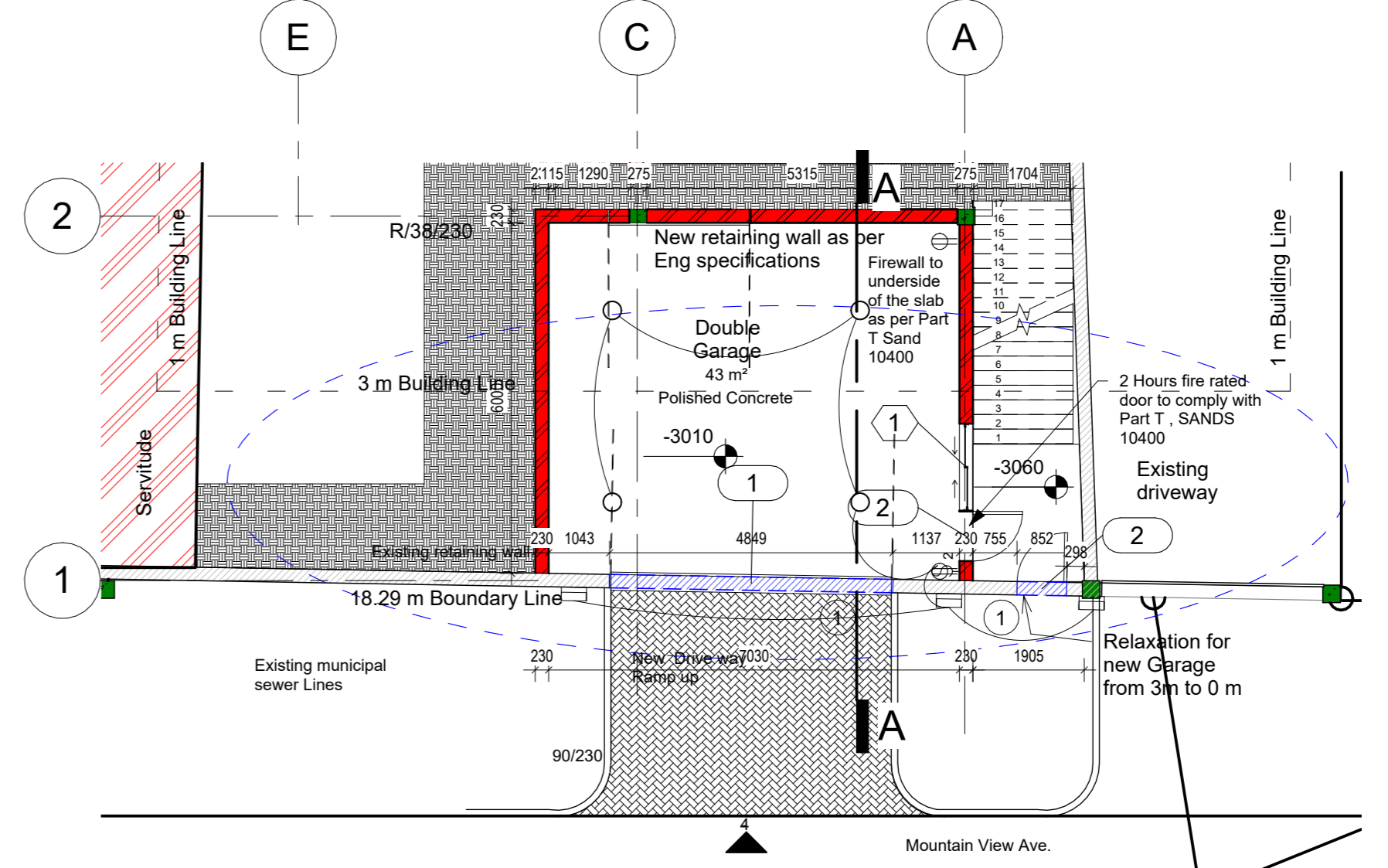
- ENERGY EFFICIENCY (PART XA) NOTES:**
- all doors to have door seals / draught protection
  - all external lighting to be solar powered
  - HOT WATER SUPPLY: ( If it is Solar Geysler )**
  - geyser to be in a horizontal position. 300l solar geyser to be installed on the roof by "solar primeg" in a close coupled system.
  - 1980mmx1300mmx75mm(2) solar panels to be installed by specialists.
  - electrical connection to be completed by registered electrician.
  - insulation material to have a min. 1.0 install isover's 50mm thick flexible foil faced, none combustible, lightweight, glasswool insulation blanket around with a wall thickness of 35mm for the first 2m on all incoming / outgoing water pipes from the geyser with an R-value of 100. install in accordance with the manufactures details and specification. density of insulation: 10-18 KG/M<sup>3</sup>
  - 50% of the annual hot water consumption to be heated by means of other than electrical.
  - 54 Gkl to be heated by solar water heater.
  - Roof insulation
  - roof insulation to have a min. r-value of 2.15.
  - roof isovers 100mm thick flexible non-combustible light weight glasswool "loft insulation " material between the roof trusses & over brandings/ purlind in a completed roof & ceiling system with an R-value of 2.50. installation strictly in accordance with the manufactures detail and specification. density of insulation: 10-18kg.
  - Soil class designation : H

