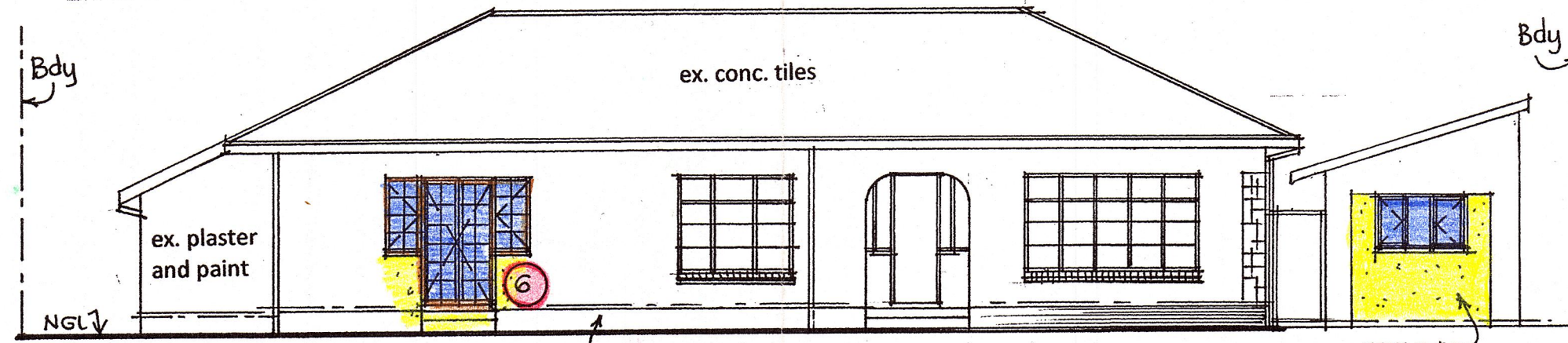
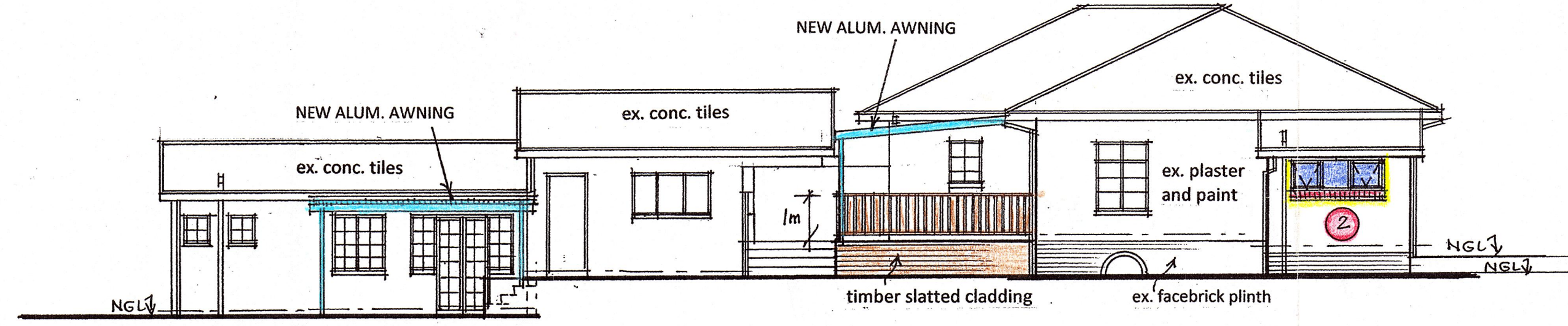


