

149 07 17

SMRT 114 COPY  
**ETHEKWINI MUNICIPALITY**  
 CENTRAL  
 149 07 17  
 APPLICATION NO.

**BUILDING APPLICATION**  
 APPROVED in terms Sec. 7 of The National Building Regulations and Building Standards Act No. 103 of 1977  
 2017-08-25  
 DATE LOCAL AUTHORITY  
 This plan is approved on the basis of the information shown herein.  
 Attention is drawn to the attached documentation & that approval shall lapse ONE year after the above approval date, unless to the effect of the building in terms of NBR Act 103 of 1977 is commenced.

**RENEWABLE ENERGY INSTALLATIONS**  
 Attention is drawn to the current development rights of the adjoining properties which may potentially impact on your installation and/or the future effectiveness of your installation, should these rights be exercised.

**ENCROACHMENTS INTO/OVER SERVIDUES**  
 Any construction work undertaken by the owner which encroaches upon a Municipal servitude is undertaken entirely at the owner's risk. Any authority of the council thereto shall not be a waiver of the Municipality's right in respect of such servitudes.  
 Providing benches to locate the exact position of Municipal servitudes is to be done before any building work is undertaken and is the responsibility of the applicant.  
 NO concrete hardening permitted over servitude areas

3. DRIVEWAY WALL PLAN SEPARATED TO PLAN FOR 409 CURRIE RD AND OMITTED FROM PLAN FOR 411 CURRIE RD.

revision c  
 2. LEVELS ADJUSTED TO SUIT LAND SURVEYORS MEASUREMENTS - DRIVEWAY SECTION VERIFIED.

revision b  
 1. REMOVAL OF ALL ACCESS TO ROOF - OMIT ROOF GARDEN.