RELAXATION

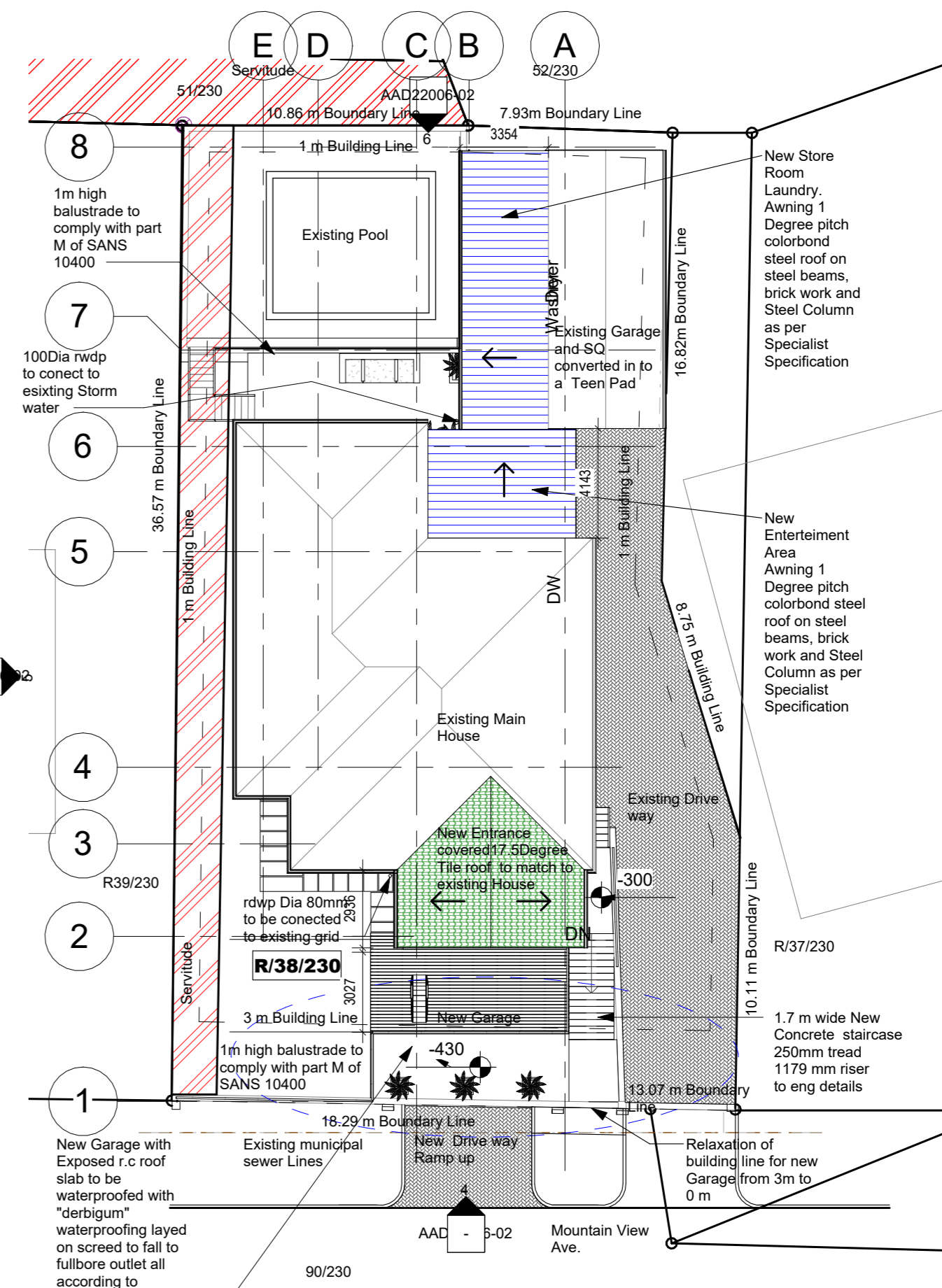
Name	Address	ID No	Tel/Cell No	Signature
SHANAZ PERAL	36 MOUNTAIN VIEW AVENUE	770719037088	083 657 1447	
YOGENDRA CHETTI	40 MOUNTAIN VIEW AVENUE	660281 E062 08 9	083 407 6215	

