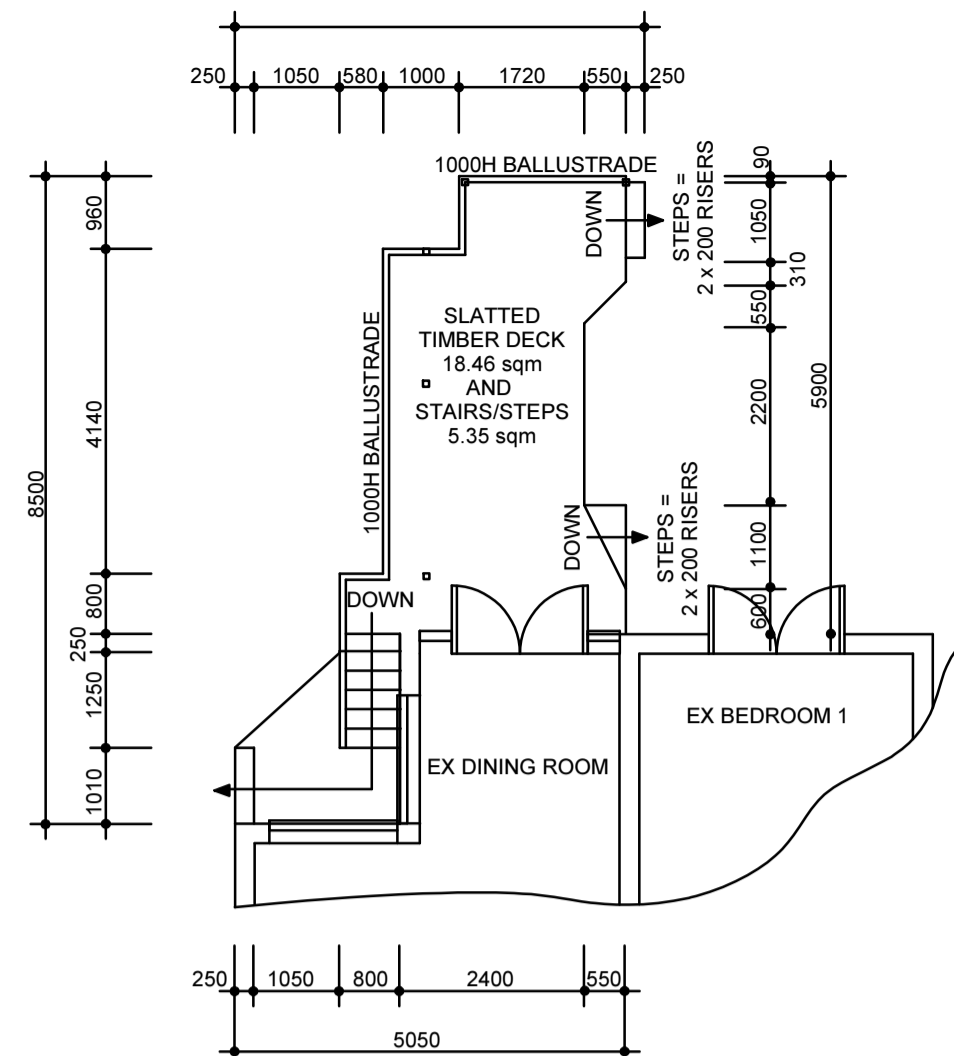
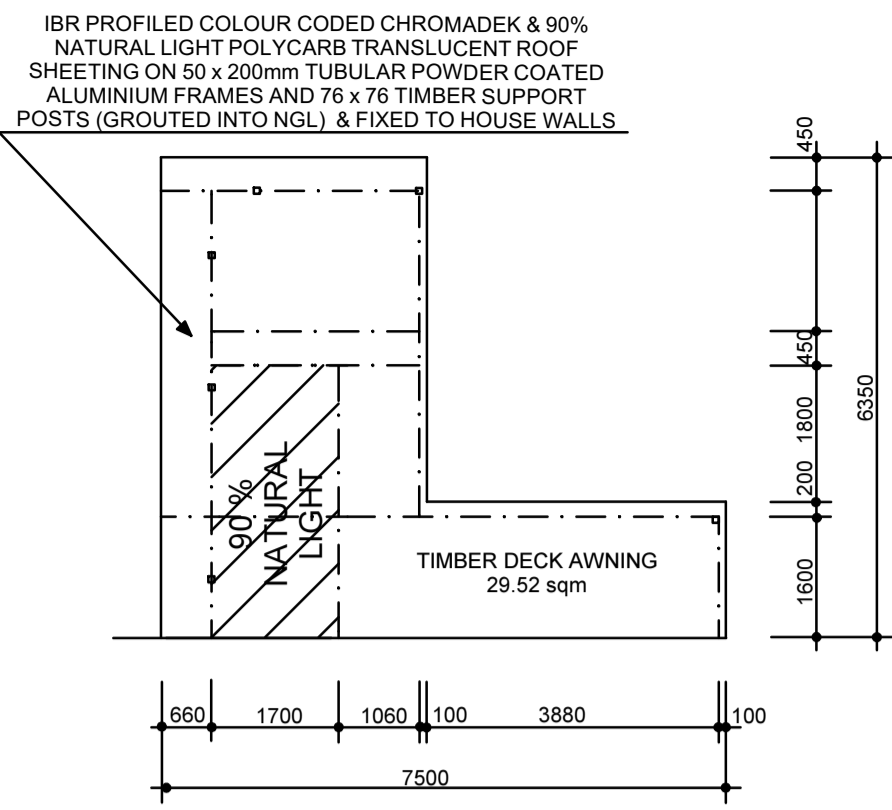