revision a

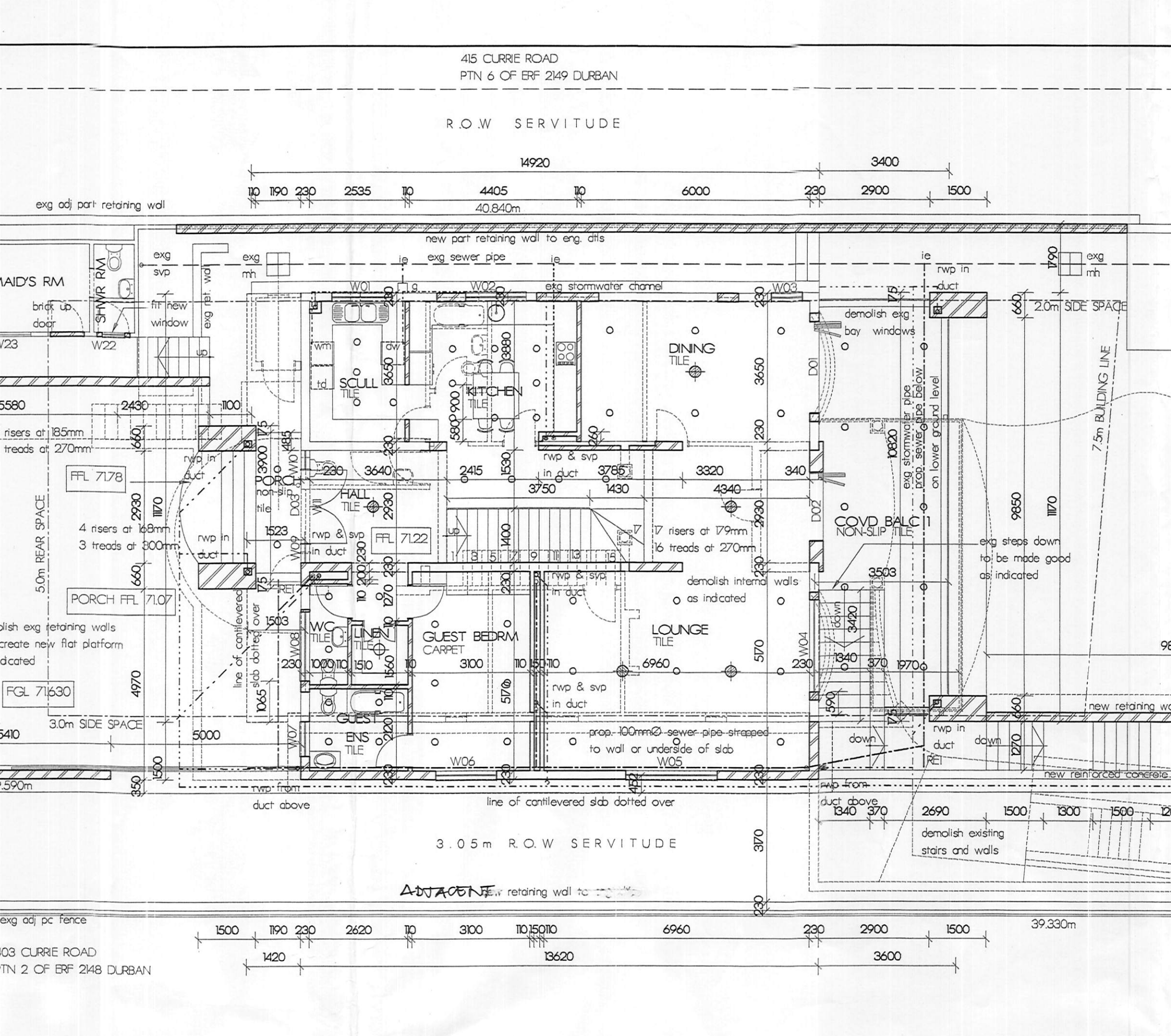
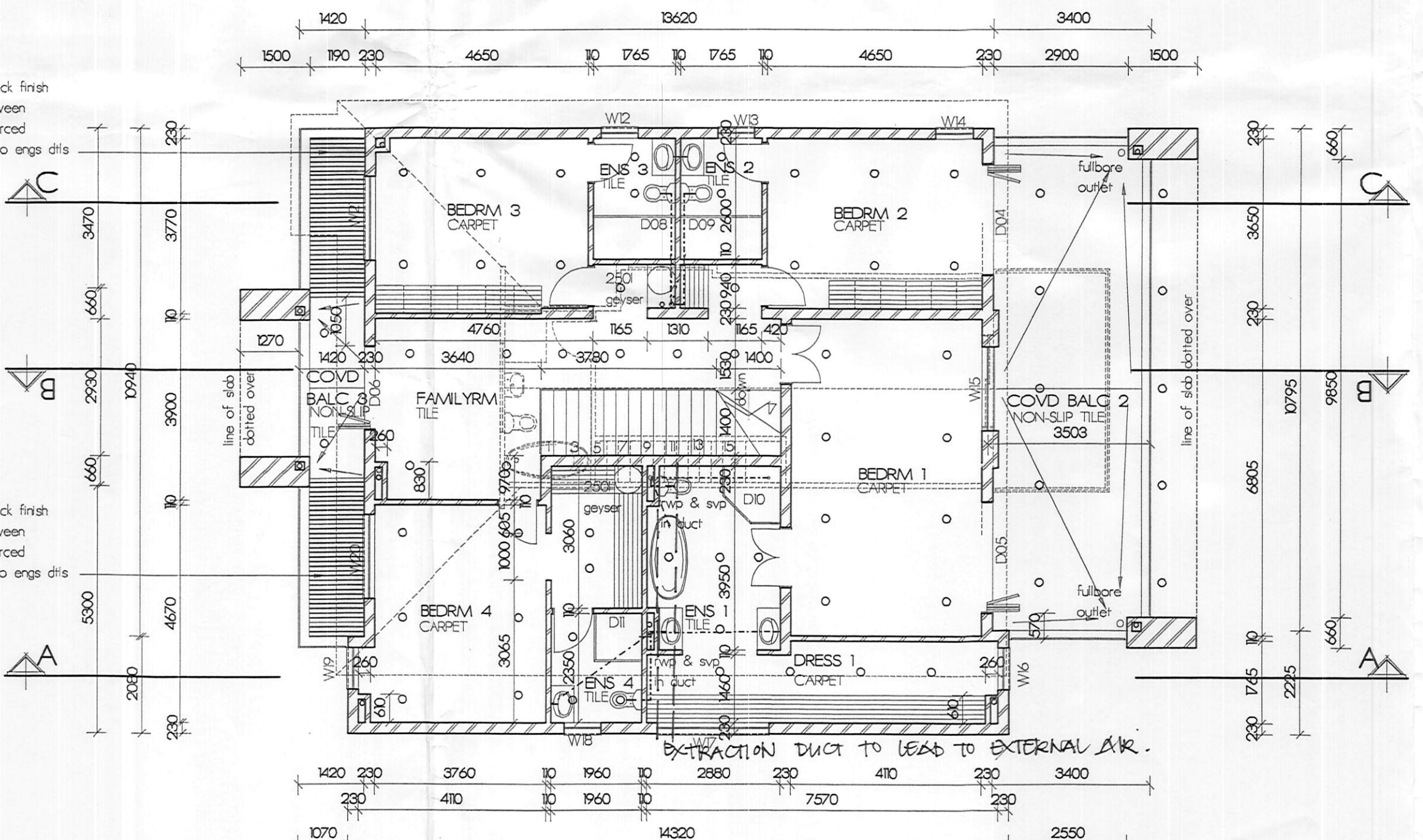
