

MCKENZIE



MACRO AERIAL IMAGERY Scale 1:2000

ERF. RE/1452 - Block 2		
ERF/Stand:	RE/1452	
Zoning:	EXISTING: RES2	PROPOSED:
Street:	34 Bishop Rd.	
ERF Size:	641.0m <sup>2</sup>	
Building Lines:	Side - 7.5 & 3m Front - 7.5m Rear - 5m	Side - 3 & 0m Front - 3m Rear - 3m
Max Cover:	50%	80%
Actual Cover:	45.93%	
FAR:	0.45	0.8
Parking:	3	
Existing Building:	294.46m <sup>2</sup>	

ERF. 1/1452 - Block 2		
ERF/Stand:	1/1452	
Zoning:	EXISTING: RES2	PROPOSED:
Street:	28 Bishop Rd.	
ERF Size:	641.0m <sup>2</sup>	
Building Lines:	Side - 7.5 & 3m Front - 7.5m Rear - 5m	Side - 3 & 0m Front - 3m Rear - 3m
Max Cover:	50%	80%
Actual Cover:	45.41%	
FAR:	0.45	0.8
Parking:	0	
Existing Building:	291.1m <sup>2</sup>	

All information shown are based on existing /archived drawings & new information acquired from eThekweni Municipality Website: <http://gis.durban.gov.za/cm-viewer/?config=OpenSpacesViewer>

Abbreviations:  
RES2 - General Residential 2  
INS2 - Institutional 2  
POW - Place of Worship

(01-00) Site Plan with Existing buildings  
1: 100

BISHOP



Photo # 1 Photo # 2 Photo # 3 Photo # 4 Photo # 5 Photo # 6 Photo # 7 Photo # 8 Photo # 9 Photo # 10 Photo # 11 Photo # 12

**LEGAL REQUIREMENTS**  
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**REVISIONS**

No.	Description	Date	Issued by	Issued to
000	Municipal Plans	2021-10-12	BPAS	Client

Zoning classification: Design  
Occupation classification:

Developer/Development:

**CURRO**  
Heritage House

**STAGE 4.1: MUNICIPAL SUBMISSION**

THE DRAWING IS TO BE SHOWN BY BPAS FOR PRELIMINARY APPROVAL OF CONSTRUCTION. BPAS CAN NOT BE HELD RESPONSIBLE OR ACCOUNTABLE FOR ANY UNANTICIPATED DRAWING ERRORS. THE CONTRACTOR AND/OR EMPLOYER TO ENSURE THAT ALL DRAWINGS ARE EMPLOYED.

Client:

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Fax: +27 21 978-0449 | www.curro.co.za | info@curro.co.za

Client Represent: Curro  
Date: 2021-10-12  
Client signature:

Design Architecture:

**bpas**  
architects

PROFESSIONAL ARCHITECT  
EDWIN LANDESEER COLLEN

SACAP no.: PrArch 24693823  
BPAS signature:

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Project:

