

CENTRAL ENGINEERING DRAWING  
OFFICE  
21 MURRAY COURT PH 21871

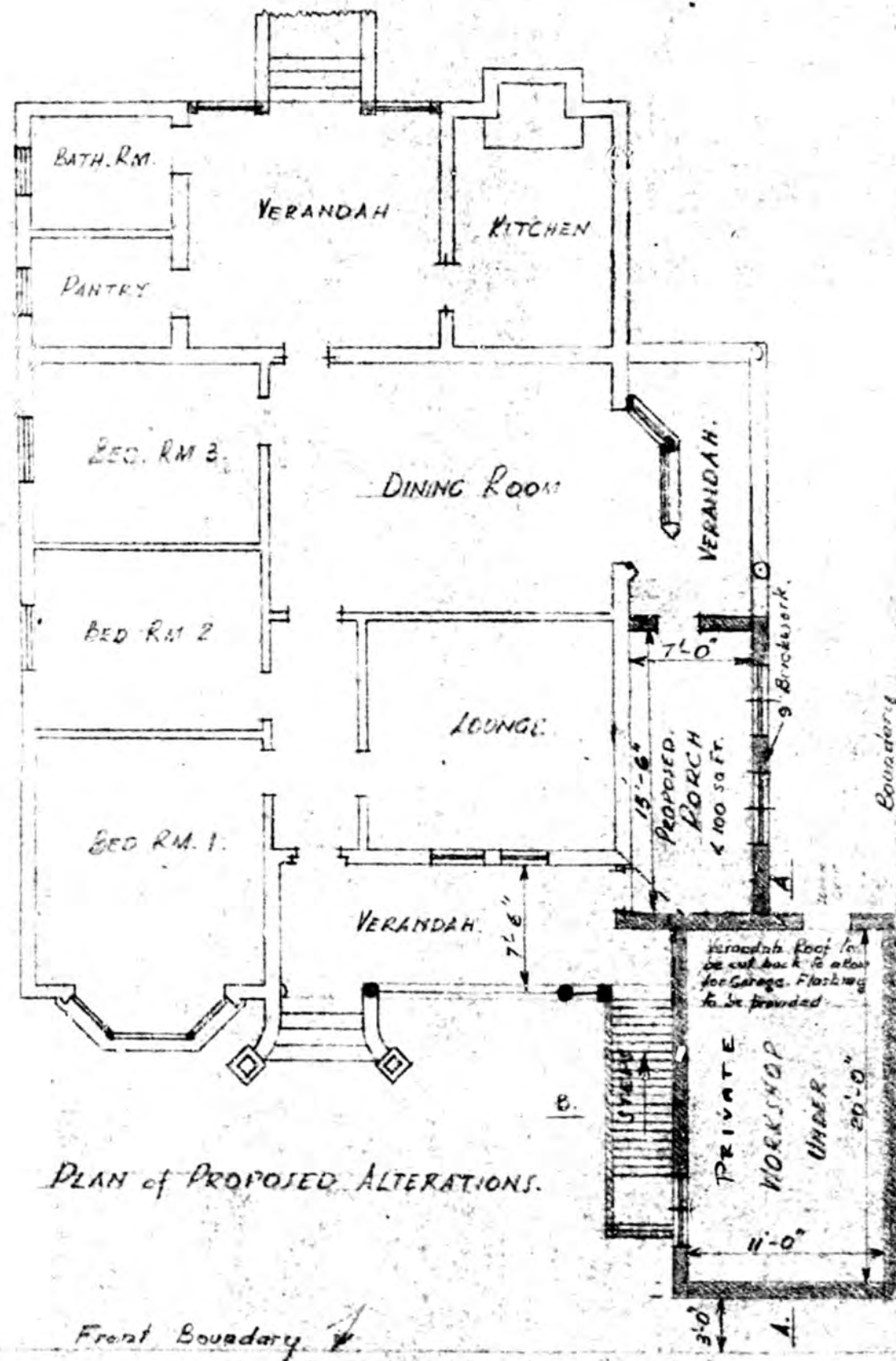
PROPOSED ADDITIONS & ALTERATIONS for MRS D M LAMBERT  
99, BOTANIC GARDEN ROAD. SUB. 1. of C.D.E. of 22 of BLOCK B.