SECTION A - A 1:100

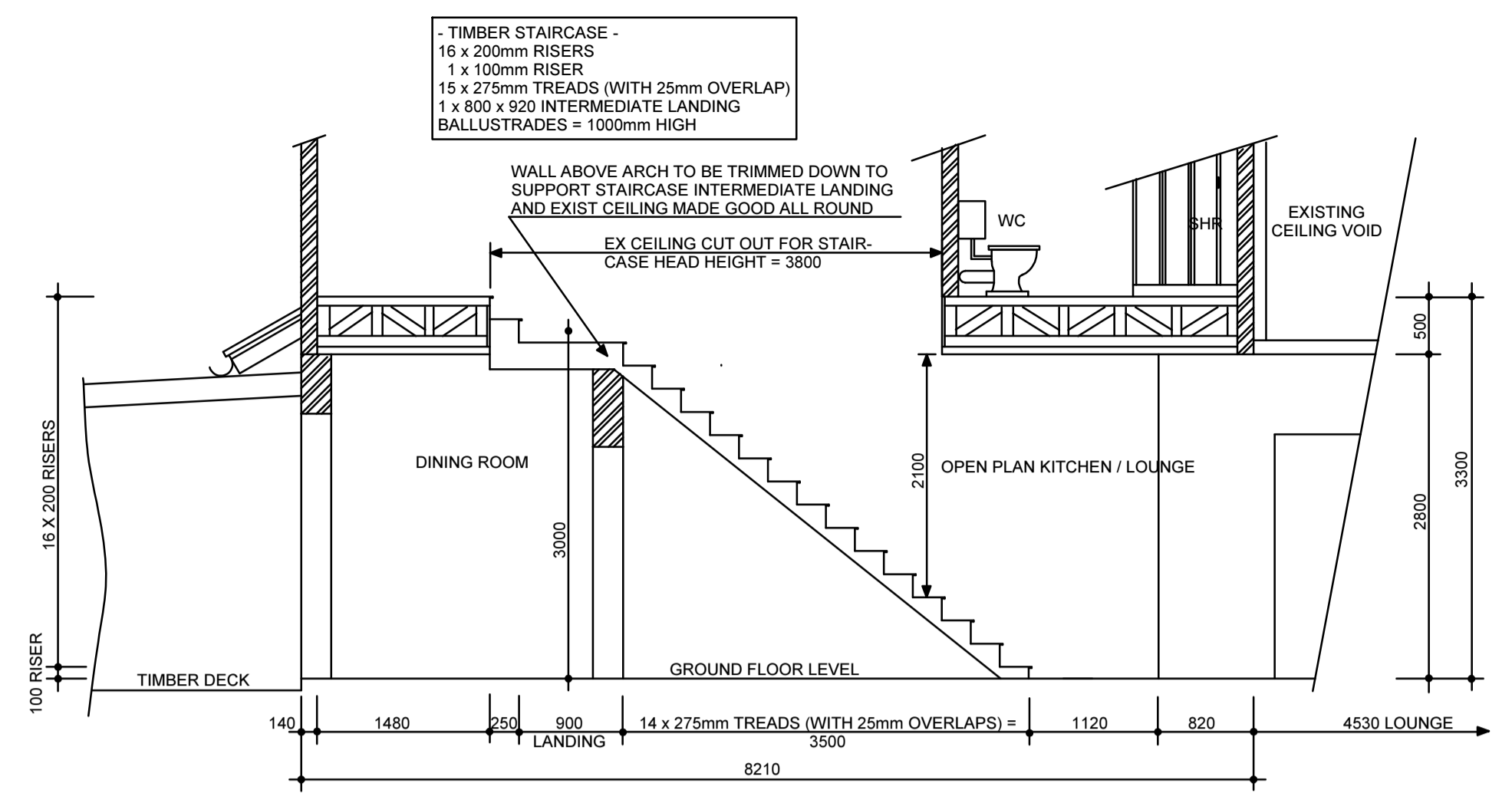
SOIL & WASTE PIPES IN GROUND STOREY ROOF SPACE TO BE IMPERVIOUS i.e. TO BE WRAPPED WITH AN APPROVED WATERPROOFING MEMBRANE/SEALANT.