**Curro Heritage House - Erf 1452 - Bishop street - Durban**

Proposed Additions to Existing Buildings

Drawing:  
**SDP and Site Information**

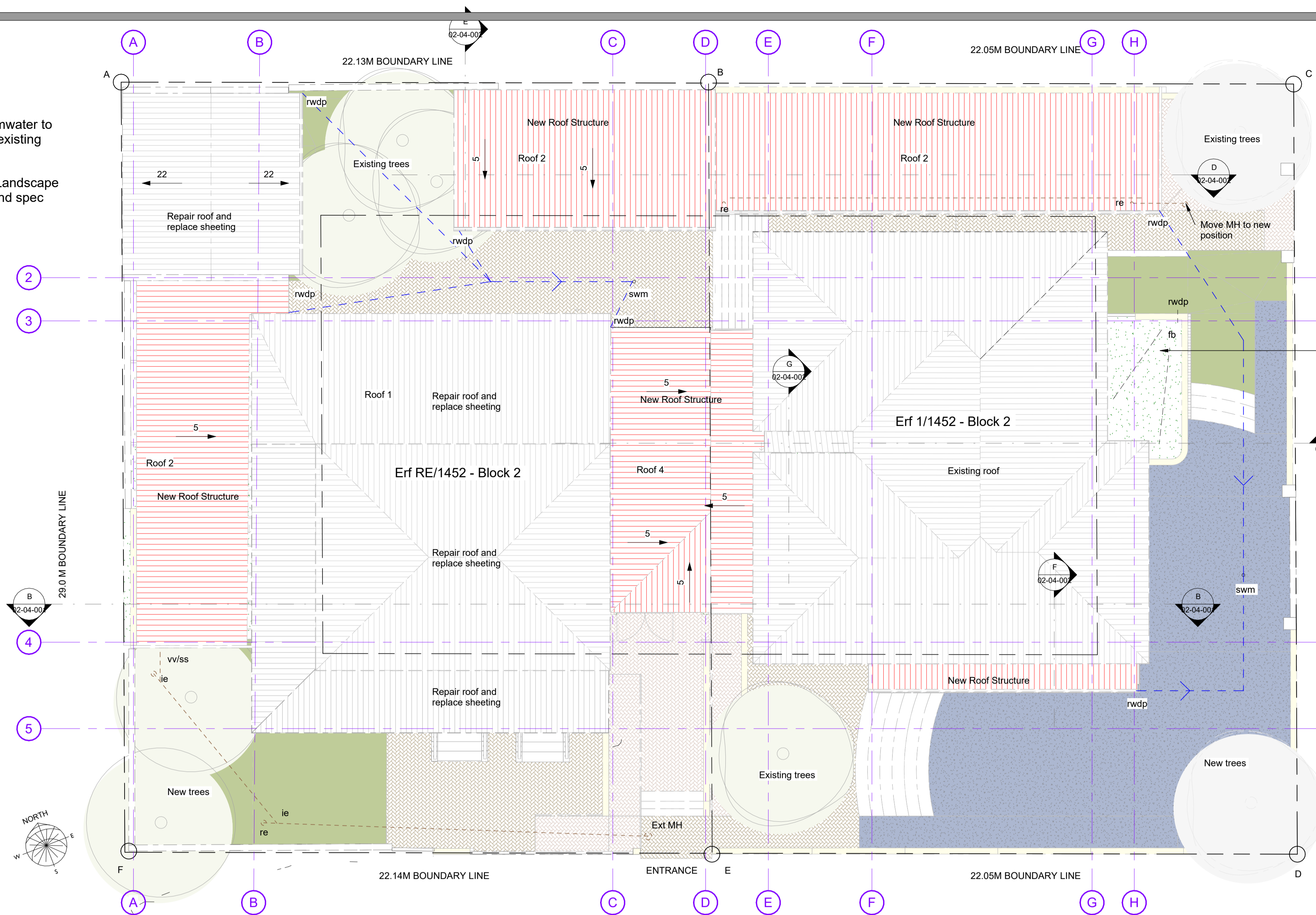
DATE	ISSUED	WPP/FT	APPROVED
2021-10-12	GT	GT	AO

SCALE: As indicated  
PROJECT: 5049  