SCALE - 1" TO 8'  
19-3-45

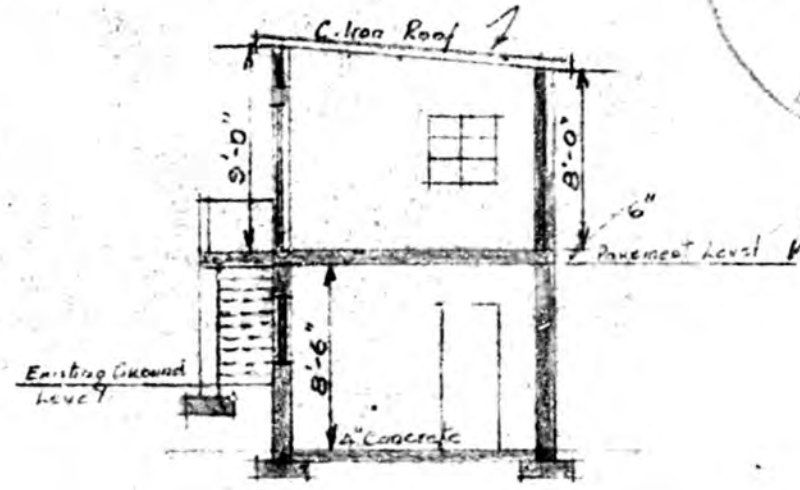


ROADS & DRAINAGE SECTION  
Subject to all floor and foundation levels being in conformity with existing road works and/or as stated hereunder.  
Level of substructure and protection entrance abutting road to be 6 inches above the existing kerb level at paving.  
DATE 26.3.49 J. J. J.

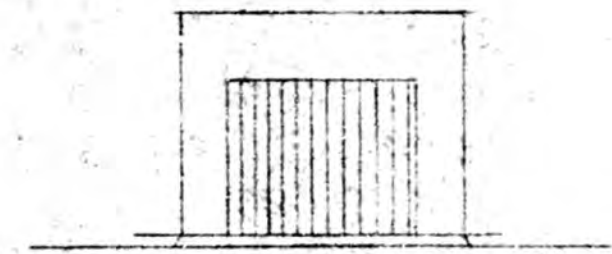
N.B. Attention is drawn to Section 41 of the Building Act, 1930, which requires any wall, fence, other structure or gate abutting on a street, or in close proximity thereto, to conform to the "Bul level" of such street.



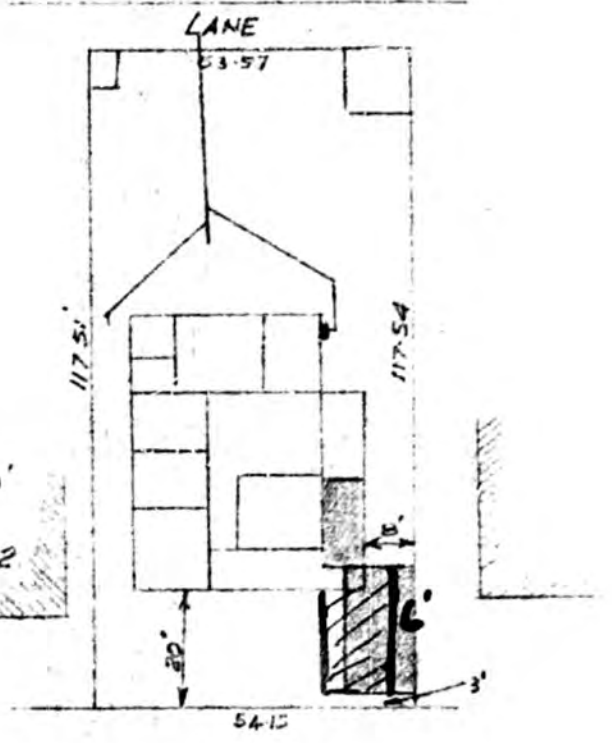
PLAN of PROPOSED ALTERATIONS.