SOUTH EAST ELEVATION

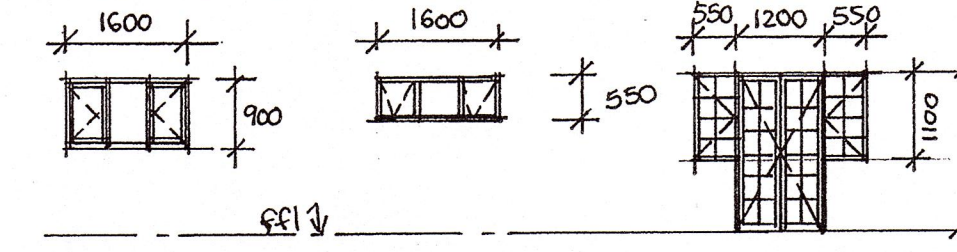
NOTE: ALL NEW BALUSTRADES TO COMPLY WITH SANS10400-PART D.4.2; I.E. TO BE 1m HIGH AND TO HAVE MAX. 100mm OPENINGS.



NORTH WEST ELEVATION



NORTH EAST ELEVATION



Window type	W1	W2	D1
Glass thickness	3mm	4mm	4mm
Glass type	Mon. annealed	Tough. safety gl.	Tough. safety gl.
Frame type	HW timber	HW timber	HW timber

WINDOW AND DOOR SCHEDULE 1 : 100

**WATER RETICULATION**

**MAIN DWELLING :**  
 CLASS OF OCCUPANCY H4  
 DESIGN POPULATION 6 PERSONS  
 HOT WATER DEMAND 115 litres/person/day x 7 = 230 litres/day  
 HOT WATER STORAGE VOLUME AT 60 DEGREES C ( 20% HEAT LOSS) 40 LITRES/CAPITA x 6 PERSONS = 240 litres  
 HOT WATER STORAGE = 240L + 48L = 288L  
 20% HEAT LOSS ALLOWANCE 48 litres  
 HOT WATER STORAGE REQUIRED AT 60 DEGREES C = 240L + 48L = 288L