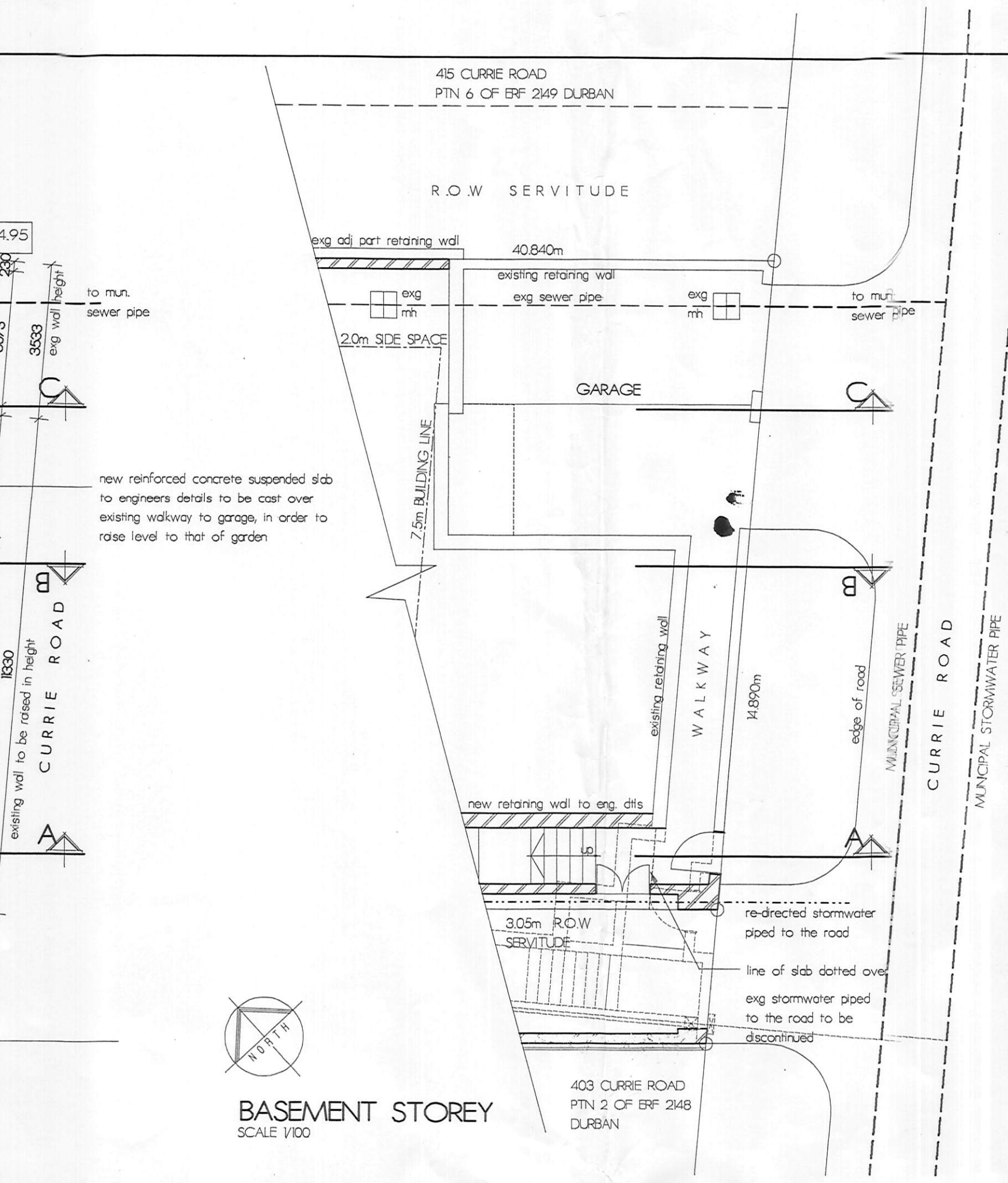
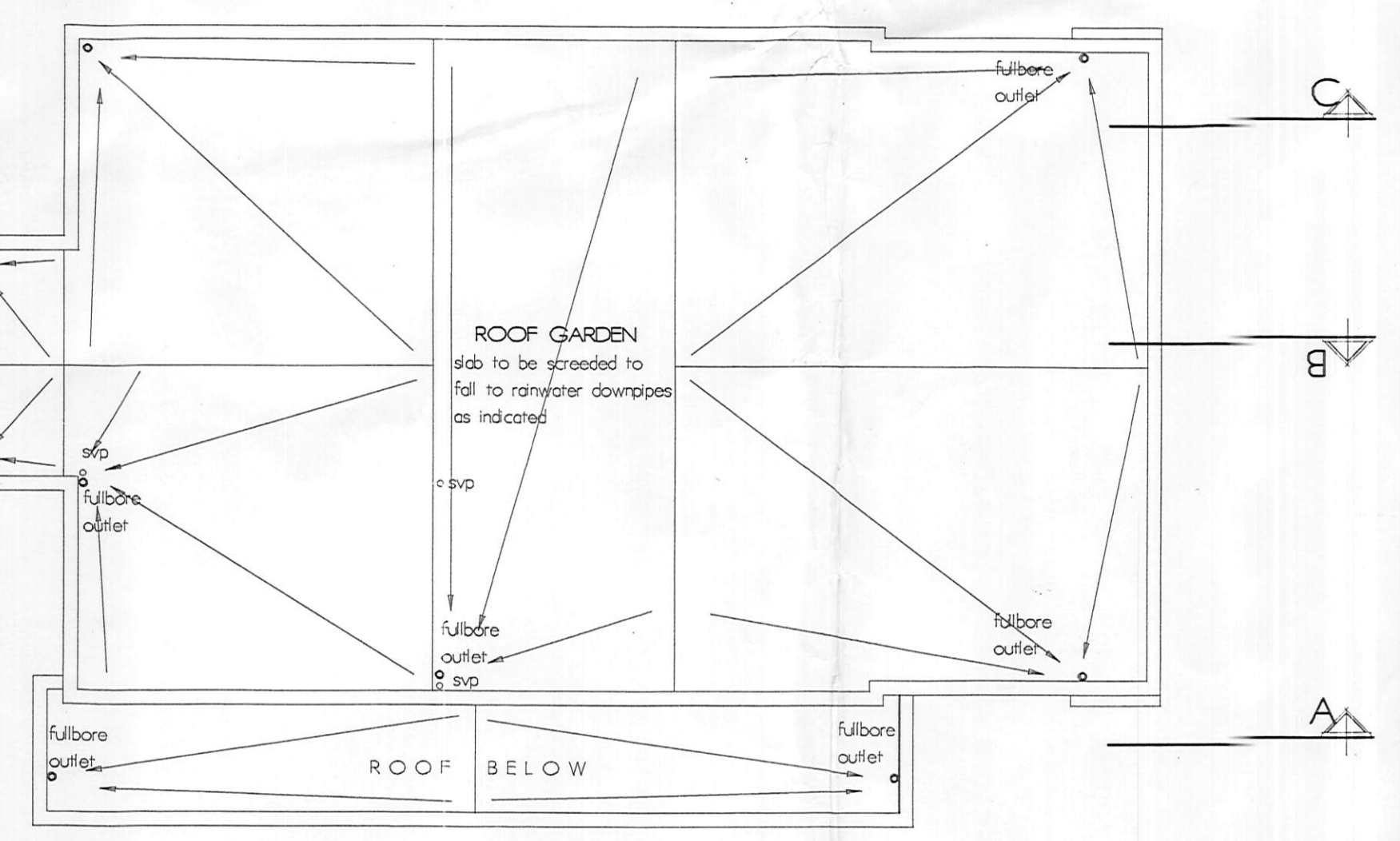
project  
**PROPOSED ADDITIONS & ALTERATIONS TO EXISTING DWELLING** for  
 S.O & H.Y ASWANI  
 at 411 CURRIE ROAD  
 on PTN 5 (OF 4) OF ERF  
 2149 OF DURBAN