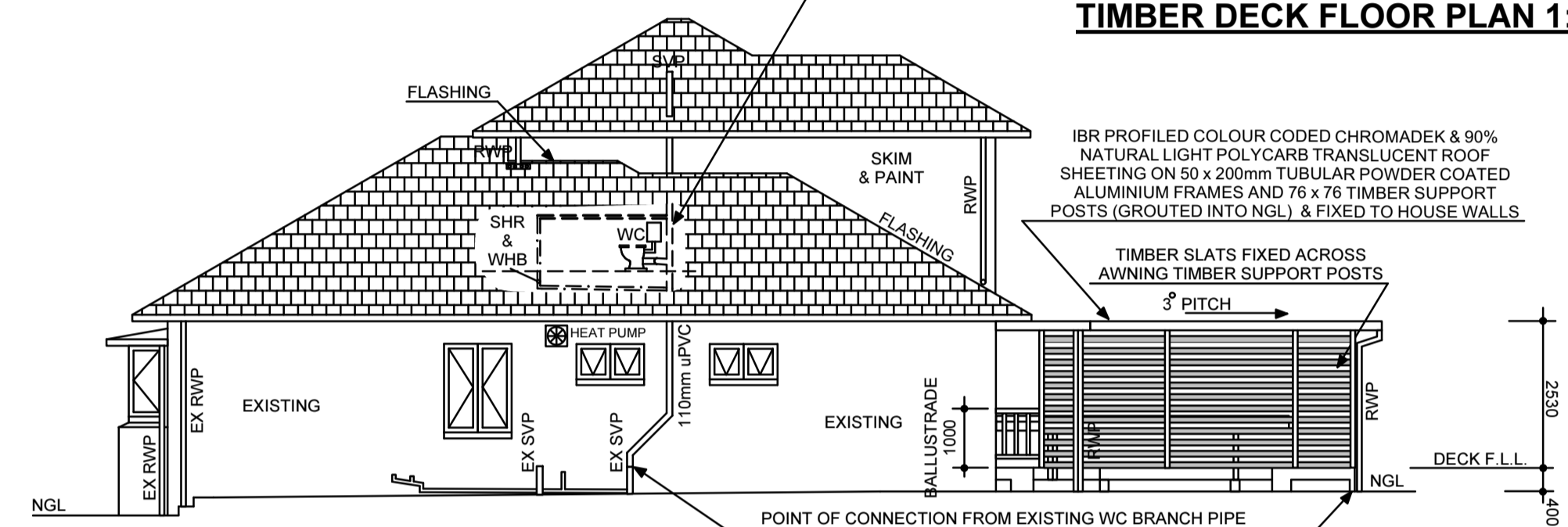
PROPOSED GROUND STOREY POOL SURROUND SLATTED TIMBER DECK FLOOR PLAN 1:100



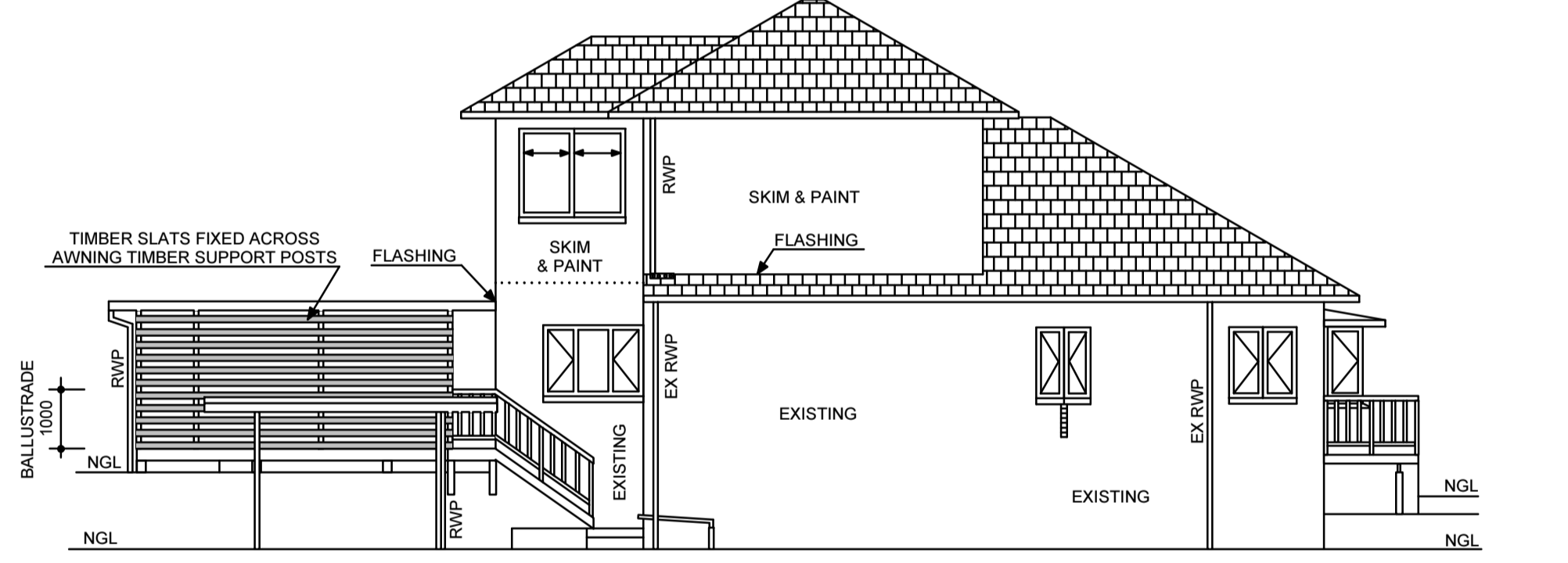
PROPOSED AWNING OVER PROPOSED TIMBER DECK 1:100



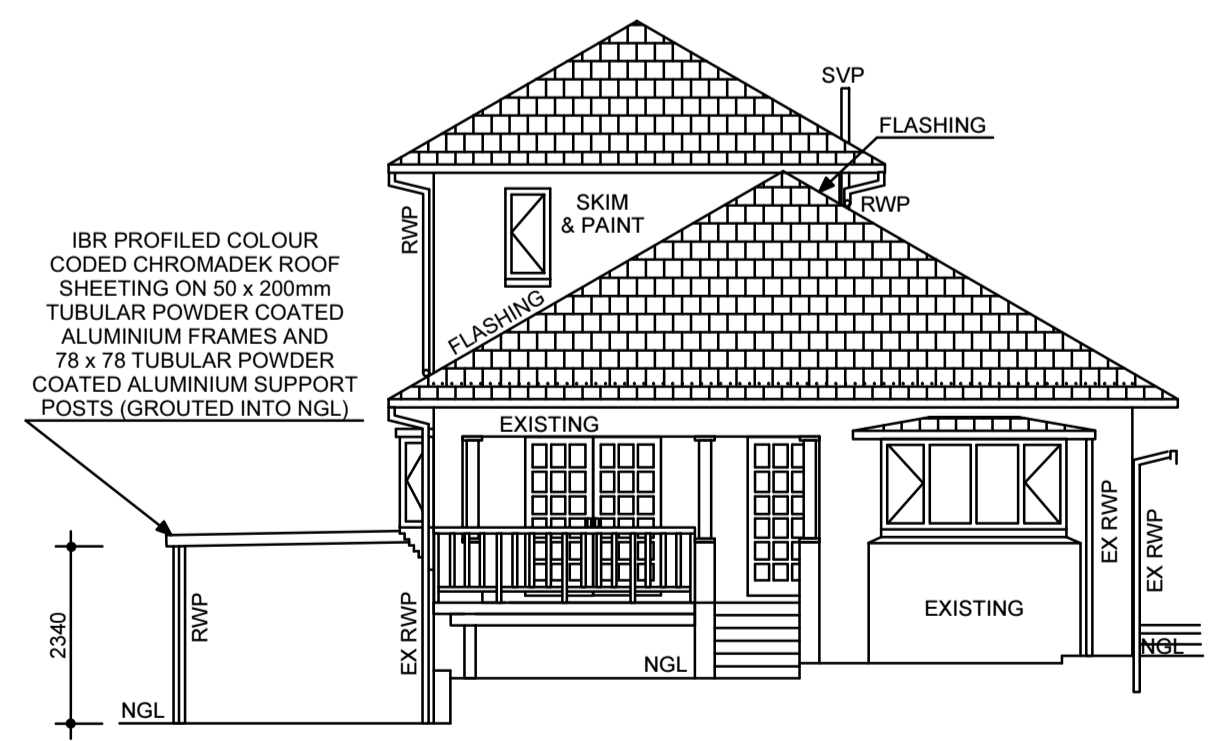
SECTION 'B - B' THRU STAIRCASE 1:50



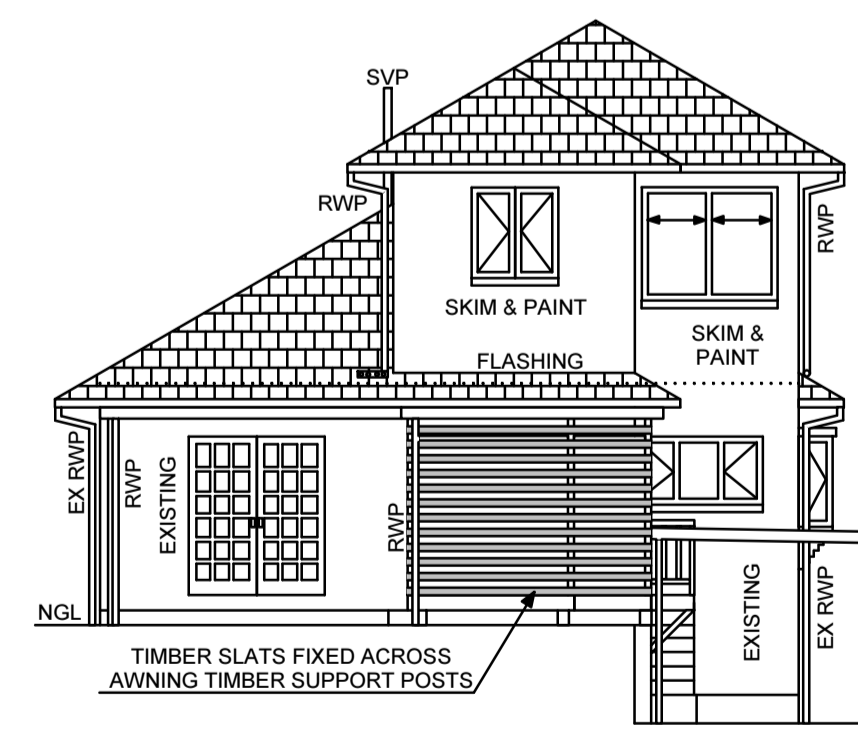
NORTH WEST ELEVATION 1:100



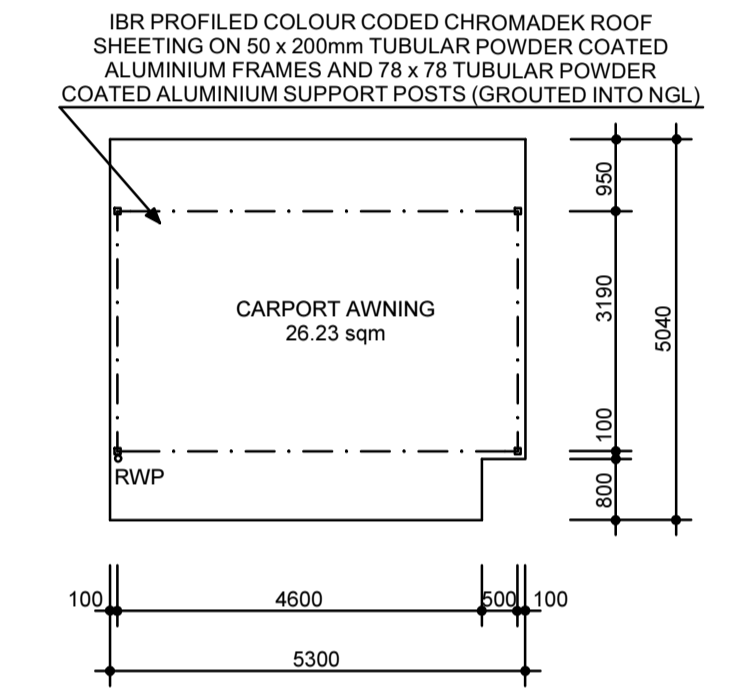
SOUTH EAST ELEVATION 1:100



NORTH EAST ELEVATION 1:100



SOUTH WEST ELEVATION 1:100

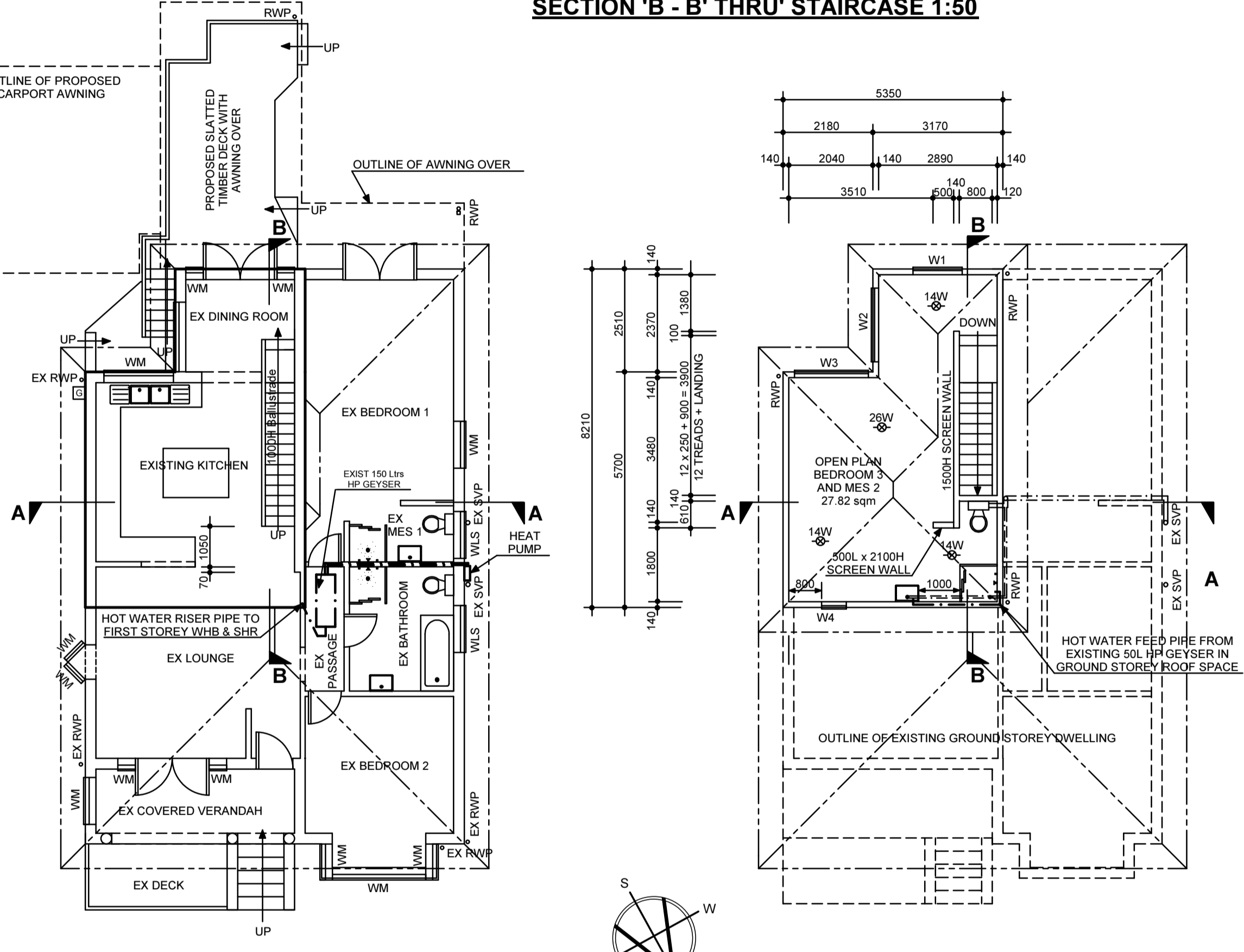


PROPOSED CARPORT PLAN 1:100

FRAMED GLASS SHOWER CUBICLE  
6mm LAMINATED ANNEALED SAFETY GLASS  
