

Part c: dimensions

- All plan dimensions to comply with c 4.2
- All room heights to comply with c 4.3
- All floor areas to comply with c 4.4

Part d: public safety

- All changes in level to comply with d 4.2
- All ramps & driveways to comply with d 4.3

Part h: foundations

- All geotechnical site investigations to comply with h 4.2

Part k: walls

- All masonry walling in single-storey and double-storey buildings to comply with k 4.2.2
- All balustrade and parapet walls to comply with k 4.2.5
- All control joints to comply with k 4.2.6
- All articulation joints to comply with k 4.2.7
- All lintels to comply with k 4.2.9
- All roof fixing to comply with k 4.2.11
- All fixing of roofs to concrete elements to comply with k 4.4
- All water penetration to comply with k 4.5
- Behavior in fire to comply with k 4.6

Part l: roofs

- All roof coverings and waterproofing systems to comply with l 4.2
- All drainage and waterproofing of flat roofs to comply with l 4.3
- All fire resistance and combustibility to comply with l 4.5

Part n: glazing

- All glazing installations to comply with n 4.2
- All transparent glazing to comply with n 4.3
- All safety glazing to comply with n 4.4
- All internal glazing to be safety glazing

Part o: lighting and ventilation

- All lighting to comply with o 4.2
- All ventilation to comply with o 4.3

Part p: drainage

- All materials, pipes, fittings and joints to comply with p 4.2
- All sanitary fixtures to be in accordance with p 4.3 - p 4.5
- All connectors for toilet pans to comply with p 4.6
- All provision of sanitary fixtures to comply with p 4.11
- All hydraulic loading of drainage installations to comply with p 4.12
- All drainage to comply with the relevant portions of p 4.14, p 4.15 & p 4.17, depending on type of system utilized according to p 4.13.
- All installation of discharge pipes and ventilating pipes to comply with p 4.18
- All access to the drainage installation to comply with p 4.19
- All provision of traps to comply with p 4.20
- All gullies to comply with requirements of p 4.21.
- All installation of drains to comply with p 4.22

Part r: stormwater disposal

- All gutters and downpipes to comply with r 4.3

Part s: facilities for persons with disabilities

- All changes in level to comply with s 4.7
- All ramps to comply with s 4.8

Part t: fire protection

- Safety distance shall comply with T4.2
- Fire resistance of external walls shall comply with T4.5
- Fire resistance of occupancy separating wall division - separating elements shall comply with T4.6
- Stability of structural elements shall comply with T4.7
- Partition walls and partitions shall comply with T4.9
- Protection of openings shall comply with T4.9
- Roof assemblies and coverings shall comply with T4.12
- Ceilings shall comply with T4.13
- Floor covering shall comply with T4.14
- Internal finishes shall comply with T4.15
- Provision of escape routes shall comply with T4.16
- Exit Doors shall comply with T4.17
- Feeder Routes shall comply with T4.18
- Emergency routes shall comply with T4.19
- Dimension and components of escape routes shall comply with T.4.20
- Width of escape routes shall comply with T4.21
- Stairways shall comply with T4.23
- Openings shall comply with T4.26
- Distance between first step and centre of doorway to comply with T.4.28
- Markings and signposting shall comply with T4.29
- Emergency lighting shall comply with T4.31
- Provision and maintenance of fire-fighting equipment, installations and fire protection systems, shall comply with T4.32
- Water reticulation system shall comply with T4.33 & W
- Fire hose reels shall comply with T4.34 as per fire plan
- Hydrants shall comply with T4.35 as per fire plan
- Portable fire extinguishers shall comply with T4.37 H3 - 1 per unit (4,5kg DCP) To be installed in the garage with handle at 1,5m from ground level.
- Smoke control shall comply with T4.42
- Airconditioning shall comply with T4.43
- Access for Fire fighting and rescue purposes, shall comply with T4.54