Signature: *Aswani*

**DESIGN & drawing TECHNOLOGY**  
 PRS IN ARCHITECTURE TECHNOLOGIST  
 NO. ST 0239  
 NISHAMOUN  
 137 RILEY ROAD  
 ESSENWOOD,  
 DURBAN, 4001  
 CELL: 0832980646  
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 nazleen.drawing@gmail.com

scale AS SHOWN  
 sheet no. 1/4  
 job no. n15-35w01 rev C  
 date 25.11.2016

NAME	ADDRESS	TEL. NO.	SIGNATURE
REV. THABANI NZUZA	400 CURRIE ROAD, MUSGRAVE	0828654752	<i>Thabani Nzuza</i>
DR. PARISHA VALSEE	415 CURRIE ROAD, MUSGRAVE	0826008997 0834546335	<i>Parisha Valsee</i>



**ELECTRICAL LEGEND**

SYMBOL	DESCRIPTION	W
○	LED DOWNLIGHTER	5w
⬇	WALL LIGHT	max 11w
▨	12m FLOURESCENT	36w
⊕	B-R-N CHANDELIER with energy saving bulbs	max 25w
⊕	CFL CEBLING LIGHT	max 14w

AREA OF BEDRM 1 = 27.05m²  
 10% OF AREA = MIN. LIGHTING = 2.8m²  
 5% OF AREA = MIN. VENTILATION = 1.4m²

W15 AREA = 4.32m²  
 B05 AREA = 3.81m²  
 TOTAL LIGHTING = 8.13m²  
 ∴ COMPLIES WITH LIGHTING REQUIREMENT.

W15 - OPENING AREA  
 1.8 x 0.9 = 1.62m²  
 ∴ COMPLIES WITH VENTILATION REQUIREMENT.

**AREAS**

EXISTING	PROPOSED
BASEMENT STOREY	
GARAGE & WALKWAY	55.89msq
GROUND STOREY	
HOUSE	152.14msq
PATIO	8.12msq
OUTBUILDING	16.01msq
TOTAL EXISTING AREA	233.87msq
PROPOSED GROUND STOREY	
ADDS TO HOUSE	20.43msq
PORCH	5.54msq
ADDS TO PATIO/COVID BALC 1	28.47msq
FIRST STOREY	171.59msq
COVID BALC. 2	36.77msq
COVID BALC. 3	5.54msq
TOTAL PROPOSED AREA	268.36msq
TOTAL COVID AREA	50.154msq

**OCCUPANCY CLASSIFICATION**

LOW CLASSIFICATION ZONING SITE AREA	COVERAGE ALLOWED(40%)
H4	238.00msq
H31	176.27msq
MA15900	60.64msq
595msq	236.9msq
	1.09msq

