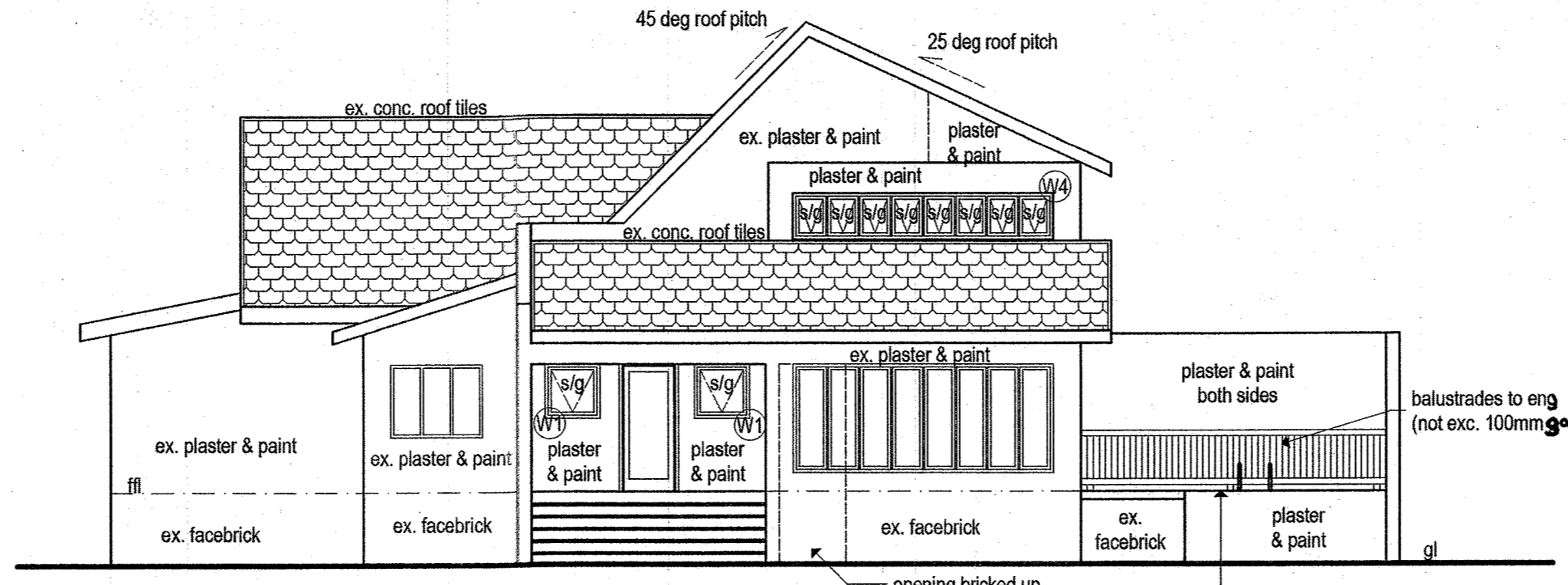


NORTH ELEVATION



SOUTH ELEVATION

FENESTRATION - CLOSED PORCH
 1. NETT FLOOR AREA= 6.46
 2. GLAZING AREA: TOTAL= 5.58
 NORTH ELEVATION = 0.00 WEST ELEVATION = 0.00
 SOUTH ELEVATION = 1.62 EAST ELEVATION = 0.00
 3. 15% OF NETT FLOOR AREA: (sqm/100) X 15= 0.97
 CONCLUSION: TOTAL GLAZING AREA > 15% OF NET FLOOR AREA
 1.62 sqm > 0.97 sqm
 THEREFORE CALCULATIONS ACCORDING TO SANS 204 NOT REQUIRED.

FENESTRATION - NEW BATHROOM
 1. NETT FLOOR AREA= 7.62
 2. GLAZING AREA: TOTAL= 1.98
 NORTH ELEVATION = 1.62 WEST ELEVATION = 0.00
 SOUTH ELEVATION = 0.00 EAST ELEVATION = 0.36
 3. 15% OF NETT FLOOR AREA: (sqm/100) X 15= 1.14
 CONCLUSION: TOTAL GLAZING AREA > 15% OF NET FLOOR AREA
 1.98 sqm > 1.14 sqm
 THEREFORE CALCULATIONS ACCORDING TO SANS 204 REQUIRED.