Part x: environmental sustainability

Part xa: energy usage in buildings

- All hot water supply to comply with xa 4.1
- All energy usage and building envelope to comply with xa 4.2
- All building envelope requirements xa 4.4

Sewer notes

- Cleaning facilities shall be provided at all changes in gradient and direction and elsewhere where required.
- All levels and directions to be checked on site and any discrepancies to be reported to the architect immediately before commencing with any work.
- All work to be executed in strict accordance to the drawings and local authority requirements.
- All sabs applicable specifications and codes of practice to be used.
- All upvc pipes shall be installed according to sabs codes and other relevant requirements including those of the local authority.
- All pipe fittings shall be inspected and approved before pipe laying commences.

6. No section of drain shall be backfilled without the written approval of the engineer.

- A ball 5mm (smaller than the internal dia. Of the drain shall pass freely along the length of the drain and shall be carried out in the presence of the engineer.
- All existing services in the area where construction is to take place shall be located and opened before proposed drainage work is commenced.
- th kratex building paper.
- Access shall be provided to drains at every change of gradient and direction and at least 25m intervals by means of a cleaning eye or manhole.
- The maximum bend on any single fitting shall be 45 degrees with the exception of the ventilation pipe where up to 90 degrees may be used.
- All traps up to and including 50mm dia shall be of deep seal (75mm) reseat type.
- All groups of wash hand basins and Ex sinks shall be connected to a 50 - 100mm internal dia waste pipe.
- All pipes shall be laid to falls as indicated on the drawings.
- Min. radius 900mm to be provided to sewer reticulation where applicable
- No acute angle permitted in sewer layout as per SANS 10400 Part P4.18c

Water supply notes

- Existing municipal water connections to be used.
- Water pressure to be tested at existing thr to determine if water tanks are required for fire hose reels.
- All water supply pipes above ground with a diameter of 38mm, or less, are to be copper class 460/0. All pipes in chases to be spiral wrapped with kratex building paper.
- No pipes are to be installed below surface beds.
- Pipes in ground to be in upvc or glazed earthenware installed to manufacturers' specification. All galvanised pipes used in ground shall be denso-protected in strict accordance with manufacturers' specification.
- Fire hose reels and extinguishers to be sabs approved.
- Variation to pipe layout, design, sizes, etc must be approved by the architect prior to installation.

Soil poisoning

- Concrete floor slab reinforced with b.r.c. On pvc underlay on compacted soil treated with soil poison.

Health

- To comply with Tobacco Products Control Act.
- All food premises to comply with food regulations R638.
- Premise to comply with noise regulations.

Notes in respect of SA standard code of practice for the application of the National Building Regulations, SANS 10400

General notes:

- All work to comply with SANS 10400 & I.A. By-laws.
- Contractor is responsible for correct setting out of the building, all external & internal walls with particular reference to boundaries.
- Contractor to use figured dimensions & not to scale of drawings.
- This drawing is to be read in conjunction with engineers & approved consultants drawings.
- Any discrepancies to be reported to the architects prior to work commencing.
- Natural ventilation of 5% of floor area
- If required toilets to be mechanically ventilated by extraction to external at rate of 20l/s/fitment.

Notes:

- Sewer & Stormwater as per ex. site conditions
- No sprinkler systems required due to area split lower than 2500m²
- tenant layout on separate application (where different to on site conditions)

Health Notes:

- Cold water supply via domestic connection
- Hot water supply via heat pump contained in plant room to wet services engineer design and details all external timber doors to have 200mm kick plates
- all electrical and plumbing pipes to be chased into existing and new walls where applicable

Mechanical Engineer Notes:

- Ventilation:
 - habitable areas: fresh air supply at minimum rate of 7.5L/s/person. velocity not to exceed 0.5m/s
 - Kitchens : fresh air supply at minimum rate of 17.5L/s/person. velocity not to exceed 0.5m/s
 - W.C's air extraction at minimum rate of 20L/s/fitment.
- Artificial Lighting and Layout design to engi. design & layout

