

**GENERAL NOTES**

- All building work to comply with SABS 0400
- No dimensions to be scaled or scanned from drawing
- All dimensions to be checked on site
- Where applicable the contractor is to check on site size of components to be manufactured prior to manufacture
- Contractor is responsible for correct setting out of the buildings, all external and internal walls with particular reference to boundaries, building lines, etc.
- Contractor to verify all levels, heights and dimensions on site and to check the same against the drawings before putting any work in hand
- Contractor is to locate and identify existing services on the site and to protect these from damage throughout the duration of the works
- Any errors, discrepancies or omissions to be reported immediately
- Contractor is to build in approved 4 ply D.P.C. weather or not these are shown on drawings, to all walls at each floor, beam or parapet level and to all windows, doors, grilles or other openings in external walls
- Any queries arising from all the above must be reported and clarified before any works is put in hand
- This drawing is not to be scaled, signed dimensions to be used at all times.

**DRAINAGE NOTES**

- All plumbing and drainage work and installation of sanitary fittings to comply with the relevant Local Authority by-laws, regulations and requirements
- Provide I.E.'s to all benches and junctions with suitable markers at ground level and to be fully accessible at all times
- Minimum 1:50 fall to all drain pipes
- Provide approved reset traps to all waste fittings
- Provide A.E.'s to foot of all soil stacks
- All soil pipes passing under buildings or footings to be protected against loads

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REVISIONS:			
No.	Date	Description	Int.

**BRAND DNA**  
 33 Seventh Avenue  
 Melville 2092  
 Johannesburg South Africa  
 Tel+27(0)11 482 7557  
 Registration number: PAT 20585

**Client**  
 Mrs. Emily Schneider  
 28 8th Street, Jhb GAUTENG 2193

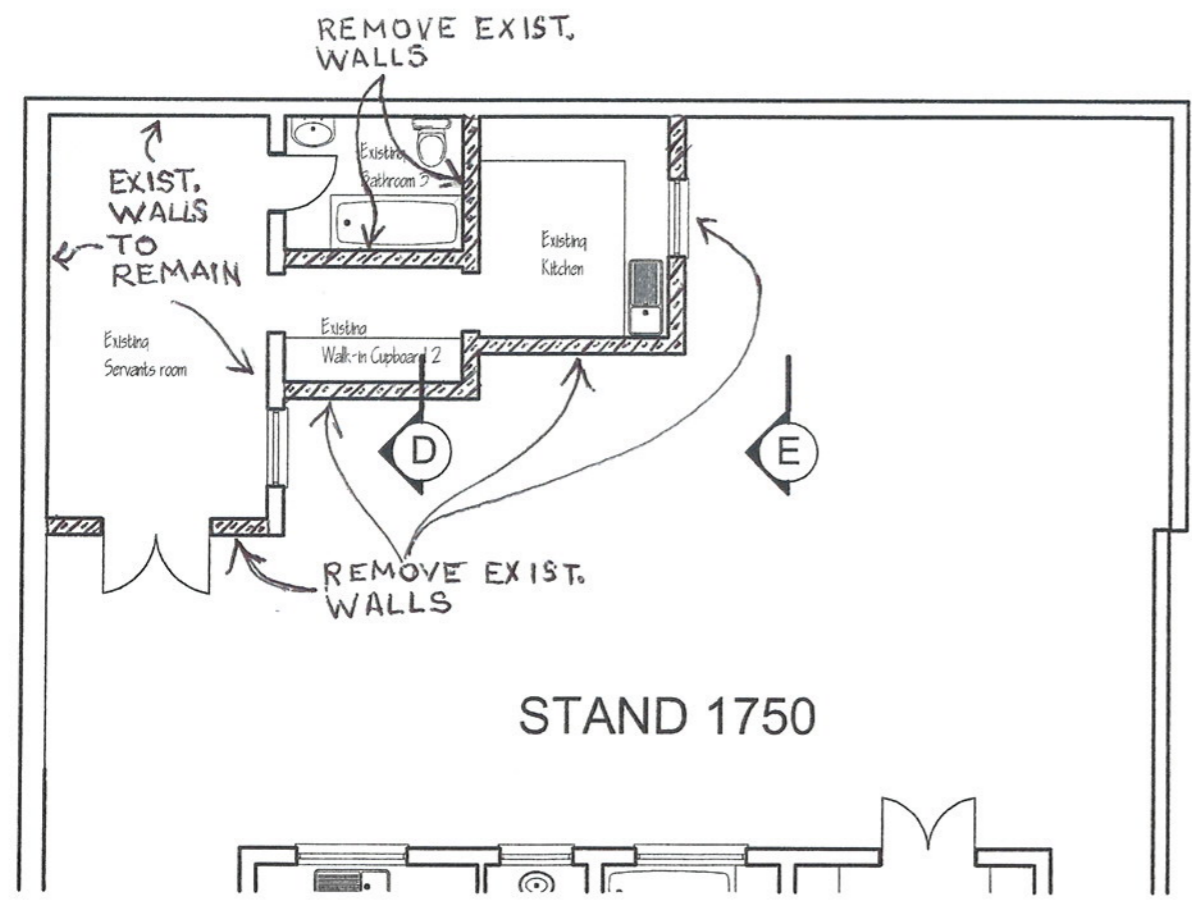
**Project Title**  
 Outbuilding Extension  
 Residence on Stand 1750, Parkurst