SECTION - B-B.

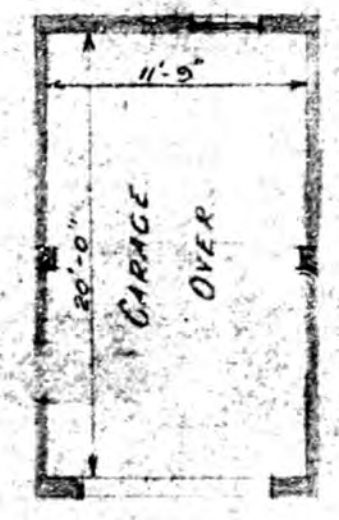


FRONT ELEVATION of GARAGE

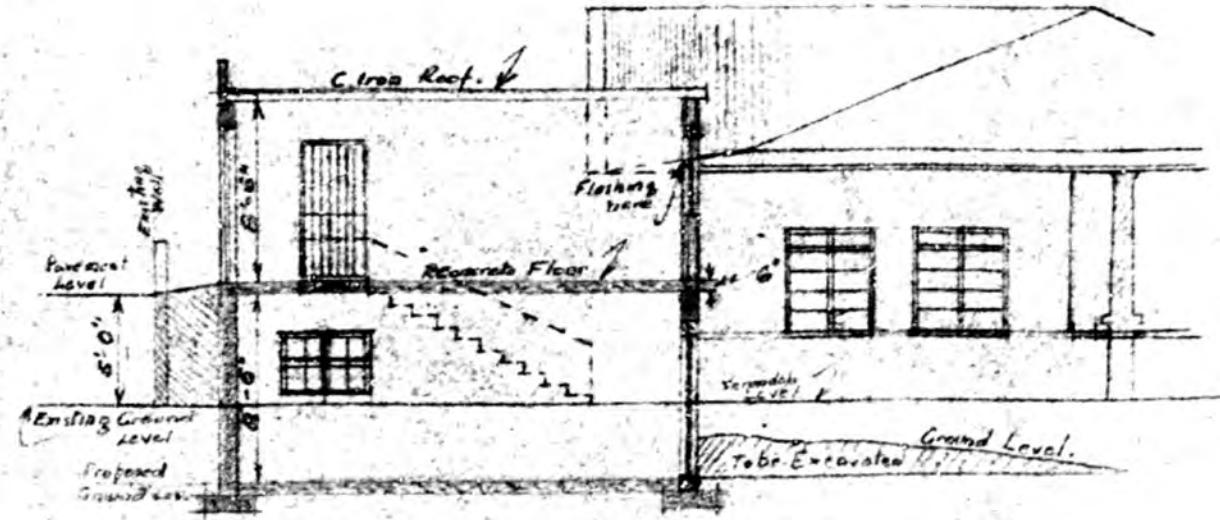


SITE PLAN  
SCALE - 1" TO 30'  
SUB. 1. of C.D.E. of 22 of BLOCK. B.

99, BOTANIC GARDEN ROAD.



PLAN of GARAGE



SECTION A-A & SIDE ELEVATION.