Fire Engineer Notes:

- fire engineer is responsible for fire safety compliance. architectural drawings are to be read in conjunction with fire drawings. any discrepancies are to be reported to the fire engineer prior to work commencement

For Building Inspector:

- Certificate of compliance required on completion for the following:
- Fire Performance materials
 - fire stability of structural elements and components
 - fire doors
 - water reticulation for fire fighting (flow rates and pipe sizes for hydrants and hose reels in accordance with SANS 10400 Part W)
 - Fire Alarm and detection system designed and installed by a competent person in accordance with SANS 10139
 - Smoke control designed and installed by a competent person in accordance with EN 12101 standard.

Ablutions Notes

Population 92 people

Male (46)

	WC	Urinals	WHB
Required	2	3	3
Provided	5	3	6

Female (46)

Required	5	-	3
Provided	6	-	6

Area Schedule

Zoning Classification	General Business (CBD)
Building Classification	F1
Height Restriction	59 degree from opposite side of street (max. 30.0m) or 110.0m with a 5.0m setback at 15.0m
Building lines:	4.5m from centre line of road
Min. Side Space:	N/A
Min. Rear Space:	N/A
Max. No. of units:	N/A
Site ERF 11831	
Site Area	852m²
COVERAGE	
Allowed Coverage	N/Am²
Existing Roof Coverage	818m² (96%)
Proposed New Coverage	32m² (3%)
NEW TOTAL COVERAGE	850m² (99%)
Coverage in hand	N/Am²
FAR	
Allowed FAR	N/Am²
Existing FAR	1.663m² (1.95)
Proposed New FAR	27m² (0.03)
NEW TOTAL FAR	1.690m² (1.98)
FAR in hand	N/Am²
Site Ptn 1 of ERF 11834	
Site Area	313m²
COVERAGE	
Allowed Coverage	N/Am²
Existing Roof Coverage	285m² (91%)
Proposed New Coverage - None	0m² (0%)
NEW TOTAL COVERAGE	285m² (91%)
Coverage in hand	N/Am²
FAR	
Allowed FAR	N/Am²
Existing FAR	533m² (1.70)
Proposed New FAR - None	0m² (0.0)
NEW TOTAL FAR	533m² (1.70)
FAR in hand	N/Am²
PARKING	
Required Parking Bays	
No minimum parking requirements	

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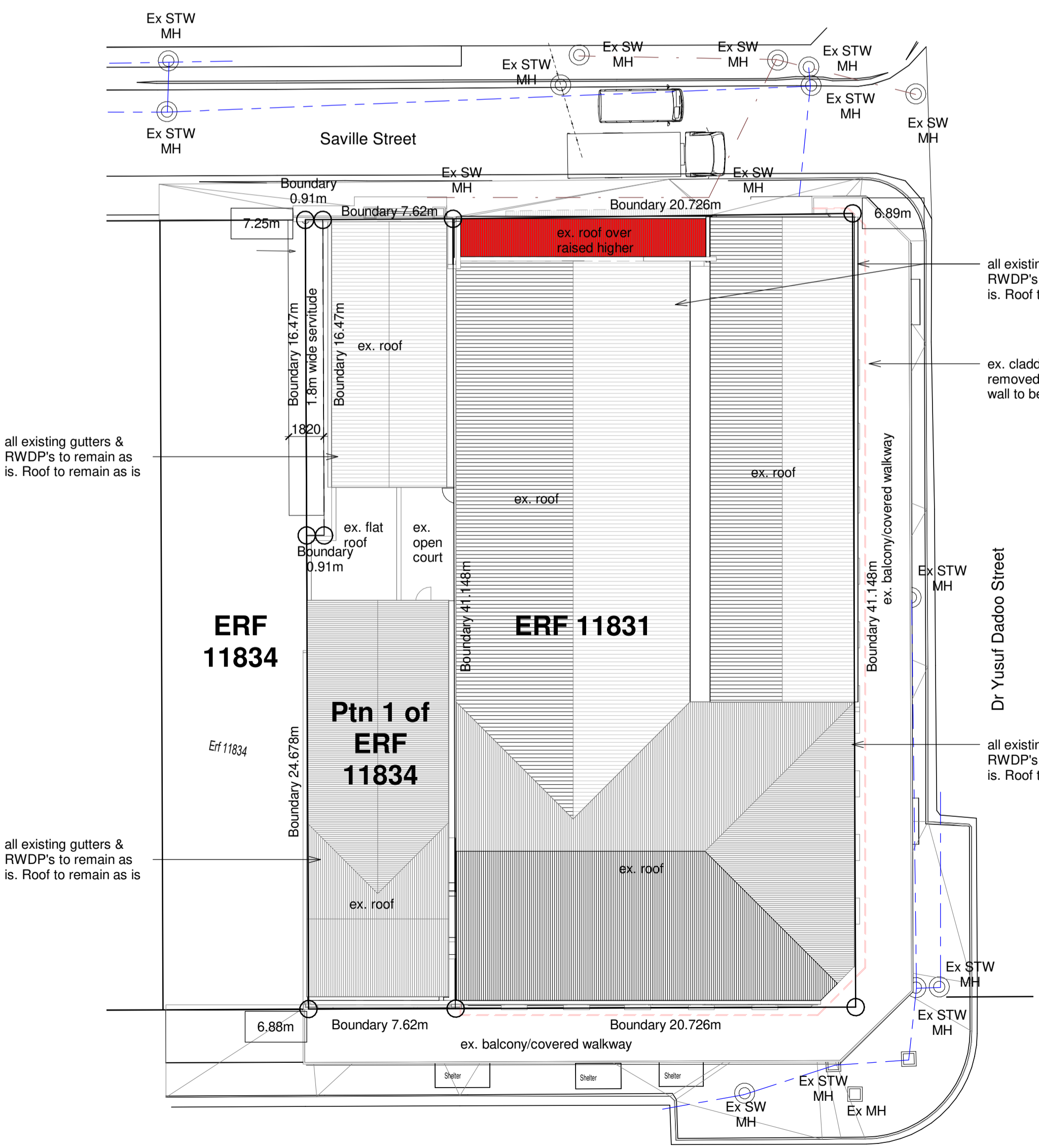
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REVISIONS

No	Date	Description	SIGN	APPR.
1	2022-04-01	Issued to Council		

PLEASE NOTE:
ERF 11831 & Ptn 1 of ERF 11834 are currently undergoing a notorial tie. Both properties are owned by:
Colkru Investments



NOTE:
 All tenants to be split with 2 hour fire rated walls & elements to soffit of floor/roof slabs or to underside of sheeting where applicable

Site Plan
 Scale 1 : 200

Owners Signature
Company Name: Colkru Investments
Sign: [Signature]
Architect on Behalf of TCRPV Architects
Sign: Phillip Thornhill 6841

FOR INFORMATION	DESIGN DEVELOPMENT
SKETCH PLAN	TENDER
SDP	CONSTRUCTION
MUNICIPAL SUBMISSION	AS BUILT

MUNICIPAL SUBMISSION

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PROJECT NAME
Add's & Alt's to Existing Retail Outlet at 107 Dr. Usuf Dadoo Street & 474 Dr. Pixley Kaseme Street
OWNER
Leon Kruger of Colkru Investments Pty (Ltd)

PROJECT ADDRESS					
107 Dr Usuf Dadoo Street & 474 Dr Pixley Kaseme Street					
ERF 11831 & Ptn 1 of ERF 11834, Durban CBD					
SIZE	SCALE	CURRENT REVISION DATE	DRAWN	TCRPV Project Number	Stage
A0	As indicated	2022-04-01	BD	4239	M

Site Plan

Project Code	Originator	Zone	Level	Type	Role	Draw Number	REV
4239	-TCR-SW-ZZ-DR-AR-0001						1

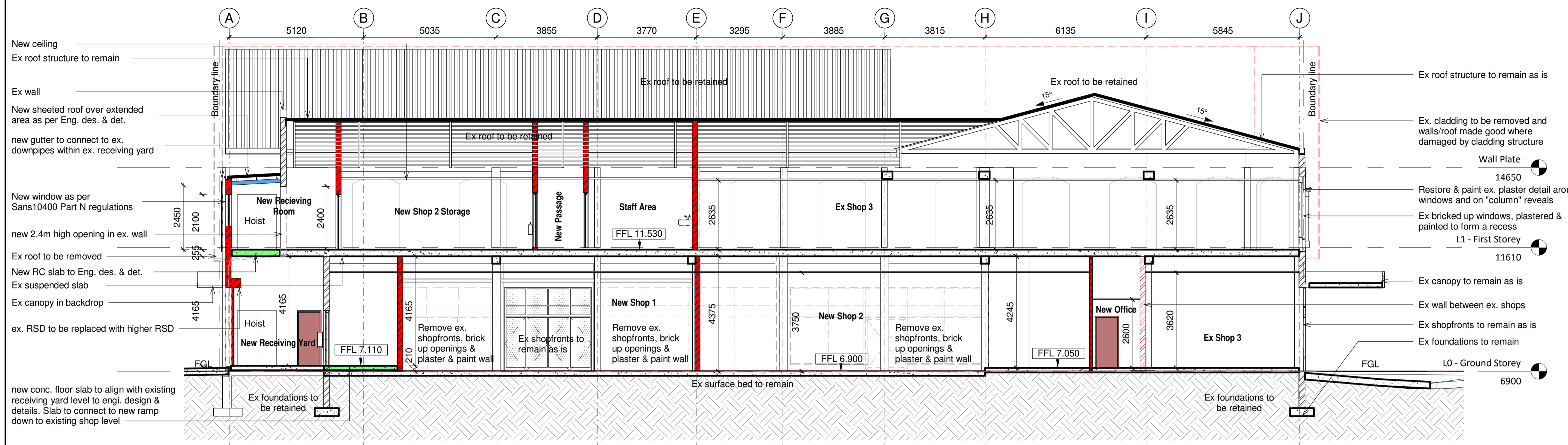
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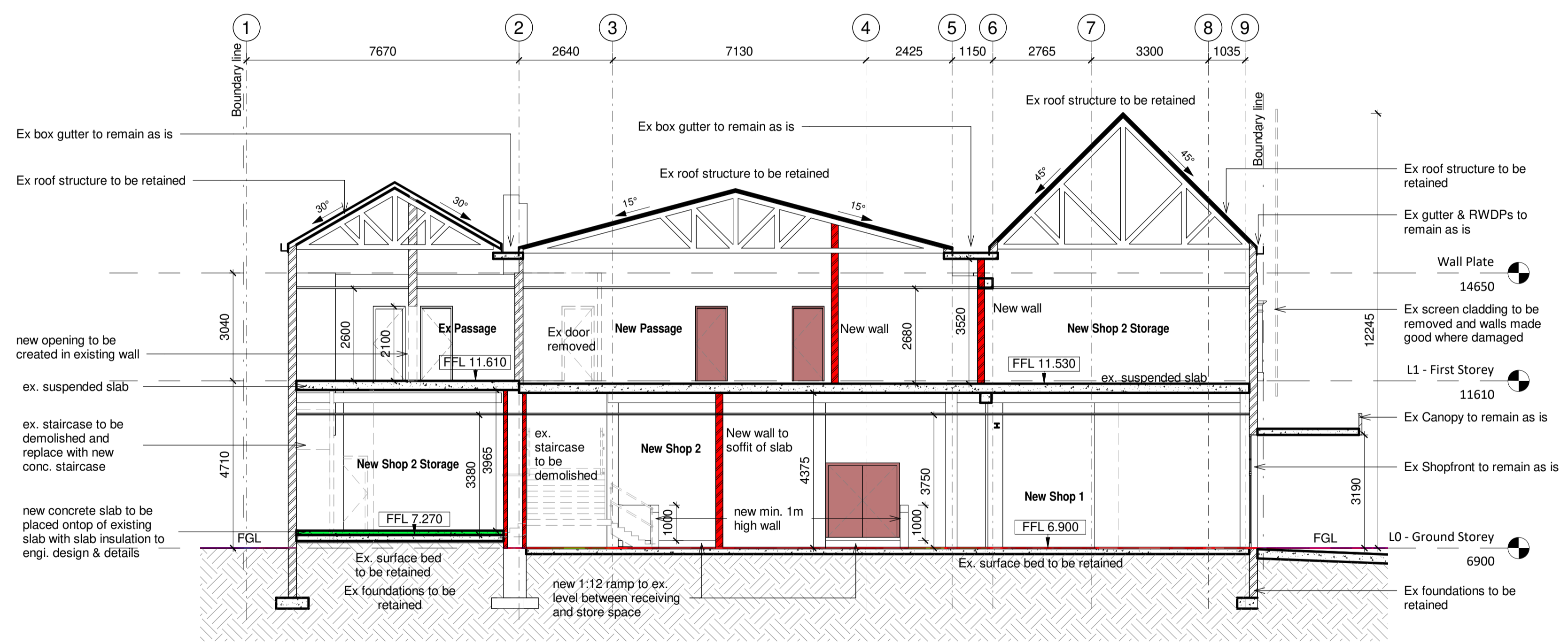
REVISIONS

No	Date	Description	SIGN	APPR.



Section A-A

Scale 1 : 100



Section B-B

Scale 1 : 100

Owners Signature
Company Name: Colkru Investments
Sign: _____
Architect on Behalf of TCRPV Architects
Sign: *Philip Thornhill*
Philip Thornhill 6841

FOR INFORMATION	DESIGN DEVELOPMENT
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SDP	CONSTRUCTION
MUNICIPAL SUBMISSION	AS BUILT

MUNICIPAL SUBMISSION

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4319

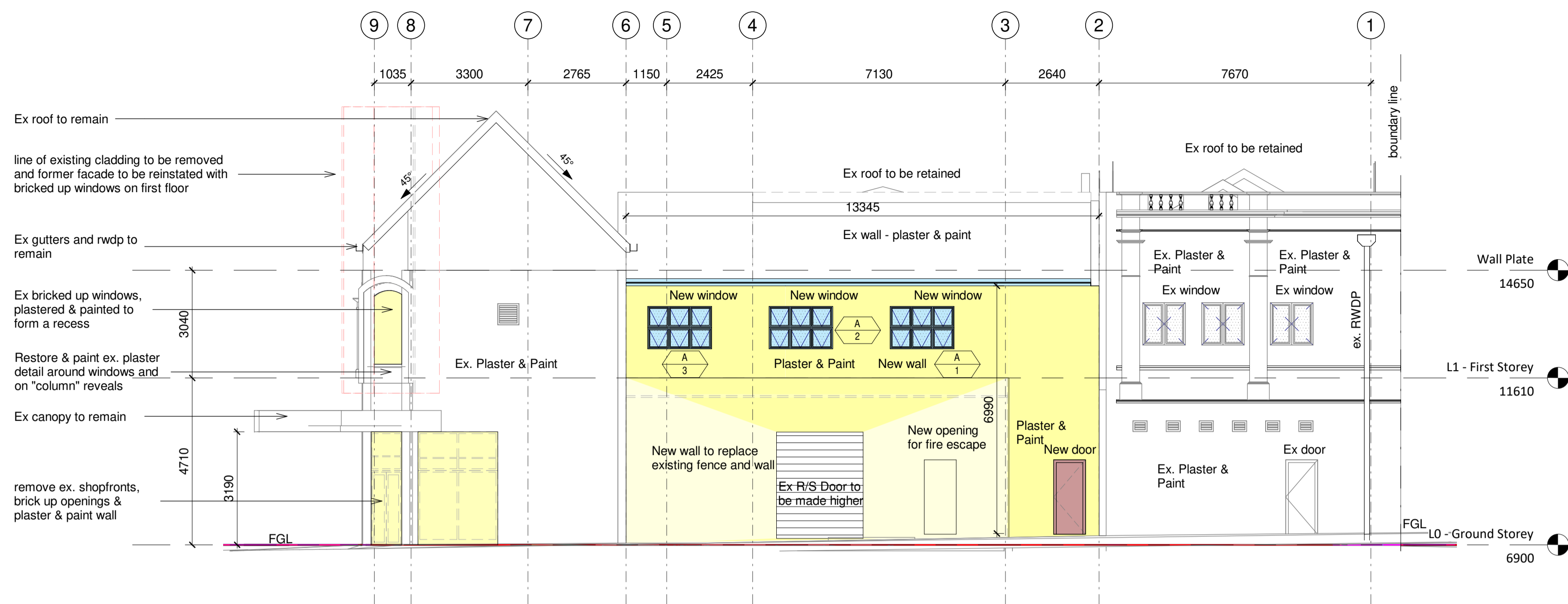
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PROJECT ADDRESS
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ERF 11831 & Ptn 1 of ERF 11834, Durban CBD

SIZE	SCALE	CURRENT REVISION DATE	DRAWN	TCRPV Project Number	Stage
A0	1 : 100		BD	4239	M

DRAWING TITLE
Sections 1-100

Project Code	Originator	Zone	Level	Type	Role	Draw Number	REV
4239	-TCR-	ZZ	XX	DR	AR	2101	



North Elevation

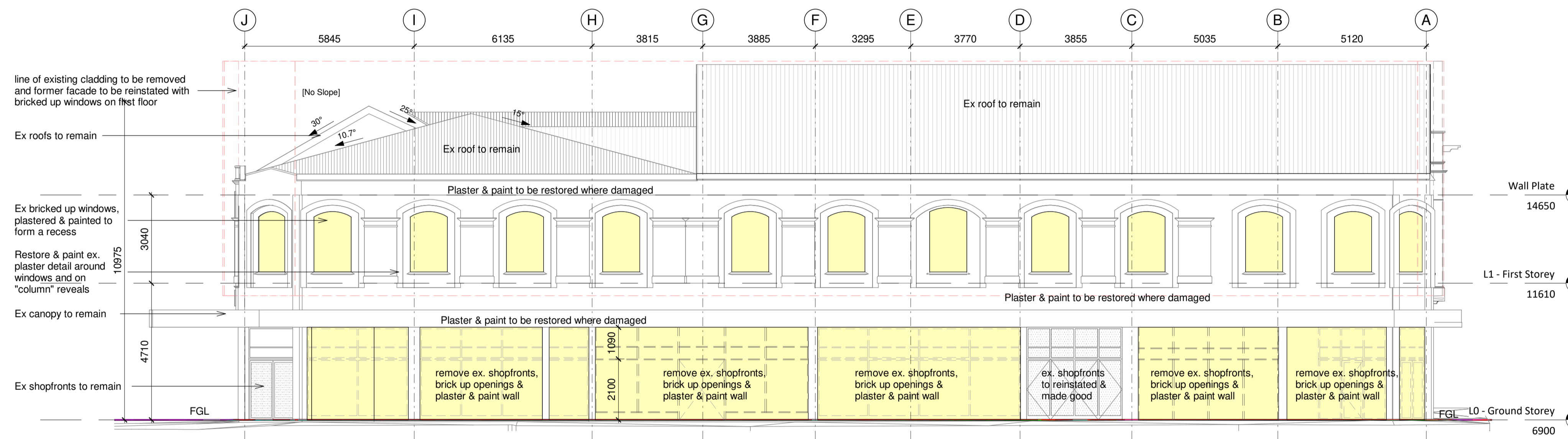
Scale 1 : 100

Note: All opening directions to be determined off elevations, refer to DWG's

Window Type	Type A
Window No.	1, 2, 3
Window Opening	1800 x 1200mm
Window Description	Purpose made aluminium window, comprising of standard aluminium sections to comply with AAAMSA Standards. Top hung sections as indicated.
Frame Finish	Powder coated colour charcoal
Glazing	4mm clear laminated annealed glazing
Ironmongery	By specialist

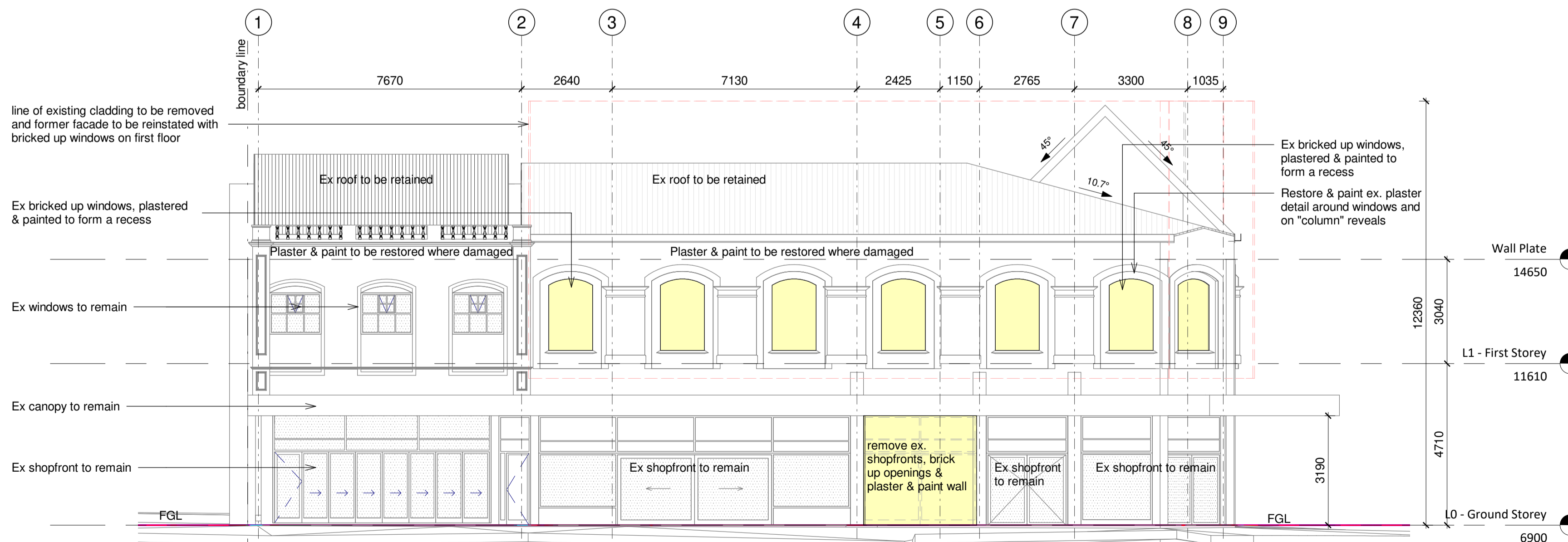
Window Schedule

Scale 1 : 50



East Elevation

Scale 1 : 100



South Elevation

Scale 1 : 100

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Architect on Behalf of TCRPV Architects

Sign: Phillip Thornhill 6841

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MUNICIPAL SUBMISSION

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Elevations

Project Code	Originator	Zone	Level	Type	Role	Draw Number	REV
4239 -TCR- ZZ-XX-DR-AR-3101							