**Drawing Title**  
 NORTH & EAST ELEVATIONS  
 EAST SECTIONAL ELEVATIONS

Scale	Date	Client approval
1:100	MAY 2012	
Designed BRAND DNA	Drawn JGC	Checked 
Job No. ES1	Drawing No. P02	



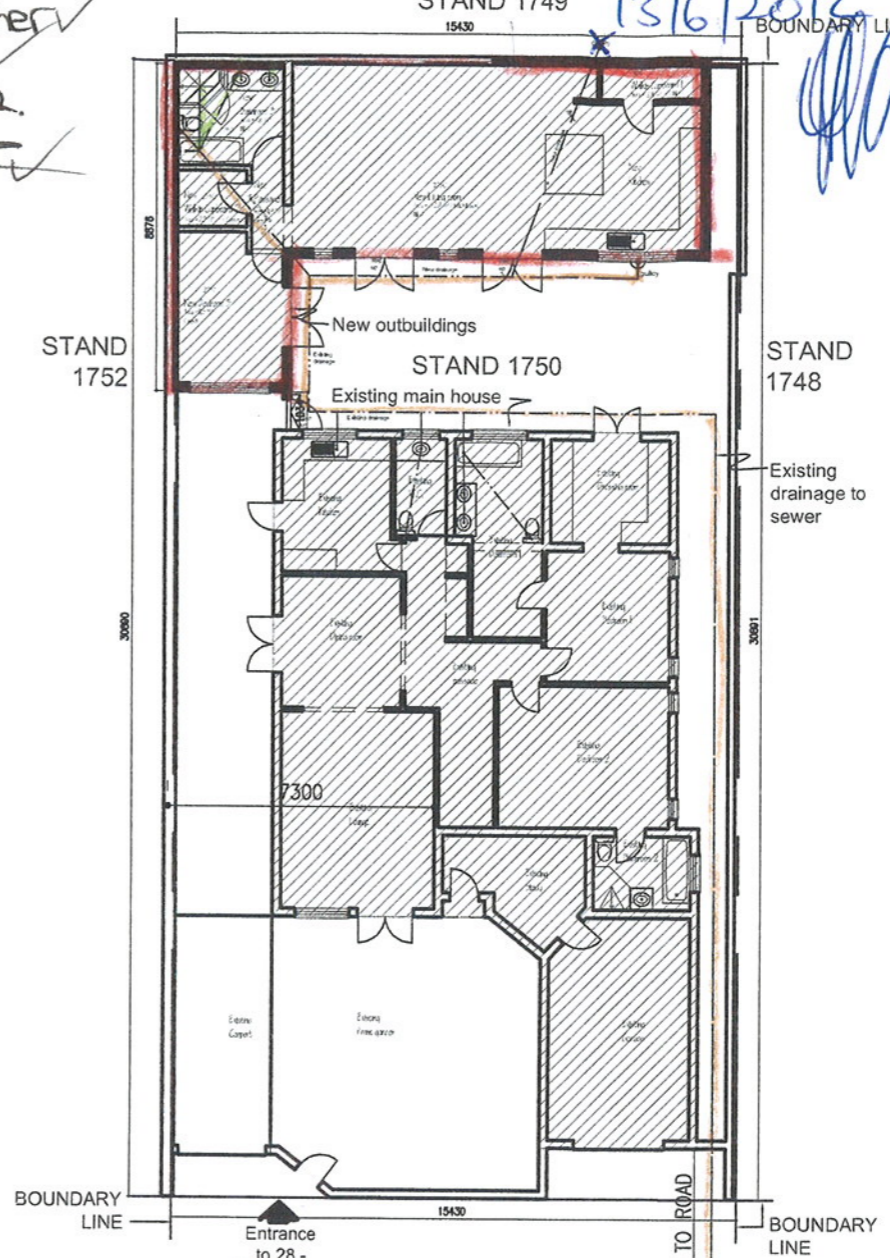
Proposed Ground Plan Layout 1:100



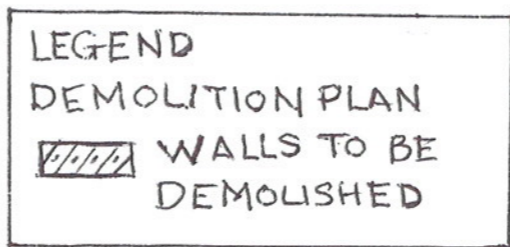
Existing Ground Plan Layout 1:100  
Refer to plans passed 07 September 2004 by the Johannesburg City Council

Michael Sher  
30 8th St  
26/06/2012

QUENTIN WRAY 31 7TH ST  
13/6/2012



BLOCK PLAN 1:500



LEGEND  
DEMOLITION PLAN  
WALLS TO BE DEMOLISHED

NORTIER & ASSOCIATES  
P.O. BOX 2363, NORTHCLIFF 2115  
TEL: (011) 792-5186  
FAX: (011) 792-5144  
12/6/2012

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- All building work to comply with SABS 0400
  - No dimensions to be scaled or scanned from drawing
  - All dimensions to be checked on site
  - Where applicable the contractor is to check on site size of components to be manufactured prior to manufacture
  - Contractor is responsible for correct setting out of the buildings, all external and internal walls with particular reference to boundaries, bulking lines, etc.
  - Contractor to verify all levels, heights and dimensions on site and to check the same against the drawings before putting any work in hand
  - Contractor is to locate and identify existing services on the site and to protect these from damage throughout the duration of the works
  - Any errors, discrepancies or omissions to be reported immediately