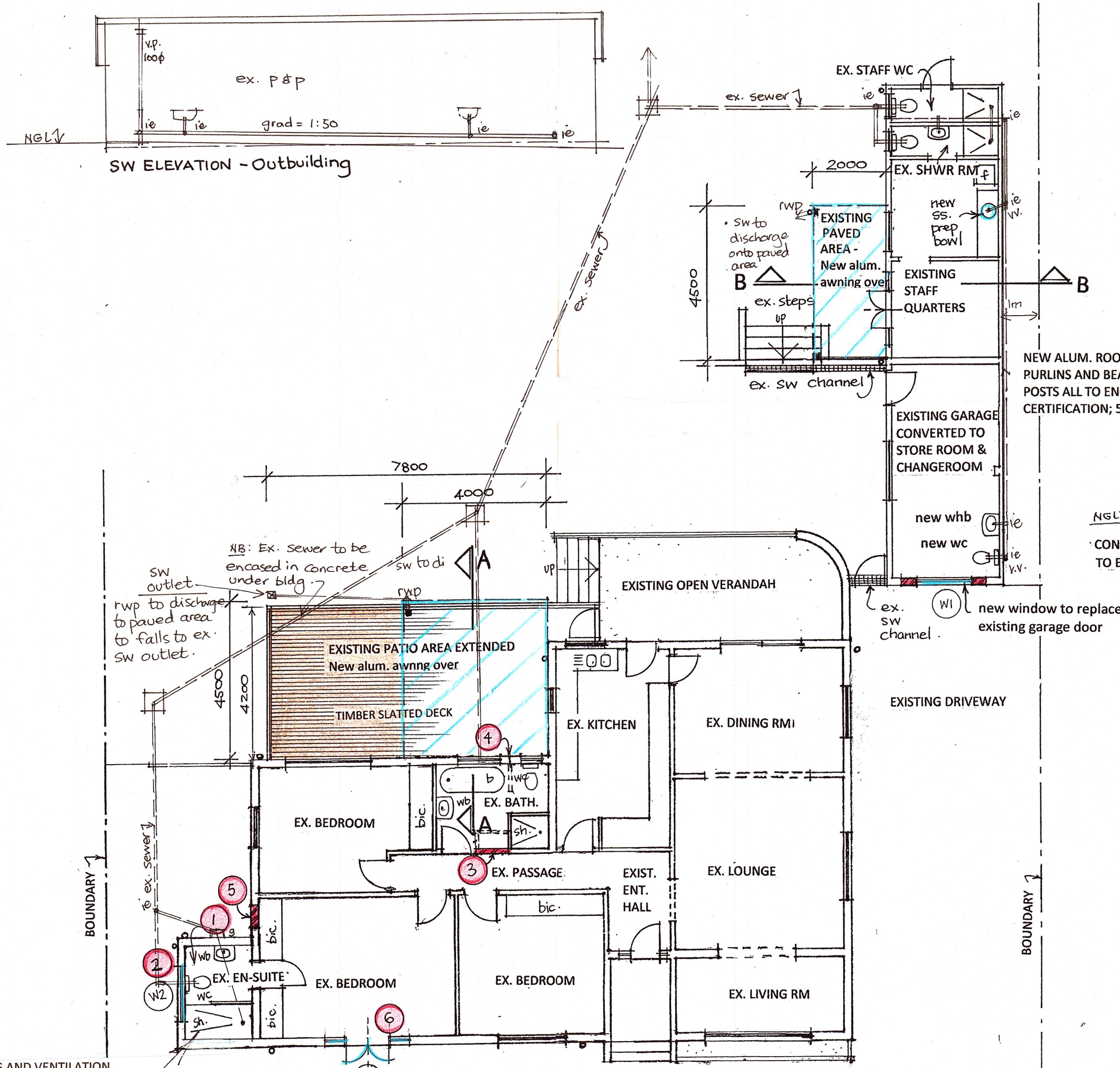
POWER REQUIRED TO HEAT VOLUME OF WATER REQUIRED :  
 HOT WATER STORAGE REQUIRED AT 60 deg C = 288L  
 $Q = (M \times C \times \Delta T) / t$   
 $Q = (0,288 \times 1,16 \text{ kWh/m}^3 \text{ deg C} \times (60 - 20 \text{ deg})) / 2,5 \text{h}$   
 $Q = 5,34 \text{ kW}$   
**NOTE - SUPPLY OF WATER TO COMPLY WITH SANS 10400- PART W**

**DRAINAGE NOTES:**

ANY DAMAGED FITTINGS TO BE REPLACED.  
 ALL GULLY SURROUNDS AND MANHOLE COVERS TO BE 75mm ABOVE GROUND LEVEL.  
 SEWER CONNECTION TO BE EXPOSED BEFORE COMMENCING WORK.  
 IE'S TO ALL BENDS AND JUNCTIONS.  
 SOIL PIPES TO BE 100diameter PVC.  
 WASTE PIPES TO BE 50 diameter PVC.  
 SEWER PIPES UNDER BUILDING TO BE 100 diameter UPVC RIBBED PIPE.

**GENERAL NOTES:**

ALL LEVELS AND DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTOR BEFORE COMMENCING WORK.  
 FOUNDATIONS TO BE MIN. 1m FROM MUNICIPAL SERVICES.  
 REINFORCED BRICKWORK WITH SOLID JOINTS IN CEMENT MORTAR IN ALL WALLS AT WINDOW CILL AND ROOF PLATE LEVELS.  
 SOIL TO BE POISONED.  
 ALL NEW WATER PIPES TO BE 22mm o COPPER PIPING.  
 TOILET AND WASHING FACILITIES TO BE PROVIDED IF EMPLOYEES ARE EMPLOYED.  
 100 CONCRETE SLAB ON BRC MESH ON SABS APPROVED DAMP ROOF MEMBRANE ON WELL RAMMED SOIL.  
 ALL GLAZING TO COMPLY WITH SANS 10400 - PART N.  
 FLOORS IN BATHROOM, LAUNDRY AND KITCHEN TO COMPLY WITH SANS 10400 - PART J.4.2.  
 ALL NEW WORK TO COMPLY WITH SANS 10400 XA AND SANS 204, ENERGY EFFICIENCY AND USAGE OF A BUILDING.  
 ALL PLUMBING TO COMPLY WITH SANS 10400- PART P.  
 LIGHTING AND VENTILATION TO COMPLY WITH SANS 10400- PART O.  
 GUTTERS AND DOWNPIPES TO COMPLY WITH SANS 10400- PART R.  
 FLASHING TO BE PROVIDED AS PER SANS 10400-PART L.  
 SUPPLY OF WATER TO COMPLY WITH SANS 10400 PART W.  
**NEW WALLS, ROOF, FOUNDATIONS, LINTELS AND BEAMS TO ENGINEER'S DETAIL.**