99 BOTANIC GARDEN ROAD

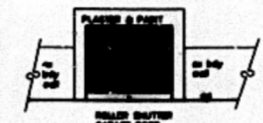


AS BUILT

*Handwritten signature/initials*

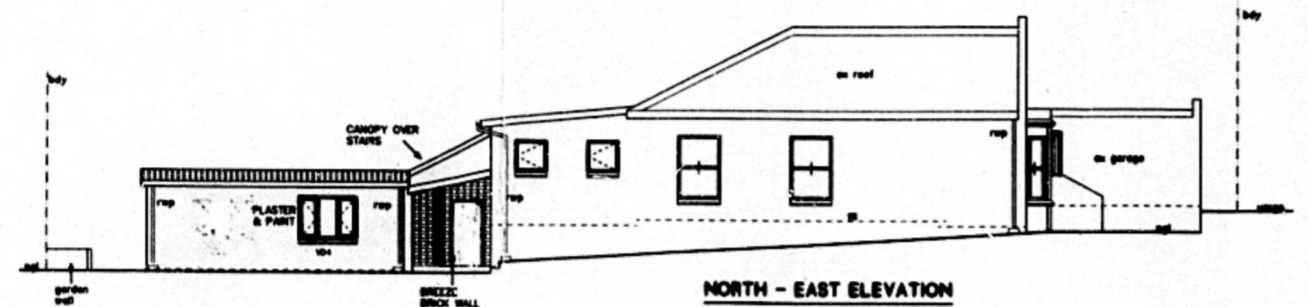
In pursuance of Clause 18, 19 and 21 of the Durban Town Planning Scheme in the course of preparation and Section 57bis of the Town Planning Ordinance No. 27 of 1949 (Natal), as amended, the abovementioned development is hereby AUTHORIZED subject to the following specific conditions:

- The use hereby authorized is restricted to the use of the premises as a **retail premises** or for **residential purposes**.
- You are hereby advised that the granting of this consent:
  - does not absolve the applicant from any duties or responsibilities which may be imposed on the applicant by virtue of the title deeds of the property.
  - does not bind the Council to issue or to authorize the issue of any licence, permit or further consent.
  - does not constitute an approval in terms of the National Building Regulations or any other law.



EAST ELEVATION

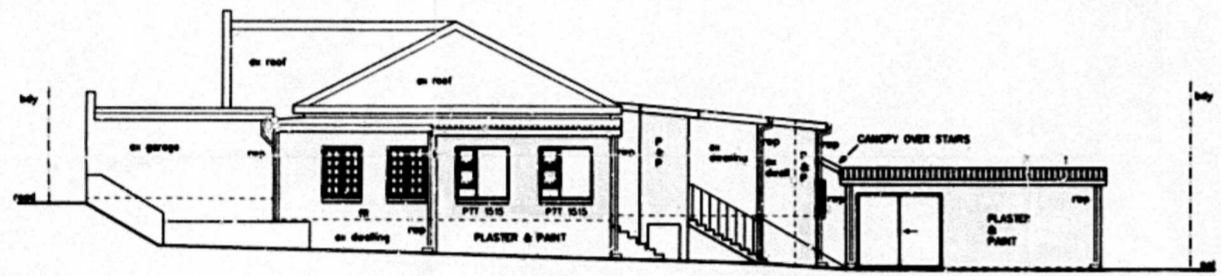
SHOULD WORK NOT HAVE COMMENCED THIS APPROVAL WILL EXPIRE ON ITS FIRST ANNIVERSARY DATE.