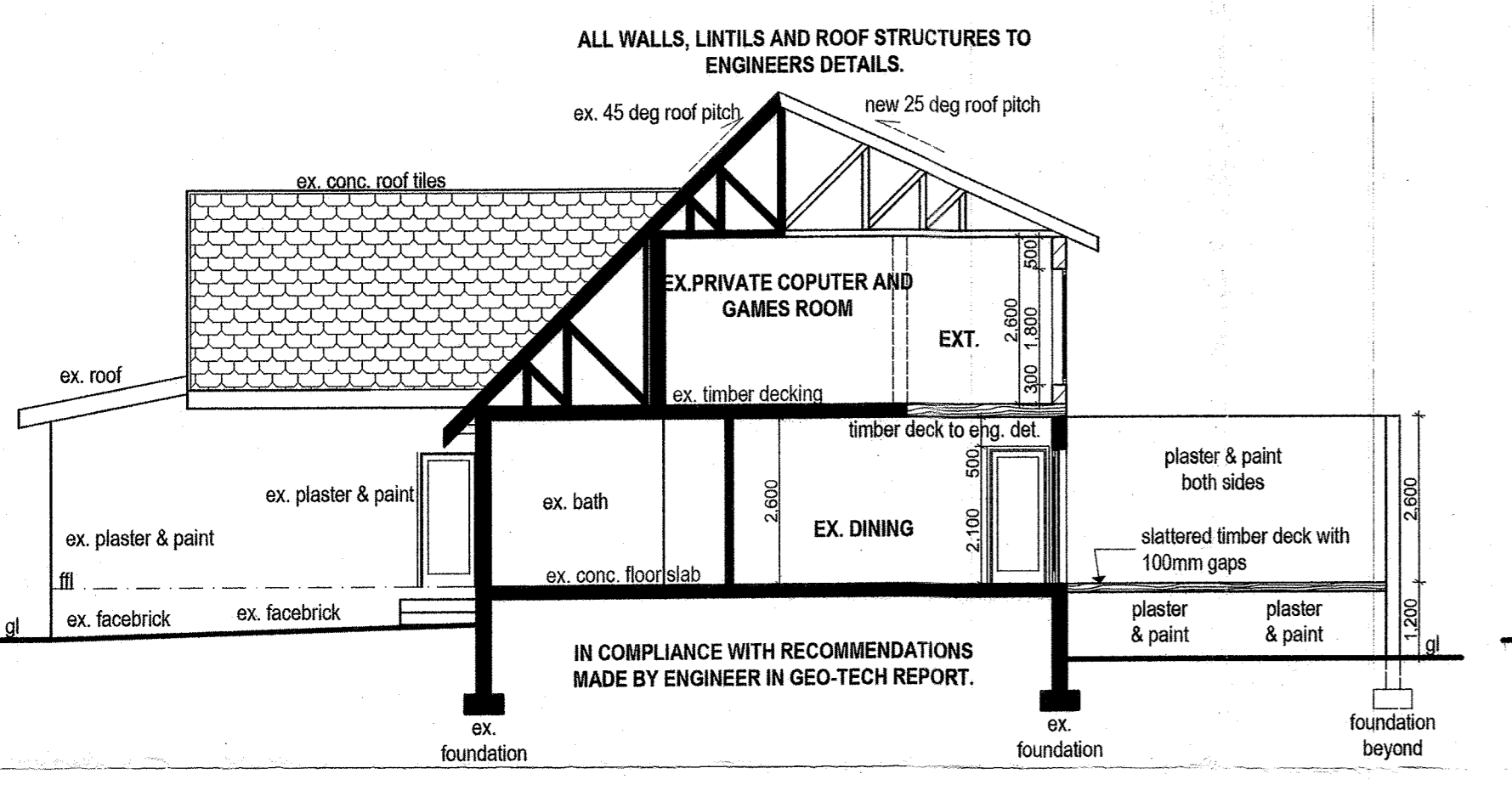
FENESTRATION - FIRST STOREY
 1. NETT FLOOR AREA= 57.93
 2. GLAZING AREA: TOTAL= 14.82
 NORTH ELEVATION = 0.00 WEST ELEVATION = 0.00
 SOUTH ELEVATION = 3.21 EAST ELEVATION = 11.61
 3. 15% OF NETT FLOOR AREA: (sqm/100) X 15= 8.69
 CONCLUSION: TOTAL GLAZING AREA > 15% OF NET FLOOR AREA
 14.82 sqm > 8.69 sqm
 THEREFORE CALCULATIONS ACCORDING TO SANS 204 REQUIRED.

(MAIN DWELLING) WINDOW SCHEDULE

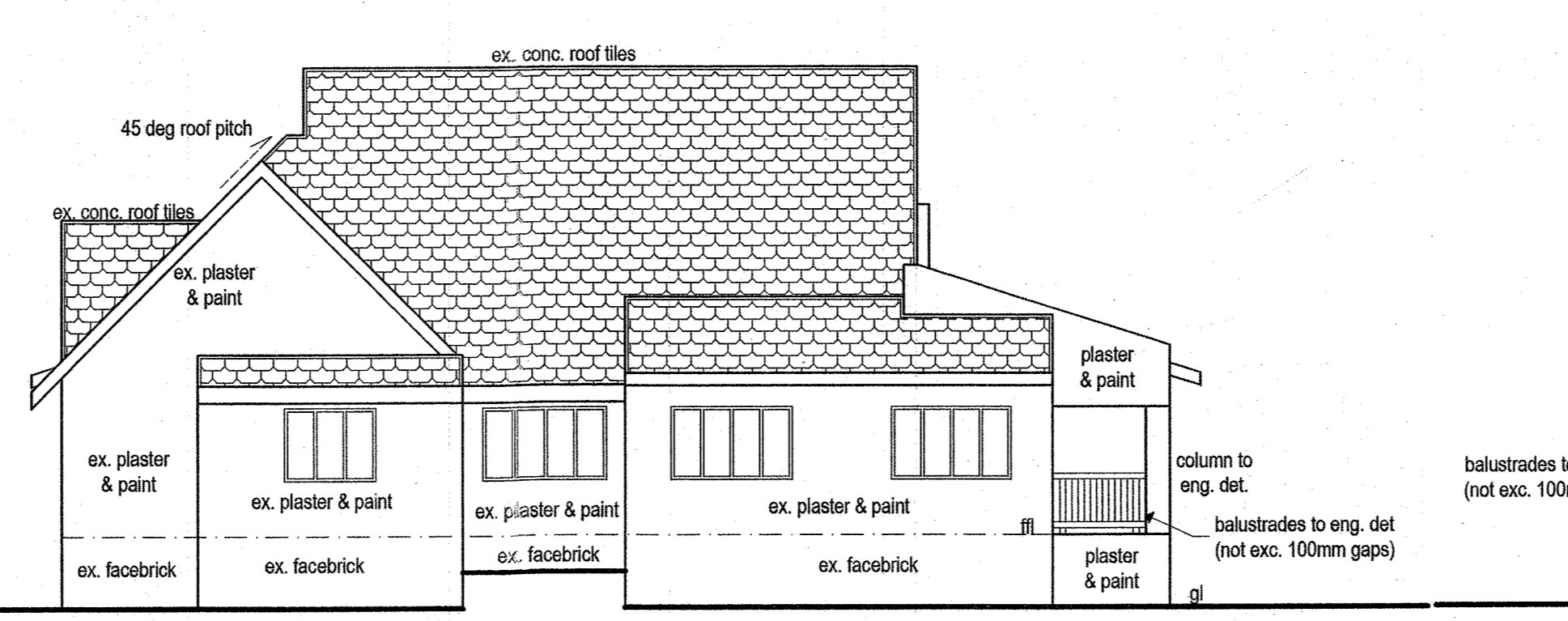
W1	900	6mm thick toughened safety glass with aluminium frame.
W2	900	6mm thick toughened safety glass with aluminium frame. (glass to be frosted)
W3	3.000	6mm thick toughened safety glass with aluminium frame.
W4	4.000	6mm thick toughened safety glass with aluminium frame.

SHEET 2/2 COPY 1
ETHEKWINI MUNICIPALITY
 (CENTRAL)
195 06 15
 APPLICATION NO.

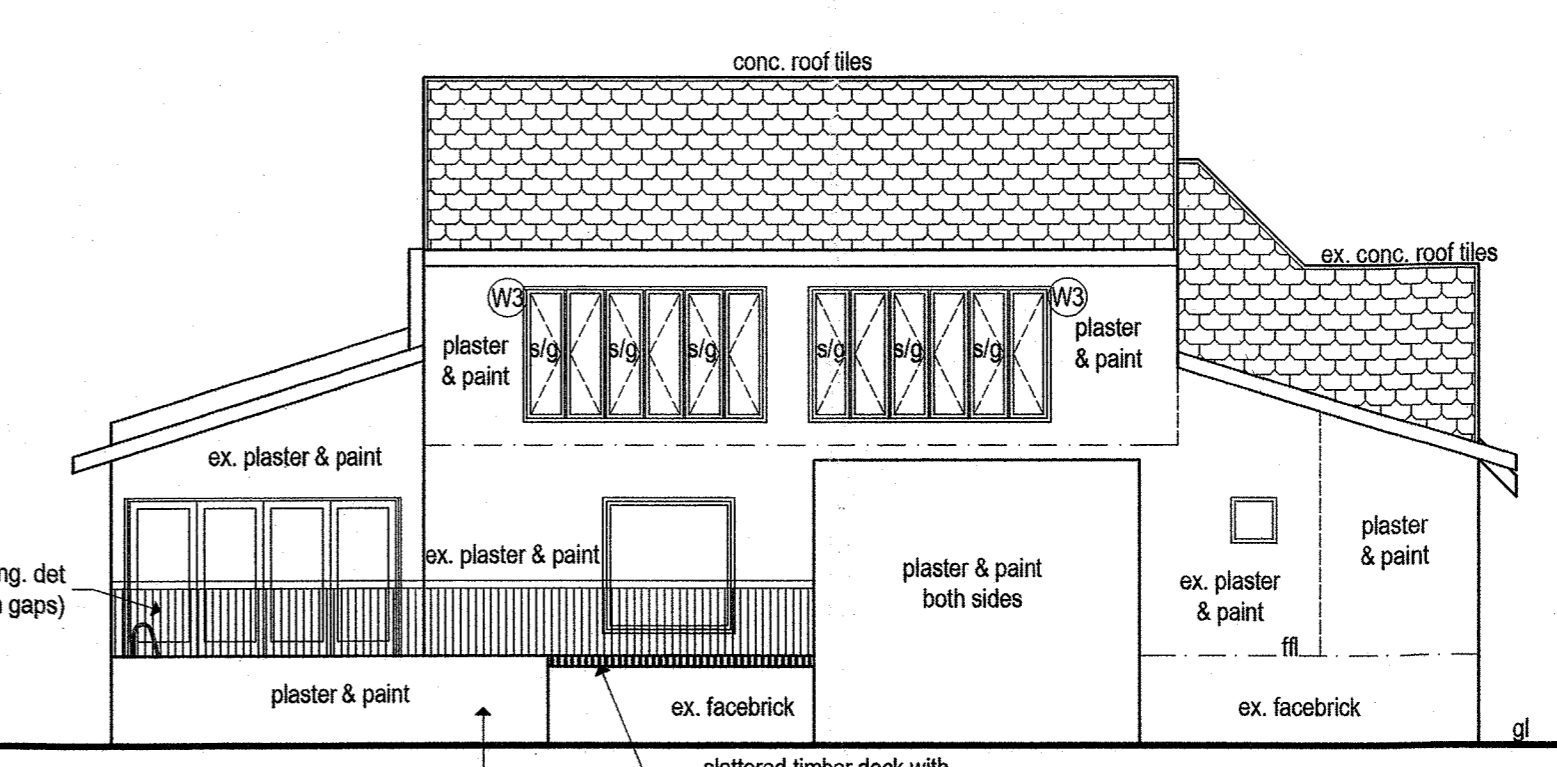
BUILDING APPLICATION
 APPROVED in terms Sec. 7 of The National Building Regulations and Building Standards Act No. 103/1977
 2015-08-20
 DATE LOCAL AUTHORITY
 Attention is drawn to the attached documentation & that this approval shall lapse ONE year after the above approval date, unless the erection of the building in terms of NBR Act 103/1977 is commenced.



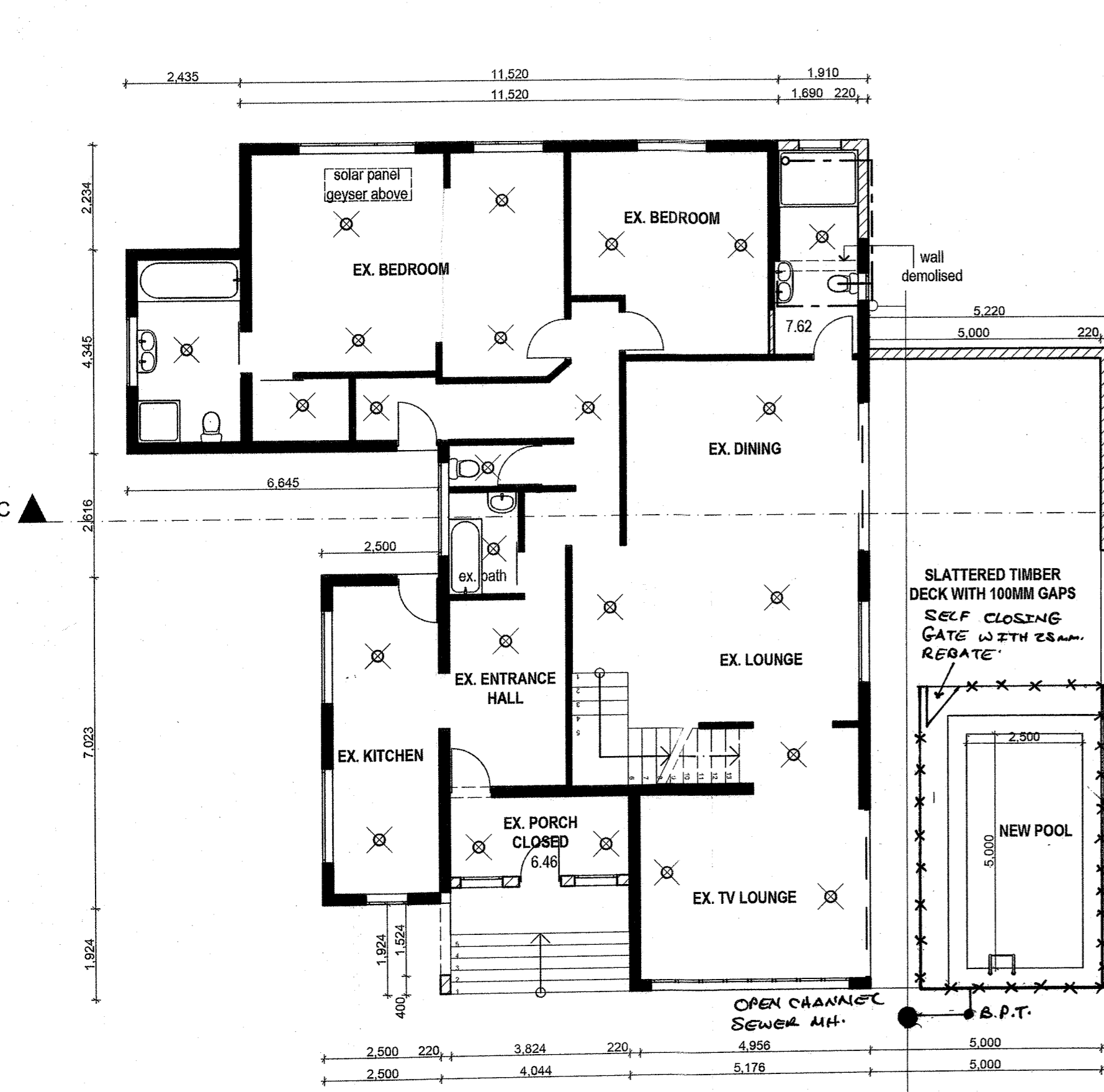
SECTION C-C



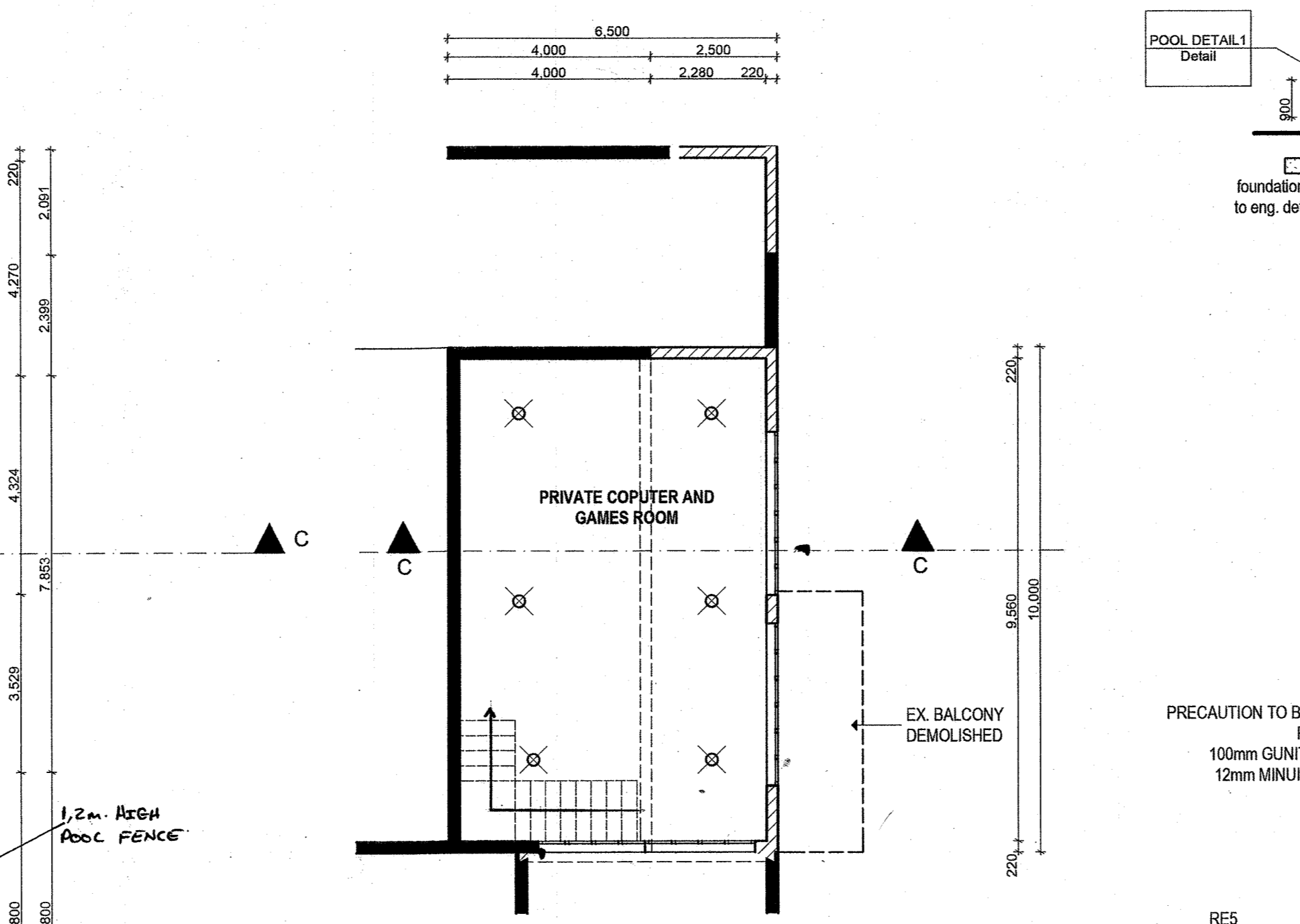
WEST ELEVATION



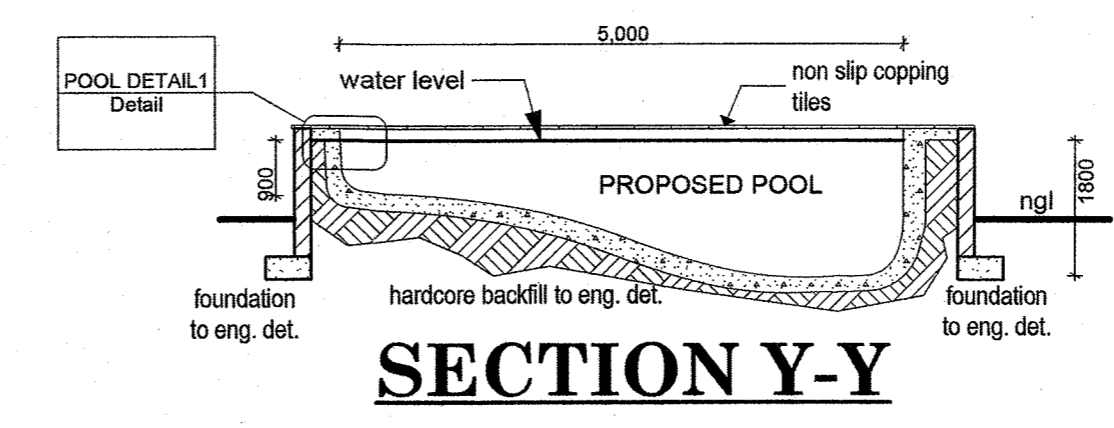
EAST ELEVATION



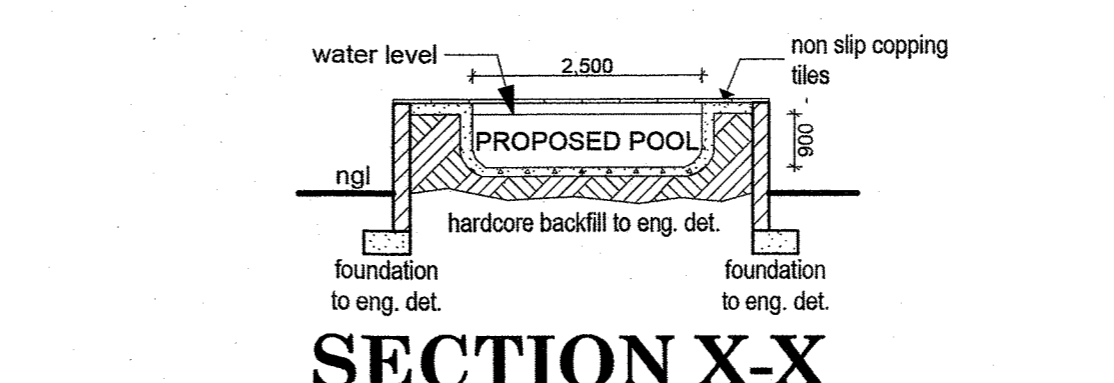
GROUND STOREY ELEVATION



FIRST STOREY ELEVATION



SECTION Y-Y



SECTION X-X

LEGEND: MAIN DWELLING

11W = 11W

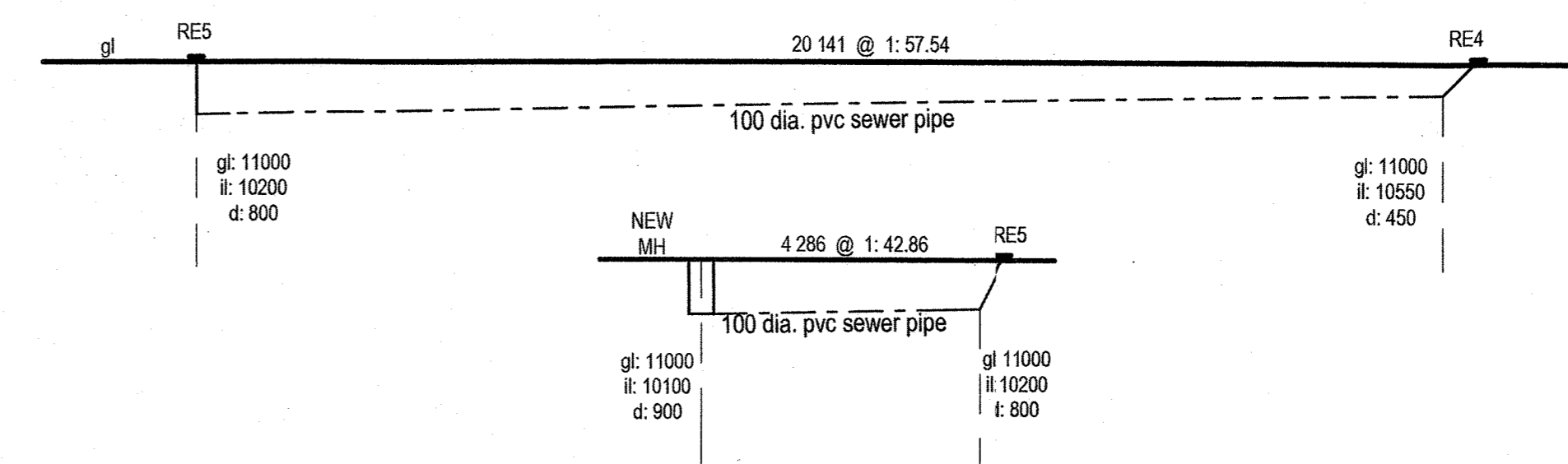
ALLOWED SKWh PER sqm
 = sqm X 5 Kwh
 = 279.91 sqm X 5 Kwh
 = 1395.50 Kwh

ENERGY CONSUMPTION
 = (5 hrs per day X 365) X (30 X 11 WATTS)
 = 1825 kwh X 330 watts (x 1000)
 = 602.25 kwh

POOL DETAIL 1 (1:20)

POOL NOTES
 EARTH LEAKAGE PROTECTION TO BE FITTED TO ELECTRICAL SUPPLY.
 PRECAUTION TO BE TAKEN IN REGARDS TO CONDENSATION, FLOODING, SEEPAGE & RAINWATER IN A SUNKEN PUMP CHAMBER AND FILTER UNIT.
 POOL TO BE FENCED IN ACCORDANCE WITH NBR D4 1.2.3 - BY OWNER. EXCESS SOIL TO BE SPREAD ON SITE.
 100mm GUNITE TO BE MONOLITHICALLY PLACED AGAINST UNDISTURBED SOIL OR OTHER FIRM SURFACE AS DIRECTED BY ENGINEER.
 12mm MINIMUM COVER TO ALL REINFORCING. FINAL POSITION OF POOL AND PUMP TO BE DETERMINED ON SITE ON DAY OF SET OUT.
 WASTE WATER TO BE DIRECTED INTO EXISTING RESIDENCE SEWER LINE VIA BREAK PRESSURE TANK.

SEWER SECTIONS



Per Co. and
PROPOSED ADDITIONS AND ALTERATIONS TO EXISTING DWELLING & PROPOSED ANCILLARY UNIT AND PRIVATE GYM, @ 48 KELVIN PLACE, ON POR 61 OF ERF 39 OF DURBAN NORTH FOR MR/MRS G. Malherbe

SCHEDULE OF AREA

SITE AREA	1260 sqm
EX. COVERAGE	341.00 sqm
PROP. COVERAGE	60.17 sqm
TOTAL COVERAGE	392.38 sqm
PERMITTED COVERAGE	393.20 sqm
EX. FAR	337.36 sqm
LESS FAR	0.00 sqm
PROP. FAR	130.63 sqm
TOTAL FAR	467.99 sqm
PERMITTED FAR	n/a

THE PERFECT PLAN

P.O. BOX 561318
 CHATSWORTH 4030
 TEL: 084 779 4061
 SACAP: D1082
 Drawn by KOVESHAN NAIDOO Date 16/09/2014
 Checked by JOASH PERUMAL Date 17/09/2014
 Drawing Scale

1:100 / 1:200