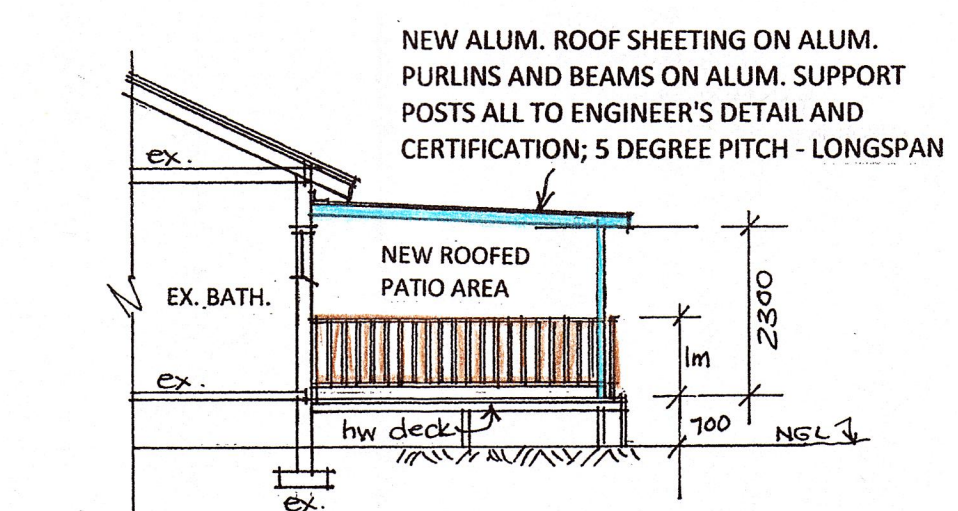
GROUND STOREY PLAN 1 : 100

**LIGHTING AND VENTILATION**  
**EX. EN-SUITE BATHROOM:**  
 Nett floor area = 4,94m<sup>2</sup>  
 5% of NFA = 0,247m<sup>2</sup>  
 10% of NFA = 0,49m<sup>2</sup>  
 Area of windows = 0,88 (>10%)  
 Area of openable windows = 0,55 (>5%)  
 Therefore complies with SANS 10400- PART "O"- LIGHTING AND VENTILATION.

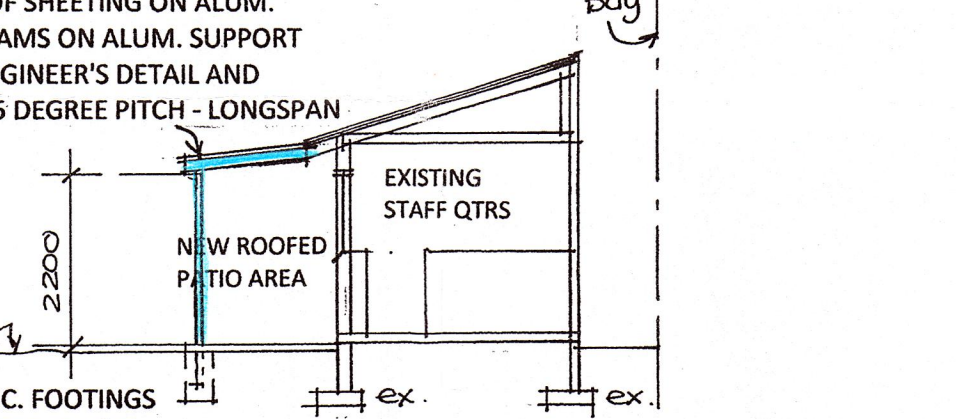
**FENESTRATION CALCULATIONS**  
 NETT FLOOR AREA = 135,8m<sup>2</sup>  
 20% of NFA = 27,16m<sup>2</sup>  
 total new fenestration area = 28,75m<sup>2</sup> (>20%)  
 SEE ATTACHED ENERGY EFFICIENCY CALCULATIONS REPORT.

**LIST OF DEVIATIONS**

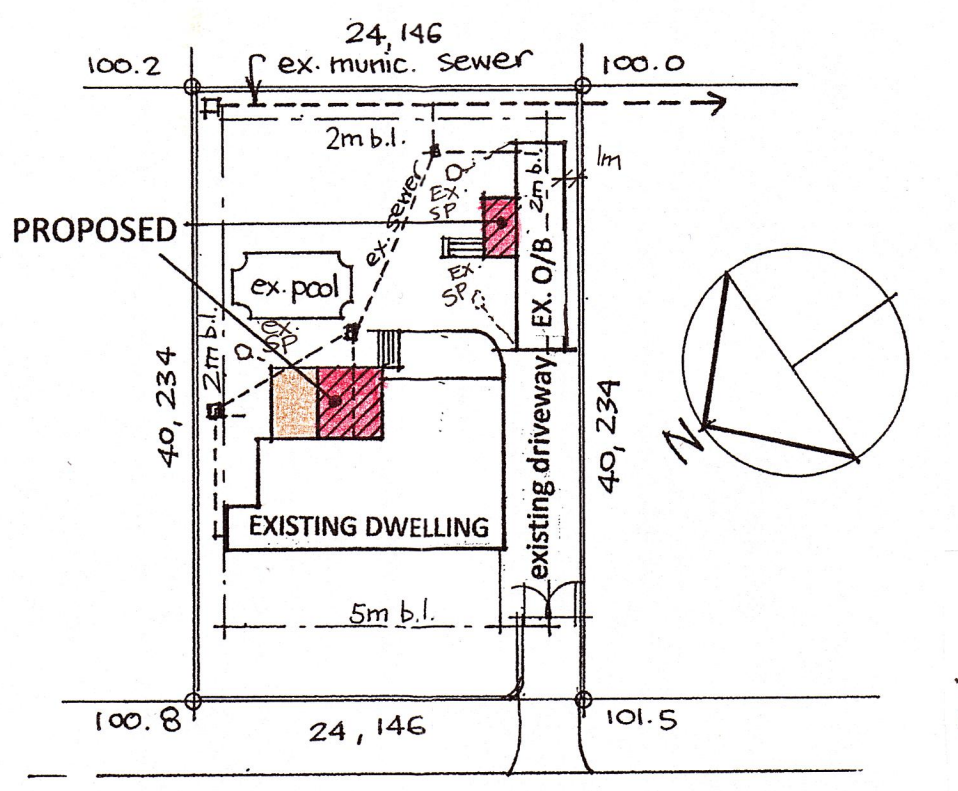
- 1 BATHROOM RECONFIGURED
- 2 NEW POSITION OF WINDOW
- 3 CUPBOARD REMOVED; OPENING BRICKED UP
- 4 WALL IN BATHROOM DEMOLISHED
- 5 WINDOW BRICKED UP
- 6 WINDOW REPLACED WITH DOORS AND SIDELIGHTS



SECTION A-A

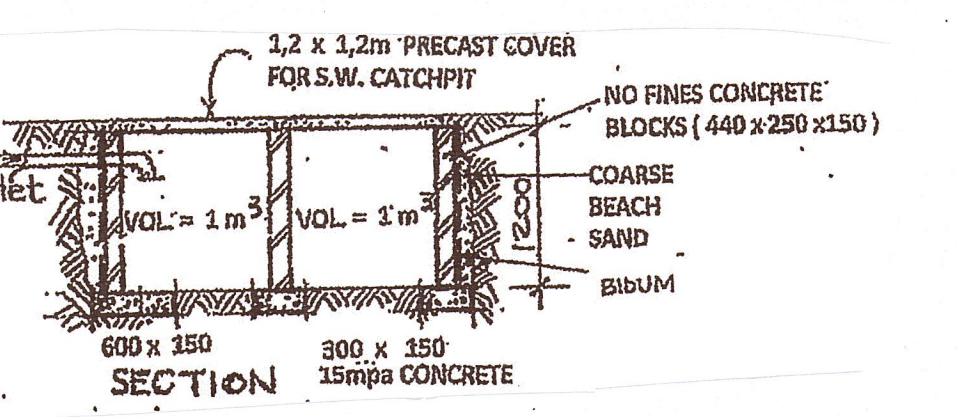


SECTION B-B

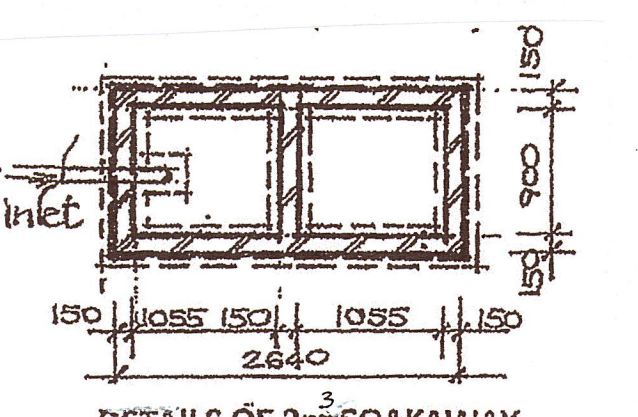


ST ANDREWS DRIVE

SITE PLAN 1 : 500



SECTION



DETAILS OF 2m SOAKAWAY FOR ROOF WATER DISPOSAL  
 NOTE: ALL SOAKPITS TO BE MIN. 8m FROM ALL BUILDINGS AND BOUNDARIES.

SCHEDULE OF AREAS : m <sup>2</sup>	
SITE AREA =	1012 m <sup>2</sup>
ALLOWABLE COVERAGE	506 (50%)
ALLOWABLE F.A.R.	N/A
EXISTING COVERAGE	213,7
PROPOSED COVERAGE	27
NEW TOTAL COVERAGE	240,7
AVAILABLE COVERAGE	26,73
EXISTING F.A.R.	210,7
PROPOSED F.A.R.	0
NEW TOTAL F.A.R.	210,7
AVAILABLE F.A.R.	N/A

**Neighbour:**

Address:	Name:	Phone:	ID no.	Sign:
36 St Andrews Durban North	KATHERINE JANE DELOR	082 3814063	710701 0084088	<i>Katherine Delor</i>

DWG NO. 038 04 2022

PROPOSED DEVIATIONS OF APPROVED PLAN NO. 1180/10/86/6, NEW AWNINGS AND ALTERATIONS TO EXISTING OUTBUILDING FOR Mrs Ilse Erwee  
 38 St Andrews Drive, Durban North LOT NO. 2002 OF DURBAN NORTH

DRAWN BY : M. VAN BREEMEN  
 DATE : APRIL 2022  
 SCALES : 1 : 100 1 : 500  
 SIGNED : *M. van Breemen*

OWNER'S SIGNATURE : *Ilse Erwee*  
 OWNER'S PHONE NO. : 0726270787

**ARCHITECTURAL PLANS**  
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 REGISTRATION NO. ST1451  
 M. SACAP M. SAIAI