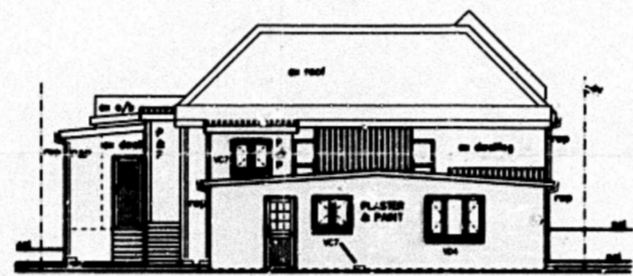
NORTH - EAST ELEVATION



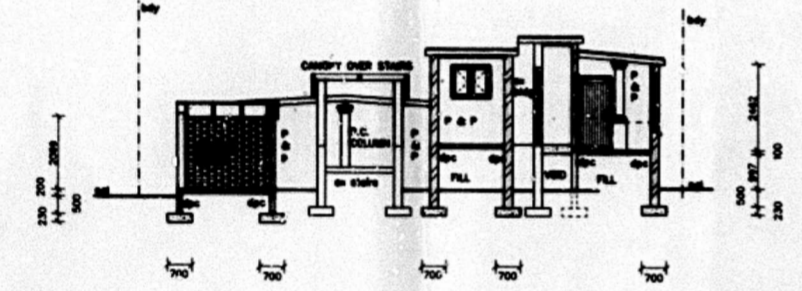
NORTH - WEST ELEVATION



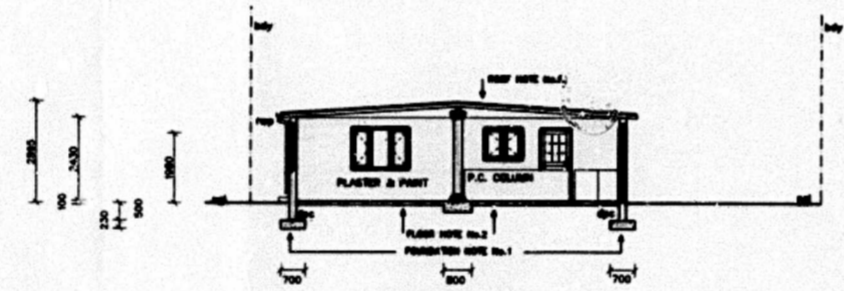
SOUTH - WEST ELEVATION



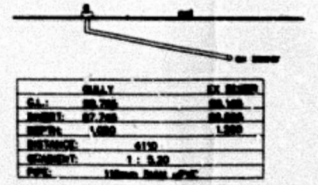
SOUTH - EAST ELEVATION



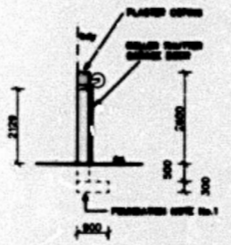
SECTION A - A



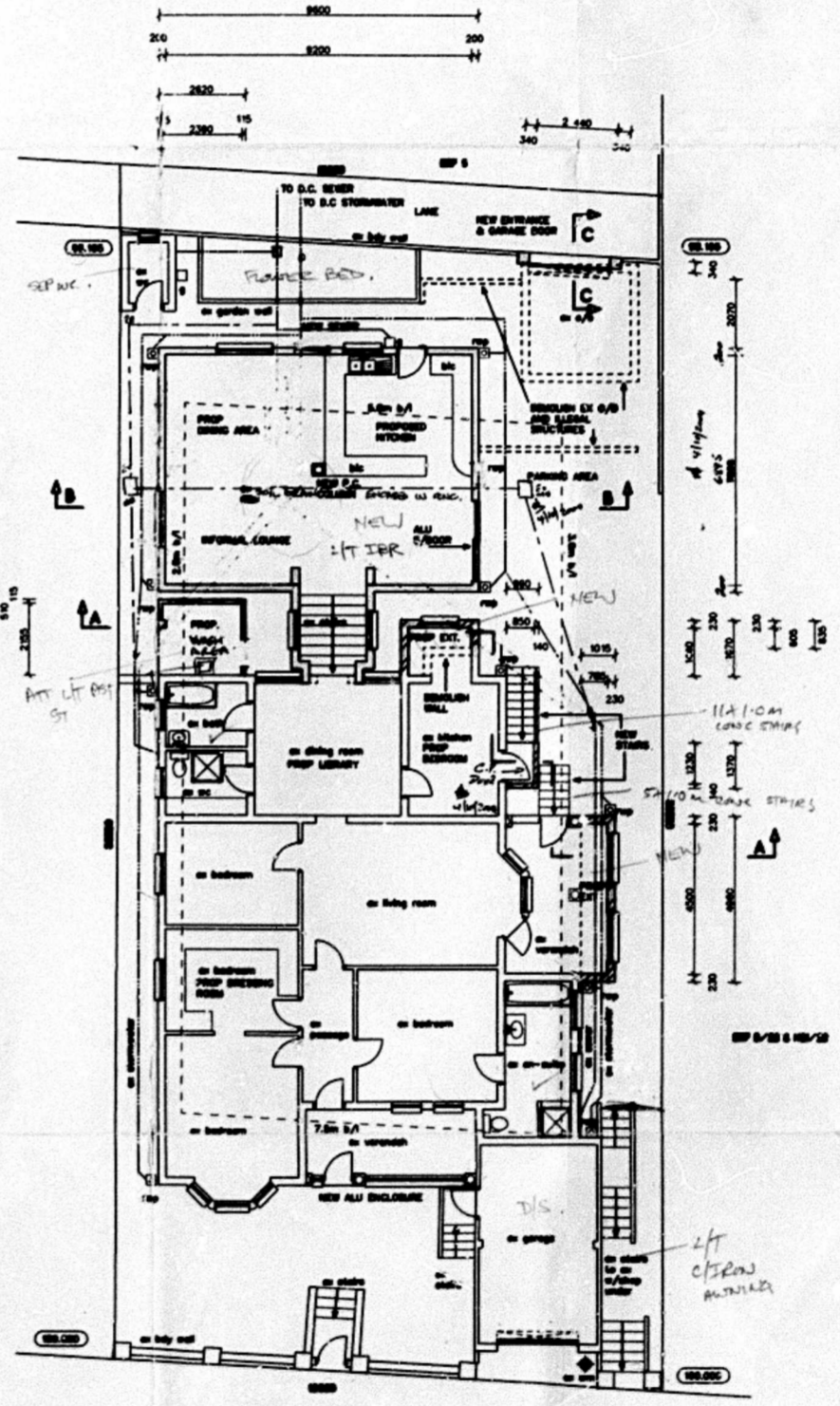
SECTION B - B



SEWER SECTION



SECTION C - C



SITE & FLOOR PLAN

**GENERAL NOTES**

- Drawings must be checked by the Contractor and any discrepancies in dimensions of work to be reported to the Architect before work is commenced.
- All drawings to be used in construction shall be the Engineer's drawings unless otherwise stated.
- Drawings to be used in construction to be checked by the Contractor.
- All work to be in accordance with the National Building Regulations and applicable Local Authority By-Laws.
- Quantity take-off to be approved prior to commencement of any building work.
- These plans are the copyright of Plans & Projects and may not be reproduced or used for any other purpose than stated in the title deed.

**STRUCTURAL NOTES**

**FOUNDATIONS**

- Strip footing 750mm x 225mm to be a minimum of 500mm below ground level in firm, natural ground.
- Foundations not to encroach over boundaries or servitudes.
- Foundations to be cast in accordance with specifications.

**WALLS**

- Two courses of brickwork of 100mm and all other walls to be reinforced with stainless steel mesh.
- Reinforcement to be provided at minimum bearing of 200mm on each side.
- Reinforcement to be provided at minimum bearing of 200mm on each side.
- Reinforcement to be provided at minimum bearing of 200mm on each side.

**ROOF**

- Roof to be 100mm thick.
- Roof to be reinforced with stainless steel mesh.
- Roof to be reinforced with stainless steel mesh.
- Roof to be reinforced with stainless steel mesh.

**FLOOR SLABS**

- Slab to be 100mm thick.
- Slab to be reinforced with stainless steel mesh.
- Slab to be reinforced with stainless steel mesh.
- Slab to be reinforced with stainless steel mesh.

**CEILING**

- Plaster to be applied to all ceilings.
- Plaster to be applied to all ceilings.
- Plaster to be applied to all ceilings.

**STAIRS**

- Concrete stairs to be cast in accordance with specifications.
- Concrete stairs to be cast in accordance with specifications.
- Concrete stairs to be cast in accordance with specifications.