  - Contractor is to build in approved 4 ply D.P.C. weather or not these are shown on drawings, to all walls at each floor, beam or parapet level and to all windows, doors, gables or other openings in external walls
  - Any queries arising from all the above must be reported and clarified before any works is put in hand
  - This drawing is not to be scaled, figured dimensions to be used at all times.

- DRAINAGE NOTES
- All plumbing and drainage work and installation of sanitary fittings to comply with the relevant Local Authority by-laws, regulations and requirements.
  - Provide I.C.'s to all basins and junctions with suitable markers at ground level and to be fully accessible at all times.
  - Minimum 1:60 fall to all drain pipes.
  - Provide approved reset traps to all waste fittings
  - Provide A.E.'s to foot of all soil stacks.
  - All soil pipes passing under buildings or footings to be protected against loads.

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REVISIONS:

No.	Date	Description	Int.

MRS EMILY SCHNEIDER  
119 CEDAR ST. NORTHCLIFF  
16/06/2012

120614 A.R. WAINES

BRAND DNA

33 Seventh Avenue  
Melville 2092  
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Tel: +27(0)11 482 7557  
Registration number: PAT 20585

Client  
Mrs Emily Schneider  
28 8th Street, Jhb GAUTENG 2193  
Project Title  
Outbuilding Extension  
Residence on Stand 1750, Parkurst  
Drawing Title  
PLAN EXISTING & PROPOSED  
BLOCK PLAN

Scale 1:100, 1:500	Date MAY 2012	Client approval
Designed BRAND DNA	Drawn JGC	Checked
Job No. ES1	Drawing No. P01	