NB: ALL BALLUSTRADES TO COMPLY TO SANS 10400 D 4.2.4 i.e. SHALL NOT HAVE ANY OPENING THAT PERMITS THE PASSAGE OF A 100mm DIAMETER BALL

ALUMINIUM FRAME DOOR SCHEDULE  
GROUND STOREY:  
ALL EXISTING EXTERNAL WALL TIMBER FRAMED DOORS WITH GLAZING TO BE MEASURED IN-SITU, REMOVED AND REPLACED WITH IDENTICAL SIZE ALUMINIUM FRAMES WITH 6mm CLEAR DOUBLE LOW-E GLASS

ALUMINIUM FRAME WINDOW SCHEDULE  
GROUND STOREY:  
ALL EXISTING 'COTTAGE PANE' STYLE TIMBER FRAMED WINDOWS TO BE MEASURED IN-SITU, REMOVED AND REPLACED WITH IDENTICAL 'STANDARD' STYLE ALUMINIUM FRAMES WITH THE FOLLOWING TYPE OF GLAZING:  
ALL 'WM' WINDOWS = 4mm (< 1.5m PANE AREA) MONOLITHIC / SINGLE CLEAR GLASS  
ALL 'WLS' WINDOWS = 6mm LAMINATED SAFETY / CLEAR DOUBLE LOW-E GLASS  
FIRST STOREY:  
4mm MONOLITHIC SINGLE CLEAR GLASS  
W1 = 1200W x 1200H  
6mm LAMINATED SAFETY / CLEAR DOUBLE LOW-E GLASS  
W2 = 1800W x 1500H  
W3 = 1800W x 1500H  
W4 = 600W x 1200H



EXISTING GROUND STOREY 1:100

PROPOSED FIRST STOREY 1:100

NAME:	NAME:	NAME:
ADDRESS: 1 HAYLE AVENUE	ADDRESS: 2 HAYLE AVENUE	ADDRESS: 6 HAYLE AVENUE
TEL No:	TEL No:	TEL No:
SIGNATURE:	SIGNATURE:	SIGNATURE:
NAME:	NAME:	NAME:
ADDRESS: 9 HAYLE AVENUE	ADDRESS: 191 VAUSE ROAD	ADDRESS: 193 VAUSE ROAD
TEL No:	TEL No:	TEL No:
SIGNATURE:	SIGNATURE:	SIGNATURE:

CONSTRUCTION NOTES TO CONTRACTORS:  
GENERAL:  
1) USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING.  
2) ALL LEVELS AND DIMENSIONS TO BE CHECKED ON SITE PRIOR TO COMMENCING WITH CONSTRUCTION.  
3) ALL NEW WORK TO MATCH EXISTING.  
4) MATERIALS & CONSTRUCTION TO COMPLY TO ALL SANS, SABS AND SAFSA (LIGHT STEEL FRAME CONSTRUCTION) REGULATIONS AND THE LOCAL MUNICIPALITY'S BY-LAWS (REF. NO. 0182/04/98/7), AND IN ACCORDANCE TO THE STRUCTURAL ENGINEERS SPECIFICATIONS, COMPLETION AND/OR COMPLIANCE CERTIFICATE TO BE SUPPLIED BY ENGINEERS & OTHER SERVICE PROVIDERS.  
5) CERTIFICATE FOR LOADING, STRUCTURAL & FIRE STABILITY REGARDING FLOOR & WALLS CONSTRUCTION TO BE ISSUED BY STRUCTURAL ENGINEER.  
6) UNLESS OTHERWISE SPECIFIED AND APPROVED, ANY ENCROACHMENT OVER BOUNDARY / BUILDING LINES, SERVITUDE ETC, ARE TO BE RECTIFIED AND / OR REPORTED TO AUTHOR OF PLAN.

EXTERNAL WALLS: LIGHT GALVANISED STEEL (LGS) FRAME  
1) 40 x 87mm PROFILED HIGH TENSILE G550 HOT DIPPED 'LGS' FRAMED WALLS WITH Z275 ANTI-CORROSION ZINC COATING WITH EXTERNAL SKIN OF 9mm NUTEX FIBRE CEMENT PANELS WITH SKIM COAT PLASTER & PAINT TO MATCH EXISTING AND INTERNAL SKIN OF 15mm GYPSUM RHYNOWALL PANELS WITH BULK INSULATION BETWEEN BOTH PANELS.  
2) FLASHING INSTALLED BETWEEN NUTEX PANELS, STEEL FRAME & ROOF.  
INTERNAL WALLS:  
1) 15mm RHINOWALL PANELS ON BOTH SIDES OF PROFILED 'LGS' FRAMED WALLS WITH BULK INSULATION BETWEEN PANELS.  
2) ALL WALLS SKIMMED WITH PLASTER & PAINTED.  
ROOF AND CEILING:  
1) EXISTING ROOF SHEETS AND TIMBER TRUSSES TO BE REMOVED WITH THE EXCEPTION OF THE TIE-BEAMS AND THE EXISTING CEILING MATERIAL FIXED TO THE TIE-BEAMS.  
2) NEW ROOF TILE INSTALLED AND SECURED WITH 8mm WIRE TIES ON 38 X 38 mm BATTENS ON PVC UNDERLAY ON NEW FIRST FLOOR. PROFILED 'LGS' FRAMED TRUSSES @ 700 mm CTRS ON STEEL FRAMED WALLS - ROOF PITCH AS SPECIFIED.  
3) FIRST FLOOR CEILING - GYPSUM BOARD ON 38 X 38 BRANDINGER FIXED UNDERSIDE TRUSSES  
4) FLASHING - FASCIA & BARGE BOARDS TO MATCH EXIST.  
SUSPENDED TIMBER FLOOR:  
1) 19mm SHUTTERBOARD PANELS FIXED ON TOP OF PROFILED HIGH TENSILE G550 HOT DIPPED 'LGS' FRAMED FLOOR JOIST WITH Z275 ANTI-CORROSION ZINC COAT'NG, AND 15mm RHINO-BOARD PANEL UNDERSIDE FLOOR JOIST, SECURED WITH HOOP IRON TO DROPPERS FIXED TO EXIST WALL.

STORMWATER & DRAINAGE:  
DRAINAGE TO COMPLY TO SANS 10400 - P  
1) 50mm WASTE PIPES AND 110 mm SOIL PIPES TO MATCH EXISTING -  
2) 110mm uPVC SOIL PIPES ABOVE AND BELOW NGL AND uPVC RIBBED SOIL PIPES BELOW STRUCTURES.  
3) PIPES BELOW NGL & STRUCTURES TO HAVE IE'S & RE'S AT ALL BENDS AND JUNCTIONS AND RE'S EVERY 10 METRES MIN. ON STRAIGHT RUNS.  
4) ZWAY VENT VALVE AT EVERY WC AND A 110 mm PVC OPEN VENT PIPE AT THE HEAD OF THE SOIL & WASTE SYSTEM.  
STORMWATER DISPOSAL TO COMPLY TO SANS 10400 - R  
1) CUTTERS AND DOWNPIPES TO MATCH EXISTING - 110 mm uPVC PIPES BELOW AND ABOVE NGL.  
2) 110 mm uPVC RIBBED STORMWATER PIPES BELOW STRUCTURES.  
WATERPROOFING BATHROOMS & KITCHENS:  
INTERNAL WALLS OF BATHROOMS & KITCHENS TO BE 15mm WATER RESISTANT GYPSUM RHYNOWALLS COATED WITH AN APPROVED WATERPROOFING MEMBRANE & SEALANT, THEN TILED FULL HEIGHT FROM TILED FLOOR TO GYPSUM RHYNOBOARD CEILING PANELS WITH EPOXY SEALANT GROUTED BETWEEN ALL TILE JOINTS, SANWARES SPACINGS  
INSTALLATION OF SERVICES:  
1) HOLES IN MEMBERS AS PER SANS 817 - 7.2  
2) PLUMBING PIPEWORK AND SERVICES AS PER SANS 817 - 7.3  
3) ELECTRICAL CABLES & FITTINGS AS PER SANS 817 - 7.4

