

KELVIN PLACE

83 400 boundary line

ex. 1,6m high pc fence

A: 18.850

B: 14.850

5m building line

EXISTING DRIVEWAY

- LIST OF DEVIATIONS:**
- GROUND STOREY PLAN (MAIN DWELLING)**
1. STAIRS REPOSITIONED
 2. EXISTING KITCHEN REPOSITIONED
 3. KITCHEN CONVERTED TO STUDY
 4. NEW LAUNDRY ADDED
 5. BATHROOM CONVERTED TO PANTRY
 6. NEW GUEST WC
 7. NEW AWNING OVER PATIO AREA
 8. POOL REPOSITIONED
 9. ENTRANCE PORCH NOT ENCLOSED
 10. DOOR BRICKED UP
- FIRST STOREY PLAN (MAIN DWELLING)**
11. GAMES ROOM CONVERTED TO BEDROOM & BATHRM / DRESS - RM.
 12. EN-SUITE BATHROOM ADDED
 13. WINDOW SIZES CHANGED
- GROUND STOREY PLAN (OUTBUILDING)**
14. NEW POSITION OF PRIVATE GYM BATHROOM
 15. ALCOVE ENCLOSED
 16. NEW WINDOW ADDED
 17. NEW STAFF QUARTERS ADDED
 18. BATHROOM & DRESSING ROOM ADDED TO STAFF QUARTERS
- FIRST STOREY PLAN (OUTBUILDING)**
19. WINDOWS ADDED
 20. WINDOW BRICKED UP
 21. SLIDING DOORS CHANGED TO STACK DOORS
 22. EXISTING WALKWAY EXTENDED WITH NEW ROOF OVER (NEW STORE ROOM AND WC)
 23. NEW WINDOW ADDED

Frameless glass shower enclosures
to comply with SANS 10400-part N, table 10
le. Size of glass panel = 1,62m²
Therefore glass to be 8mm thk
TOUGHENED SAFETY GLASS.

WATER RETICULATION
MAIN DWELLING:

CLASS OF OCCUPANCY	H3
DESIGN POPULATION	8 PERSONS
HOT WATER DEMAND	115 litres/person/day x 7 = 230 litres/day
HOT WATER STORAGE VOLUME AT 60 DEGREES C (20% HEAT LOSS)	40 LITRES/CAPITA x 8 PERSONS = 320 litres
20% HEAT LOSS ALLOWANCE	80 litres
HOT WATER STORAGE REQUIRED AT 60 DEGREES C	= 320L + 80L = 400L

POWER REQUIRED TO HEAT VOLUME OF WATER REQUIRED:
HOT WATER STORAGE REQUIRED AT 60 deg C = 400L
 $Q = (M \times C \times \Delta T) / t$
 $Q = (0,40 \times 1,16 \text{ kWh/m}^3 \text{ deg C} \times (60 - 20 \text{ deg})) / 2,5 \text{h}$
 $Q = 7,4 \text{ kW}$

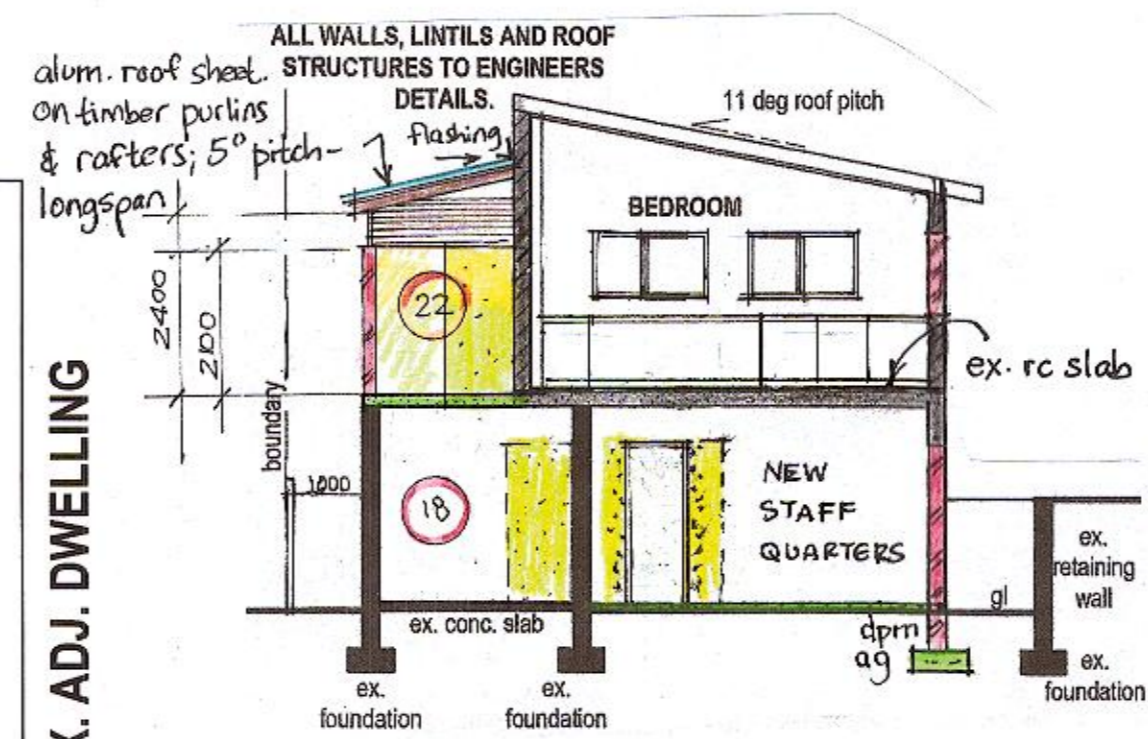
NOTE - SUPPLY OF WATER TO COMPLY WITH SANS 10400- PART W

GENERAL NOTES:

- ALL LEVELS AND DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTOR BEFORE COMMENCING WORK.
- FOUNDATIONS TO BE MIN. 1m FROM MUNICIPAL SERVICES.
- REINFORCED BRICKWORK WITH SOLID JOINTS IN CEMENT MORTAR IN ALL WALLS AT WINDOW CILL AND ROOF PLATE LEVELS.
- SOIL TO BE POISONED.
- ALL NEW WATER PIPES TO BE 22mm Ø COPPER PIPING.
- TOILET AND WASHING FACILITIES TO BE PROVIDED IF EMPLOYEES ARE EMPLOYED.
- 100 CONCRETE SLAB ON BRC MESH ON SABS APPROVED DAMP ROOF MEMBRANE ON WELL RAMMED SOIL.
- ALL GLAZING TO COMPLY WITH SANS 10400 - PART N.
- STOREYS IN BATHROOM, LAUNDRY AND KITCHEN TO COMPLY WITH SANS 10400 - PART J 4.2.
- ALL NEW WORK TO COMPLY WITH SANS 10400 XA AND SANS 204, ENERGY EFFICIENCY AND USAGE OF A BUILDING.
- ALL PLUMBING TO COMPLY WITH SANS 10400- PART P.
- LIGHTING AND VENTILATION TO COMPLY WITH SANS 10400- PART O.
- GUTTERS AND DOWNPIPES TO COMPLY WITH SANS 10400- PART R.
- FLASHING TO BE PROVIDED AS PER SANS 10400-PART L.
- SUPPLY OF WATER TO COMPLY WITH SANS 10400 PART W.
- NEW STOREYS, WALLS, ROOF, FOUNDATIONS, LINTELS AND BEAMS TO ENGINEER'S DETAIL.**

DRAINAGE NOTES:

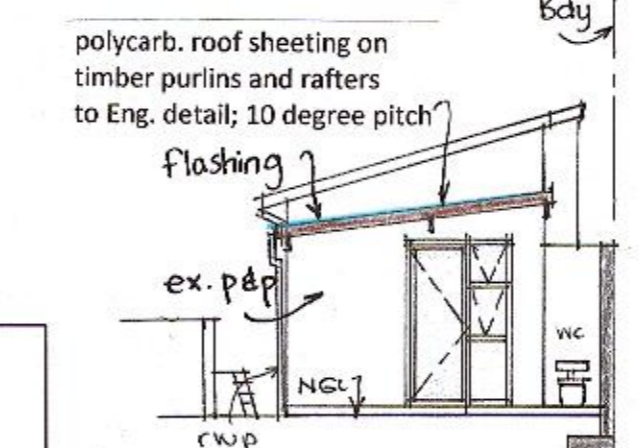
- ANY DAMAGED FITTINGS TO BE REPLACED.
- ALL GULLY SURROUNDS AND MANHOLE COVERS TO BE 75mm ABOVE GROUND LEVEL.
- SEWER CONNECTION TO BE EXPOSED BEFORE COMMENCING WORK.
- IE'S TO ALL BENDS AND JUNCTIONS.
- SOIL PIPES TO BE 100diameter PVC.
- WASTE PIPES TO BE 50 diameter PVC.
- SEWER PIPES UNDER BUILDING TO BE 100 diameter UPVC RIBBED PIPE.



SECTION B-B

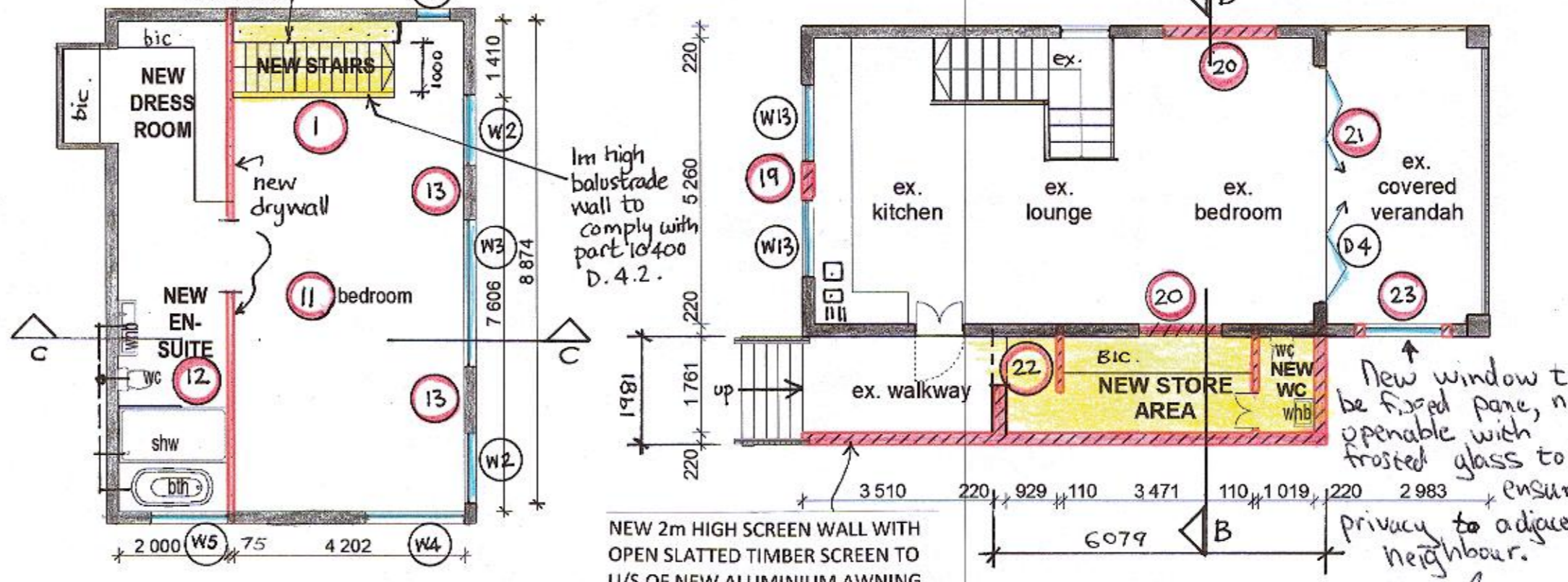
SCHEDULE OF AREAS : m²

SITE AREA	= 1260 m ²
ALLOWABLE COVERAGE	630 (50%)
ALLOWABLE F.A.R.	N/A
EXISTING COVERAGE	392,38
PROPOSED COVERAGE	63,49
NEW TOTAL COVERAGE	455,87
AVAILABLE COVERAGE	174,13
EXISTING F.A.R.	467,99
PROPOSED F.A.R.	44,85
NEW TOTAL F.A.R.	512,84
AVAILABLE F.A.R.	N/A
NEW AREAS:	
STAFF QUARTERS	22,67
PRIVATE GYM	2,9
LAUNDRY	7,24
STORE AND WC	12,04
AWNINGS	56,25



SECTION A-A & SOUTH ELEVATION

Address	Name	Ph.	ID no.	Sign:
50 Kelvin Place Athlone	ROSEMARY VAN HEERDEN	0834512178	6802100108	[Signature]
40 Kelvin Place Athlone	PAMELA ANNE BAILES	0844448515	520127006585	[Signature]



PLAN | FIRST STOREY (MAIN DWELLING)
SCALE 1: 100

PLAN | FIRST STOREY (OUTBUILDING)
SCALE 1: 100

KELVIN PLACE

134 330 boundary line

EX. GARAGE

5m building line

EXISTING DRIVEWAY

EX. gates

94 000 boundary line

C: 14.000

DRAWING NO. 03 08 23

PROPOSED DEVIATIONS OF APPROVED PLAN NO. 195 06 15

48 Kelvin Place, Durban North

FOR: GABRIEL ROUSSOU MALHERBE
48 KELVIN PLACE
PTN 61 OF ERF 39, DURBAN NORTH

SITE & GROUND, FIRST FLOOR PLANS
SECTIONS

DRAWN BY	C. VAN BREEMEN
CHECKED BY	M. VAN BREEMEN
DATE	JULY 2023
SCALES	1:100
SIGNED	[Signature]
OWNER'S SIGNATURE	[Signature]
OWNER'S PHONE NO.	07 2 259 9355

ARCHITECTURAL PLANS

13 GAINSFORD PLACE, LA LUCIA, 4051
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EMAIL - michelle-arch1@outlook.com
REGISTRATION NO. ST1451
M. SACAP M. SAJAT