Name	Address	I.D. No.	Tel/Cell	Signature
ZUBAIR A.	51 MOUNTAIN VIEW AVENUE	8201208081	0780580462	
INDRASEN CHETTI	49 MOUNTAIN VIEW AVENUE	781414514089	083 789 2630	
P. MUDACT	47 MOUNTAIN VIEW AVENUE	690265197087	083 777 4804	

**Relaxation of the Front Building line from 3m to 0m**



**3 Garage level 1:100**



**2 Site Plan 1:200**

LOCAL AUTHORITY STAMP

1. All boundaries, dimensions and levels are to be checked on site before construction and any discrepancies are to be reported to the Architect.
2. Partial Service: Any discrepancies with site or other information is to be advised to the Architect and direction or approval is to be sought before the implementation of the detail.
3. Do not scale this drawing.
4. For the purpose of coordination, all relevant parties must check this information prior to implementation and report any discrepancies to the Architect.
5. Any discrepancies MUST be reported to the ARCHITECT immediately prior to any commencement of work. The author will not be responsible for work carried out without the ARCHITECT'S consent as well as deviations from the approved plans.
6. Any plans removed from ARCHITECT'S office without his prior authorization will be deemed unchecked and thereafter invalid.
7. The attention of the owner is drawn to the fact that changes to the plan and/or specifications after official approval are likely to invalidate that approval.
8. The no construction is to be carried out on site prior to approval of submissions from relevant authorities.

REVISIONS

NO.	DATE	DESCRIPTION	REV. BY.

For: Lance Arthur Joseph Engelbrecht and Family.  
38 Mountain View Avenue, Morningside, R/38 of ERF 230, Springfield

Project: Addition and Alteration to Engelbrecht Family's House

Working Drawing: Site Plan, Demolition Ground floor. Proposed New garage level

Owner Signature:



Call 0815853762 Email: aurora.architectural.designs@gmail.com  
Yanetel Aurora Fonseca Nunez SACAP NUMBER: PSAT24751232

Approved By: Date: 01/08/2022

BUILDING CLASSIFICATION: H-4 CLIMATIC ZONE: 5  
Paper Size: A1 SCALE: As indicated

Drawn: YAFN Checked: YAFN DATE: 01/08/2022

PROJECT No: AAD22006  
DRAWING No.: AAD22006-01  
REVISION: