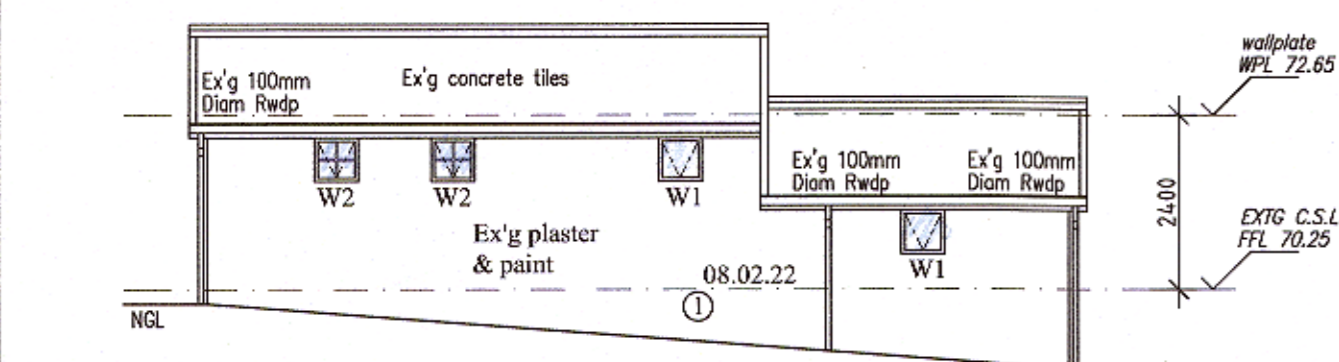
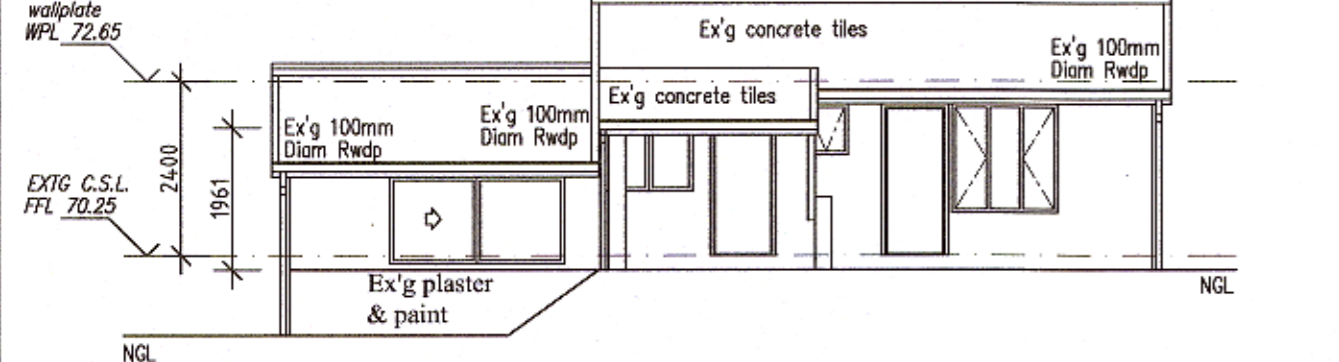




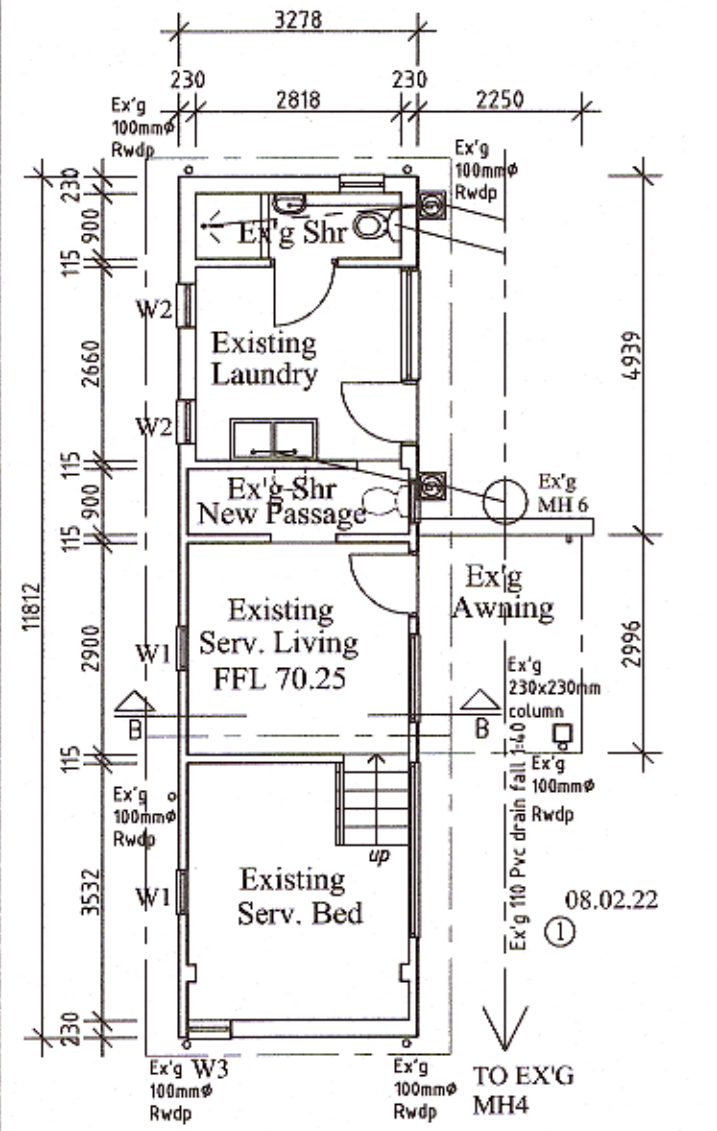
O/BUILDING WEST ELEVATION
SCALE 1:100



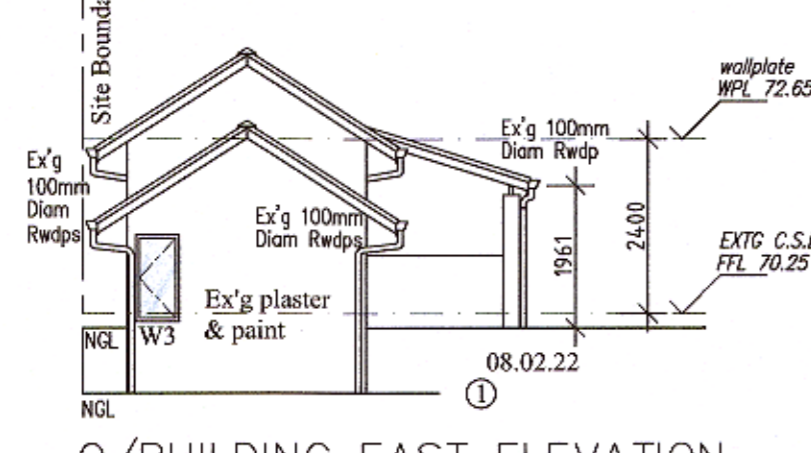
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SCALE 1:100



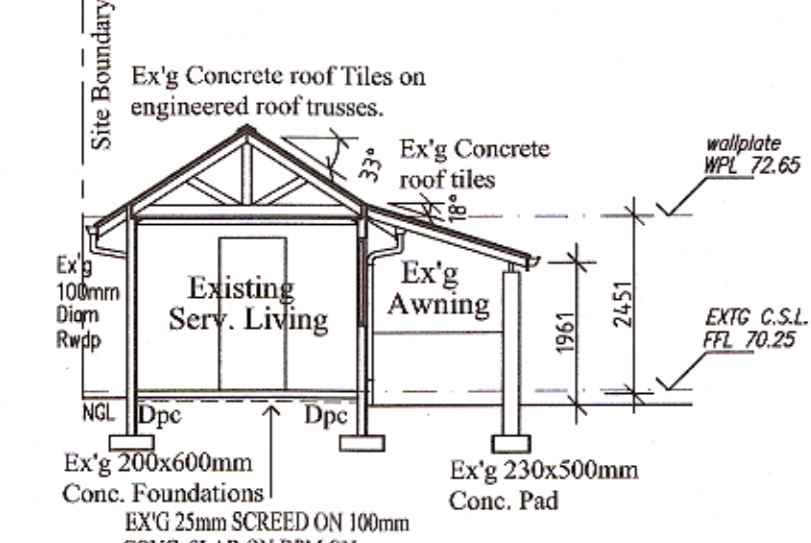
O/BUILDING NORTH ELEVATION
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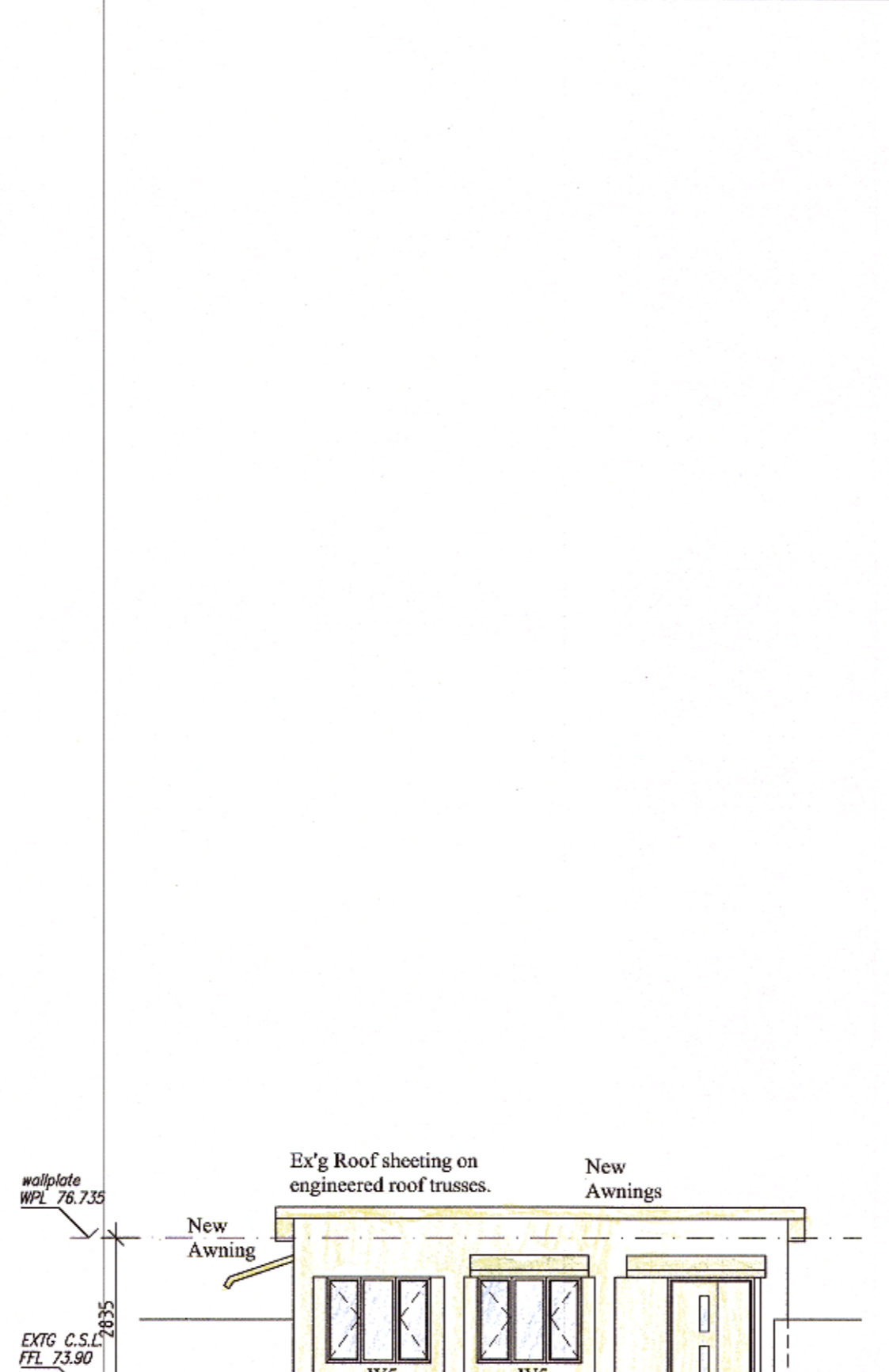
O/BUILDING GROUND STOREY PLAN
SCALE 1:100



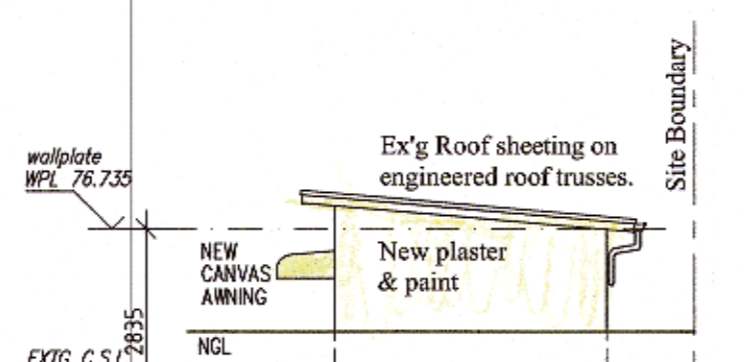
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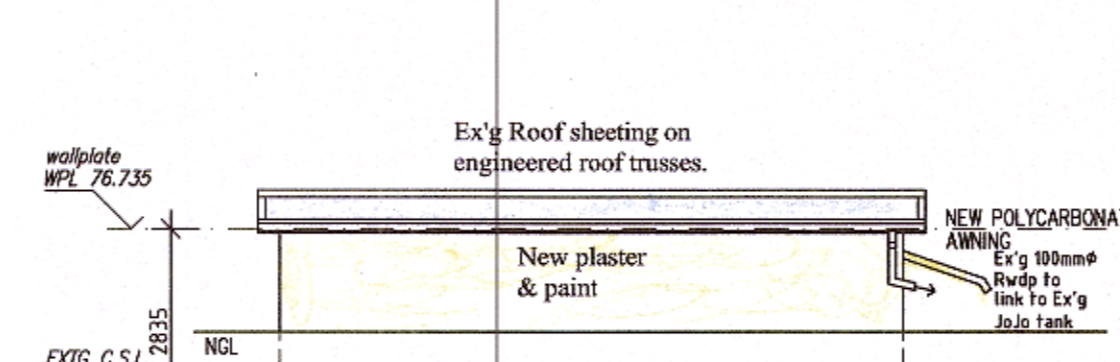
SECTION B-B
SCALE 1:100



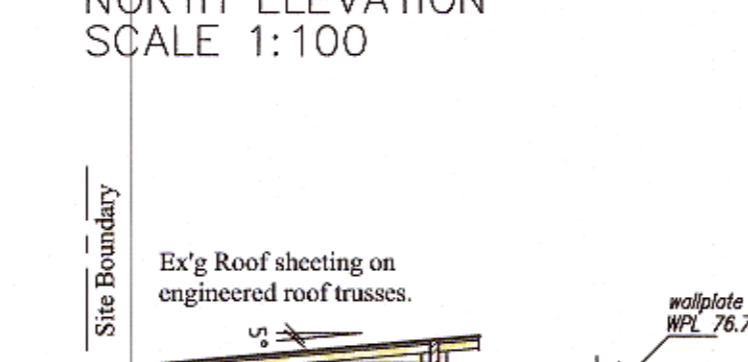
EAST ELEVATION
SCALE 1:100



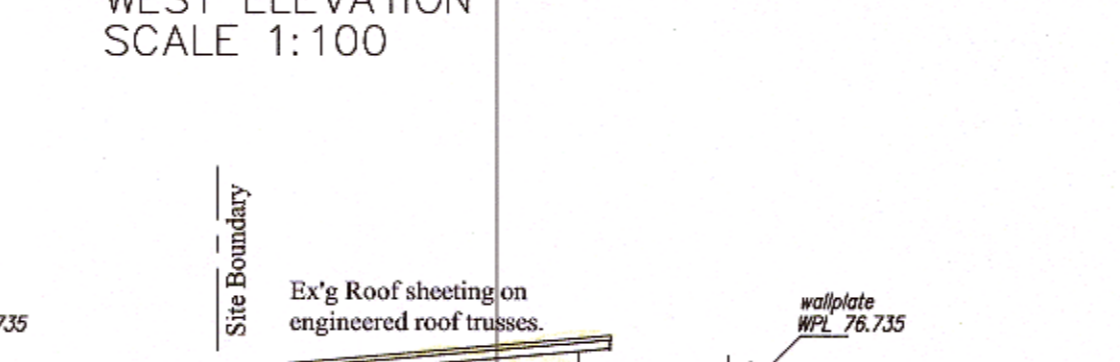
NORTH ELEVATION
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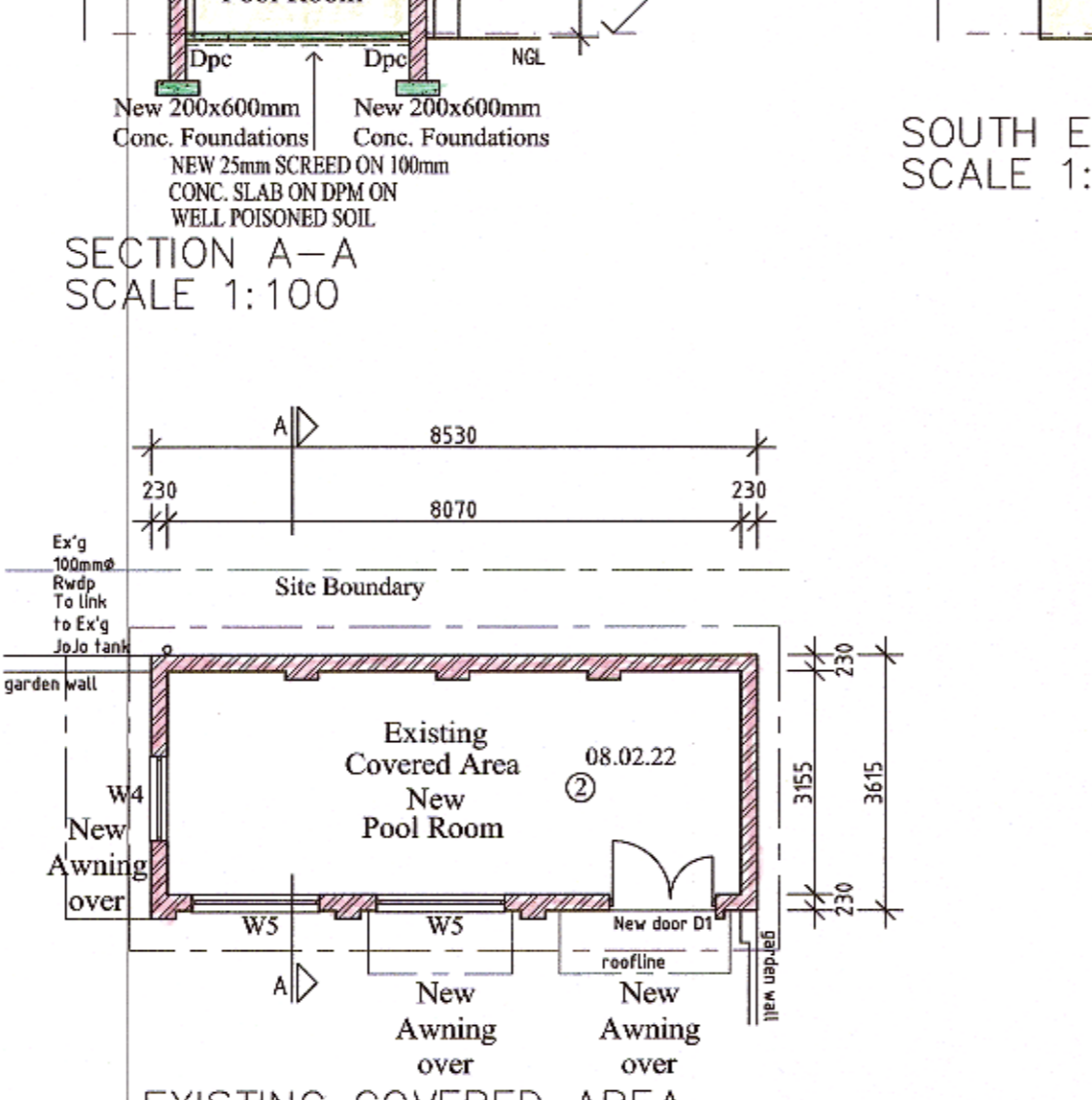
WEST ELEVATION
SCALE 1:100



SECTION A-A
SCALE 1:100



SOUTH ELEVATION
SCALE 1:100



EXISTING COVERED AREA
NEW POOL ROOM
SCALE 1:100

DOOR		GLAZING SCHEDULE		WINDOW		GLAZING	
W1	6.4mm LAMINATED ANNEALED SAFETY GLASS	W1	4mm MONOLITHIC ANNEALED GLASS	W2	4mm MONOLITHIC ANNEALED GLASS	W3	4mm MONOLITHIC ANNEALED GLASS
W4	6.4mm LAMINATED ANNEALED SAFETY GLASS	W5	6.4mm LAMINATED ANNEALED SAFETY GLASS				

NOTES:

- D.P.C. ANTIGUARD, SOIL POISONING
Soil under all covered areas to be poisoned, Chloridane poison by specialist applicator. D.P.C. to be 'Dampseal' black SABS 952, 375 micron minimum 150mm above ground.
- FLOOR CONSTRUCTION AND FOUNDATIONS
FOUNDATIONS: 600x200 Concrete strip footings taken down to solid founding.
SURFACE BEDS: 100mm mesh reinforced (ref 197mesh) concrete on 250 micron 'Dampseal' green SABS 952 damp proof membrane underlay, membrane turned up around the perimeter for full thickness of slab. Screed as required for floor finish. Fill below surface bed to be well compacted in 150mm layers suitable material free of clay content. Fill to be compacted to a minimum density 90% MODAASHO
- WALLS
EXTERNAL PERIMETER WALLS: SABS 230 brick, plaster and paint both sides. Internal walls 115 as indicated on plan.
- WINDOWS AND GLAZING
Powder coat Aluminium windows, references indicated. diagonal lines indicate operable sections. Operable sections hung on off-set hinges fitted with secure stays and fasteners
Glazing to windows below 1M to be safety glass.
All Glazing to comply with SANS 10400 Part 'N' SABS 0137 and AAAMSA Regulations.
- ROOF CONSTRUCTION
22.5° pitch, concrete roof tiles laid in accordance with manufacturers specification on 38x38 battens on underlay 'Gundle plastic' SABS 952 under tile white type 'E' on trusses (to be certified by a professional engineer) at max 760 CCS laid on 114x38 wall plate, and tied to walls with galvanised HOOP IRON 30x1.6mmx1600 long built into walls and bent over rafter, fixed with clout nails. Four courses brickforce all round below wallplate. Galvanised mild steel valley gutters to horizontal roof junctions with undertile membrane lapped over, all to be water tight.
- RAINWATER GOODS AND FASCIAS
Aluminium seamless gutter fixed to 225x10 Nutec fascia board with concealed gutter brackets.
'DPI Plastics' uPVC systems rainwater DOWNPIPES 100Ø fixed to wall with holderbats. All to be fixed in accordance with manufacturers spec.

Revisions			
No.	Date	Drawn	Revision

Do not scale this drawing – use dimensions only. All dimensions to be checked on site before commencing sitework or shop drawings. Omissions or discrepancies to be reported to the Designer.

Rate No.: 282/848070 94

Owners name:
Mr R.D. Reardon

Sign:

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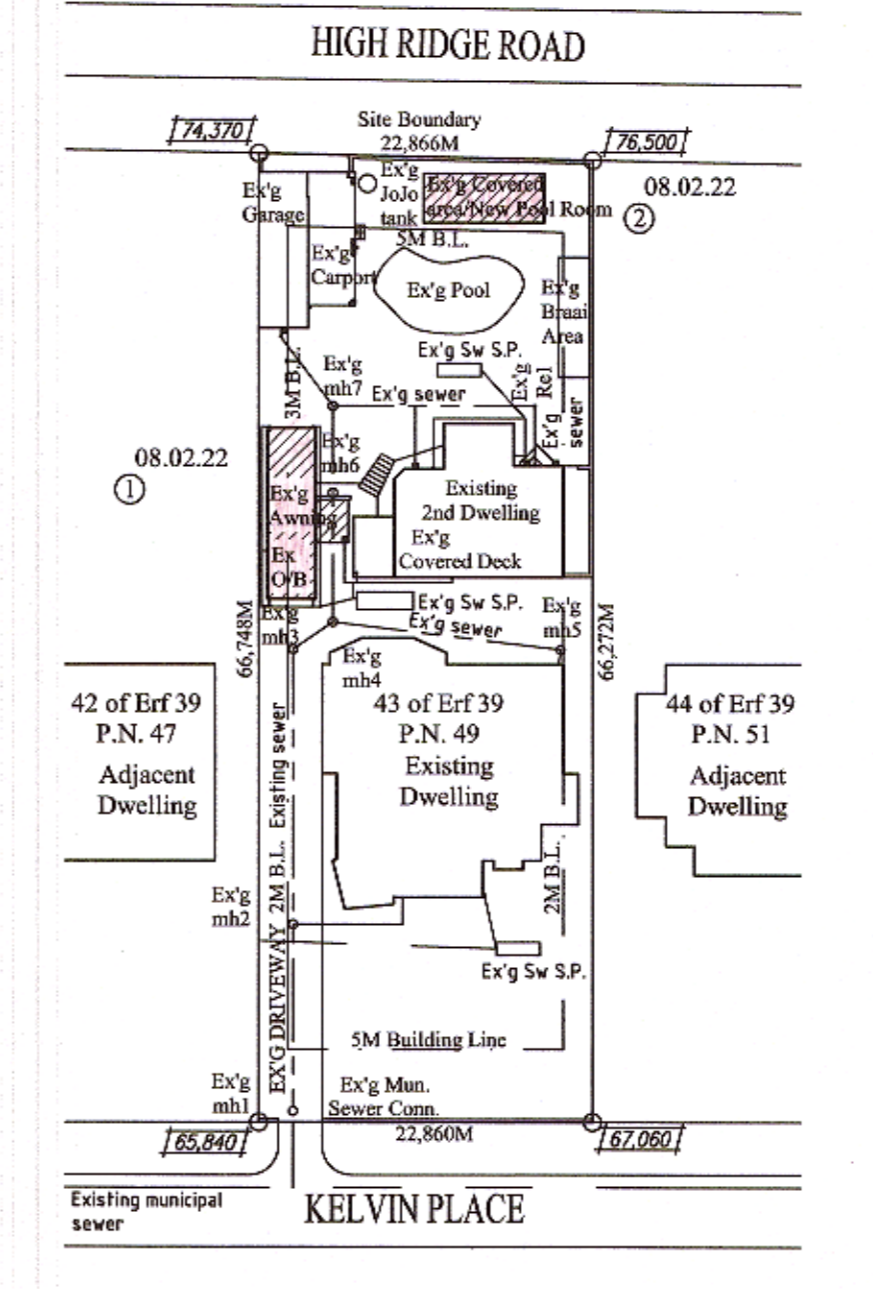
project

PROPOSED DEVIATION TO APPROVED PLAN NO: 47 01 16 OUTBUILDING AMENDED AND EXISTING COVERED AREA CHANGED TO NEW POOL ROOM ON PORTION 43 OF LOT 39 DURBAN NORTH 49 KELVIN PLACE DURBAN NORTH 4051

drawing title

PLAN, SITE PLAN, SECTION, ELEVATIONS

drawn	date	project no.
M Jay	FEB 2022	2207
checked	scale	
M F	1:100	



SITE PLAN
SCALE 1:500

DEVIATION TO APPROVED PLAN No 47-01-16 APPROVED 24-08-2016 15/02/22
 1 Internal layout to outbuilding changed, windows added
 2 Existing Covered area changed to New Pool Room

SCHEDULE OF AREAS	
SITE AREA	1520.0m ²
PERMISSIBLE COVERAGE 50%	760.00m ²
EXISTING COVERAGE	596.089m ²
NEW COVERAGE	0.0m ²
TOTAL COVERAGE	596.089m ²
FAR	N/A