STAIRCASE:  
1) RISERS = MAXIMUM 200 mm HIGH - 18 x 104mm TIMBER.  
2) TREADS = 48 X 228mm TIMBER  
3) STRINGER BEAMS = 48 X 228mm TIMBER  
4) HEAD HEIGHT = MINIMUM 2100 mm CLEARANCE.  
5) ALL BALLUSTRADES = MINIMUM HEIGHT OF 1000 mm - TIMBER  
GLAZING:  
1) AS PER SANS 10400 - PART N & PART XA AND SANS 204 - SEE WINDOW & DOOR SCHEDULES  
2) LIGHTING AND VENTILATION AS PER SANS 10-400 PART 0  
TRANSPARENT GLAZING:  
WHERE TRANSPARENT GLAZING IS USED AND IS NOT LIKELY TO BE APPARENT TO, OR SUSPECTED BY, ANY PERSON APPROACHING IT, SUCH GLAZING SHALL BEAR MARKINGS THAT SHALL RENDER IT APPARENT TO SUCH PERSON  
SAFETY GLAZING:  
THE PANES OF ALL SAFETY GLAZING SHALL BE PERMANENTLY MARKED BY THE INSTALLER IN SUCH A MANNER THAT THE MARKINGS ARE VISIBLE IN INDIVIDUAL PANELES AFTER INSTALLATION  
BRICK AND CONCRETE WORKS:  
1) ALL BRICKWORK AS DETAILED AND STRICTLY TO ENGINEERS SPECS. CONCRETE FLOORS, MEMBRANE & SEALANT, THEN TILED FULL HEIGHT FROM TILED FLOOR TO GYPSUM RHYNOBOARD CEILING PANELS WITH EPOXY SEALANT GROUTED BETWEEN ALL TILE JOINTS, SANWARES SPACINGS  
2) LINTELS TO BE PROVIDED OVER DOORS, WINDOWS, ARCHWAYS ETC.  
3) 100mm CONCRETE SURFACE BEDS, SKIMMED & REINFORCED WITH BRC MESH 193 ON 250 MICRONS POLYETHYLENE SHEET ON COMPACTED POISONED SOIL

HOT WATER SYSTEMS:  
1) 15mm INTERNAL DIAMETER COPPER PIPING FROM GEYSERS AND HEAT PUMPS INSULATED WITH ECO-FLEX SNAP ON INSULATING TUBING - R VALUE = 1.0  
2) ALL ELECTRIC GEYSERS, SOLAR GEYSERS AND HEAT PUMPS TO BE INSTALLED BY SPECIALIST STRICTLY AS PER MANUFACTURERS INSTRUCTIONS  
3) GEYSERS IN ROOF SPACE TO BE MOUNTED IN A DRIP TRAY (NOT OPTIONAL) WHICH IS FIXED ACROSS THE ROOF TRUSSES WITH A MINIMUM OF TWO SUPPORTS AND THE DRIP TRAY TO HAVE A 50mm PVC WASTE PIPE THAT DRAINS THE TRAY OF WATER OUT OF THE ROOF SPACE.  
4) EXTERNAL GEYSERS AND HEAT PUMPS TO BE MOUNTED ON THE EXTERNAL WALL WITH A MINIMUM OF TWO WALL BRACKETS.  
5) ALL ELECTRIC GEYSERS TO BE INSULATED WITH 100mm THICK 'BOTHERM' FLEXIBLE POLYESTER BLANKET - R VALUE = 2.29  
6) ELECTRIC GEYSERS AND HEAT PUMPS TO BE CONNECTED TO EARTH LEAKAGE  
7) ON COMPLETION OF INSTALLATION AND TESTS, SPECIALIST TO SUBMIT A COMPLIANCE CERTIFICATE.

SCHEDULE OF AREAS  
SITE AREA = 553 sqm  
ZONING = SPECIAL RESIDENTIAL 900  
OCCUPANCY BUILDING CLASSIFICATION = H4  
EXISTING DWELLING = 126.00 sqm  
PROPOSED COVERED TIMBER DECK = 18.46 sqm  
EXISTING OPEN SLATTED TIMBER DECK = 5.00 sqm  
EXISTING GARAGE = 18.00 sqm  
EXISTING MAID'S ROOM = 15.00 sqm  
PROPOSED FIRST STOREY ADDITION = 38.45 sqm  
PROPOSED COVERED TIMBER DECK = 18.46 sqm  
PROPOSED DECK SLATTED TIMBER STAIRS & STEPS = 5.35 sqm  
PROPOSED AWNING OVER DECK = 29.52 sqm  
PROPOSED CARPORT = 26.23 sqm  
EXISTING F.A.R. = 159.00sqm = 0.29  
PROPOSED F.A.R. = 83.14 sqm = 0.15  
TOTAL F.A.R. = 242.14 sqm = 0.44  
EXISTING COVER = 159.00 sqm = 29%  
PROPOSED COVER = 55.75 sqm = 10%  
TOTAL COVER = 214.75 sqm = 39%

OWNER'S SIGNATURE:  
Date : 24 APRIL 2013  
Scale : As Shown  
Drawn by : Herve Ferriere  
Profession : Pr. Arch Draughts  
SACAP No : D0723  
Signature :  
DWG NO : 326  
Sheet 2 of 2  
TEL: 081 389 6942

Project : PROPOSED ALTERATIONS & ADDITIONS TO EXISTING DWELLING  
Owners : B. AND T. DICKASON  
Address : 5 HAYLE AVENUE MUSGRAVE BERE  
Site : PORTION 14 OF ERF 2512 OF BERE  
Rate No : 02-06262020-0

DRAWING SERVICES  
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