**GLAZING**

- Glazing to be in accordance with specifications.
- Glazing to be in accordance with specifications.
- Glazing to be in accordance with specifications.

**DRAINAGE**

- All drainage to be to the street.
- All drainage to be to the street.
- All drainage to be to the street.

**FINISHES**

- Plaster to be applied to all walls.
- Plaster to be applied to all walls.
- Plaster to be applied to all walls.

**SCHEDULE OF AREAS**

SITE	107.000 sq.m
EXISTING BUILDING (GROUND FLOOR)	18.130 sq.m
EXISTING BUILDING (FIRST FLOOR)	40.800 sq.m
EXISTING OVERLAND	21.000 sq.m
PROPOSED ADDITIONS (GROUND FLOOR)	11.000 sq.m
PROPOSED ADDITIONS (FIRST FLOOR)	11.000 sq.m
TOTAL PROPOSED ADDITIONS	22.000 sq.m
TOTAL PROPOSED FLOOR AREA	39.130 sq.m
TOTAL PROPOSED OVERLAND	21.000 sq.m
TOTAL PROPOSED P.A.A.	60.130 sq.m

**PROJECT No. 1705 - 04**

**SHEET No. 1 of 1**

**DESIGNED MB**

**CHECKED MB**

**DRAWN MB**

**REVISION**

**DATE 18.04.2004**

**7/05/2004**

**OWNERS SIGNATURE**

*Handwritten signature*

**CLIENT**

**HILLEAST PROPERTIES cc**

**PROJECT**

**ALTERATIONS AND ADDITIONS AS BUILT DRAWINGS**

**DRAWING TITLE**

**SUBMISSION**

**CADASTRAL DESCRIPTION**

**Portion 1 of Erf 2282 DURBAN**

**ADDRESS**

**99 BOTANIC GARDENS ROAD**

**RATE No.**

**02 - 0513 - 8092 - 000**

**CONTACT TELEPHONE No.**

**202 - 2576 073 341 700 7**

**PLANS & PROJECTS**

**REGISTERED ARCHITECT**

**REGISTERED ENGINEER**

**REGISTERED SURVEYOR**

**REGISTERED CIVIL ENGINEER**

**REGISTERED ELECTRICAL ENGINEER**

**REGISTERED MECHANICAL ENGINEER**

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5. Quantity take-off to be approved prior to commencement of any building work.

6. These plans are the copyright of Plans & Projects and may not be reproduced or used for any other purpose than stated in the title deed.

**ETHEKWEING MUNICIPALITY**

**580 05 104**

**APPROVED IN TERMS OF THE NATIONAL BUILDING REGULATIONS AND BUILDING STANDARDS ACT**

**Number 191 of 1997**

**18/04/2004**

**DEVELOPMENT APPROVAL**

**LAND USE CONSENT**

**GRANTED: subject to the attached conditions**

**EXEC: DR. (Development & Planning Unit)**

**18/07/05**

**SHOULD WORK NOT HAVE COMMENCED THIS APPROVAL WILL EXPIRE ON ITS FIRST ANNIVERSARY DATE.**

**ROOF STRUCTURE TO BE TO "EMPIRICAL RULES" OR TO RATIONAL DESIGN CALCULATED WITH "DEEMED TO SATISFY" RULE 09.4"**

**ANTHRAID P.P.O. VERTICAL D.P. SOIL POISONING REQUIRED**

**ALL CHANGING TO COMPLY WITH PART 106 AND 107 OF SABS 0400**

**ENGINEER'S OR-LES REQUIRED**

**BOUNDARY BEACONS**

**FAILURE TO EXPOSE THE BOUNDARY BEACONS BEFORE STARTING THIS WORK IS AN OFFENCE.**

**VALUATION, HANDBOOK, HEIGHTS AND DISTANCES TO COMPARE WITH SABS 0400**

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