DRAWING: 01-03-001  
REVISION: 000

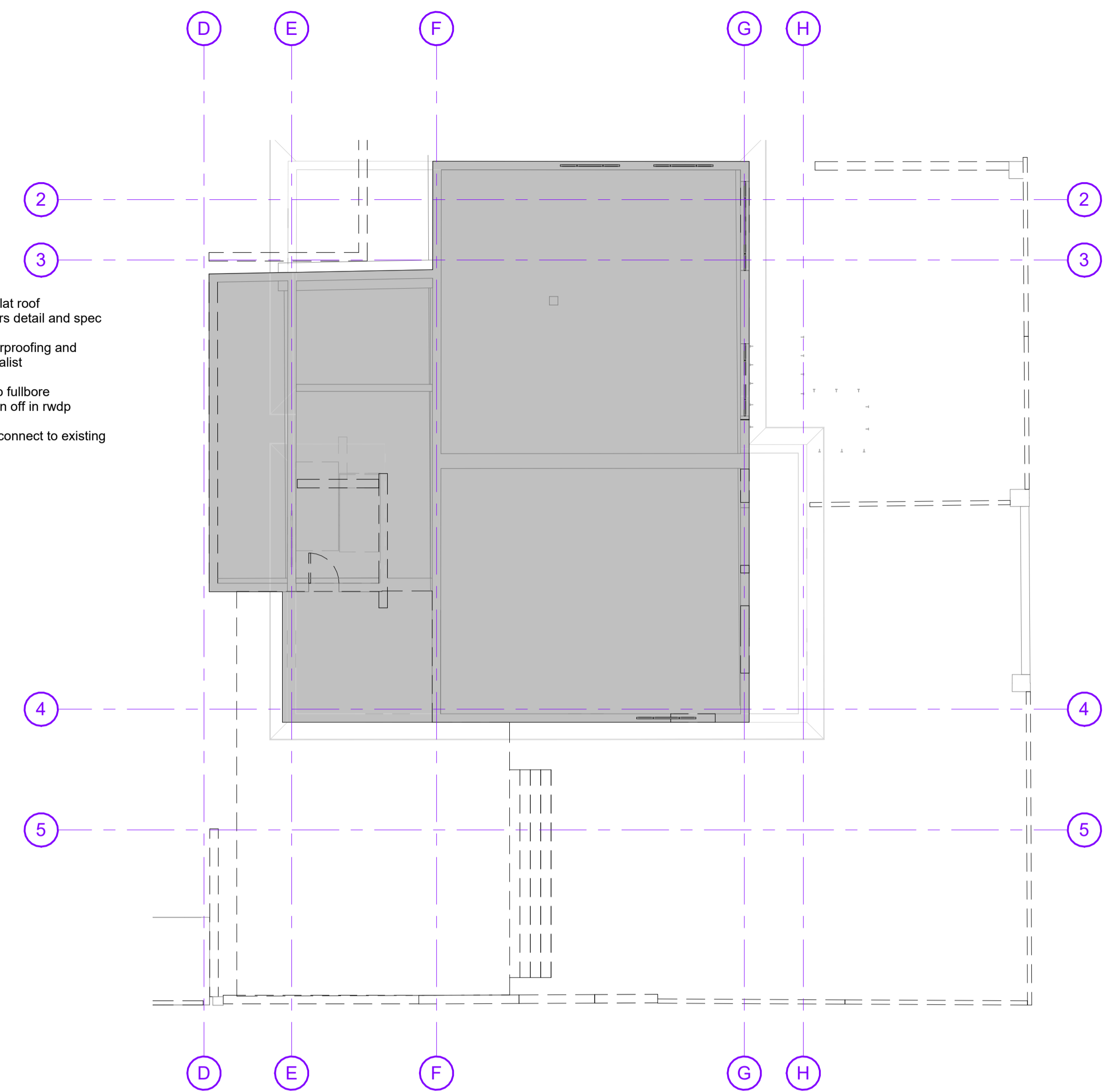
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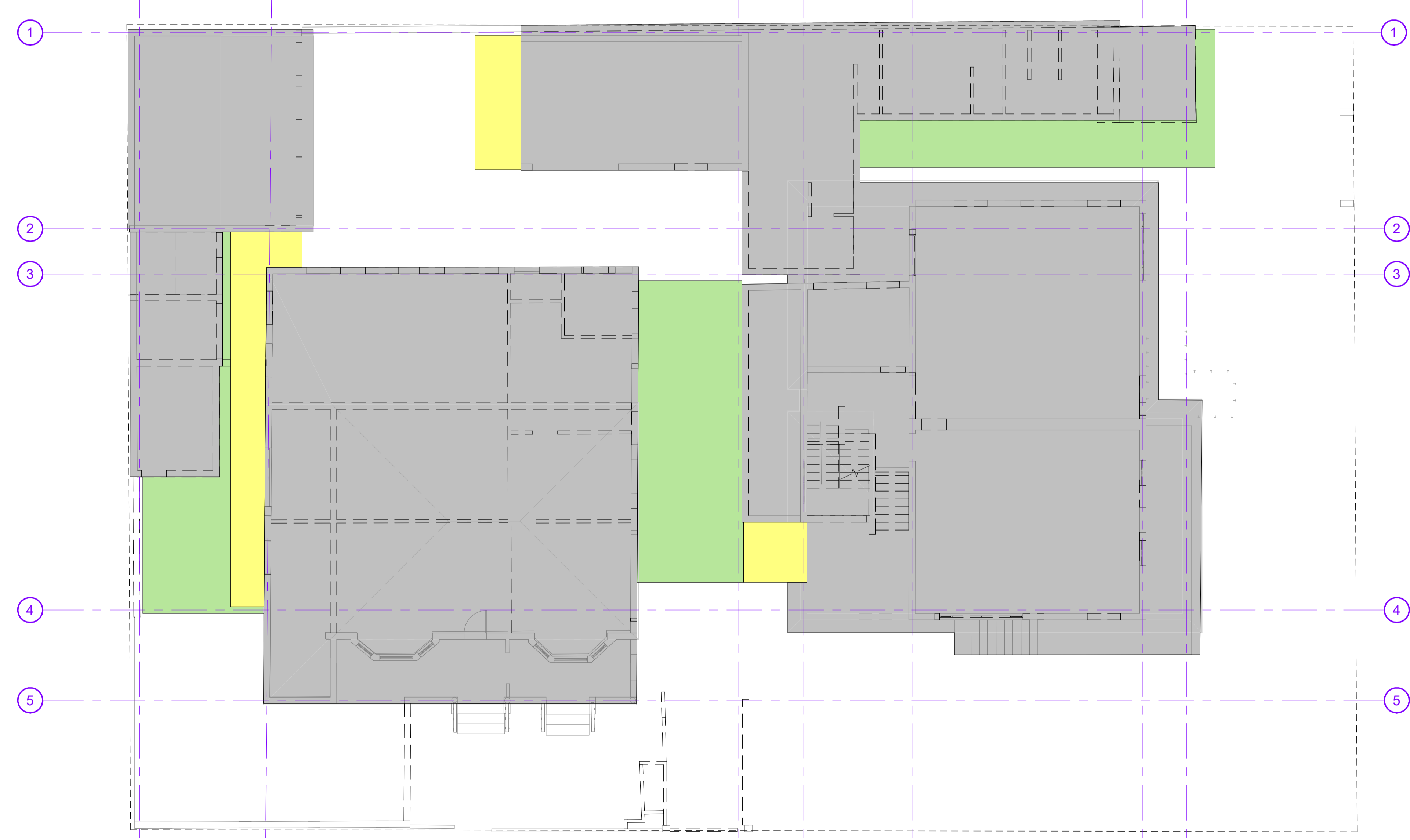
Note : New Stormwater to connect up with existing system  
Landscaping to Landscape architect detail and spec



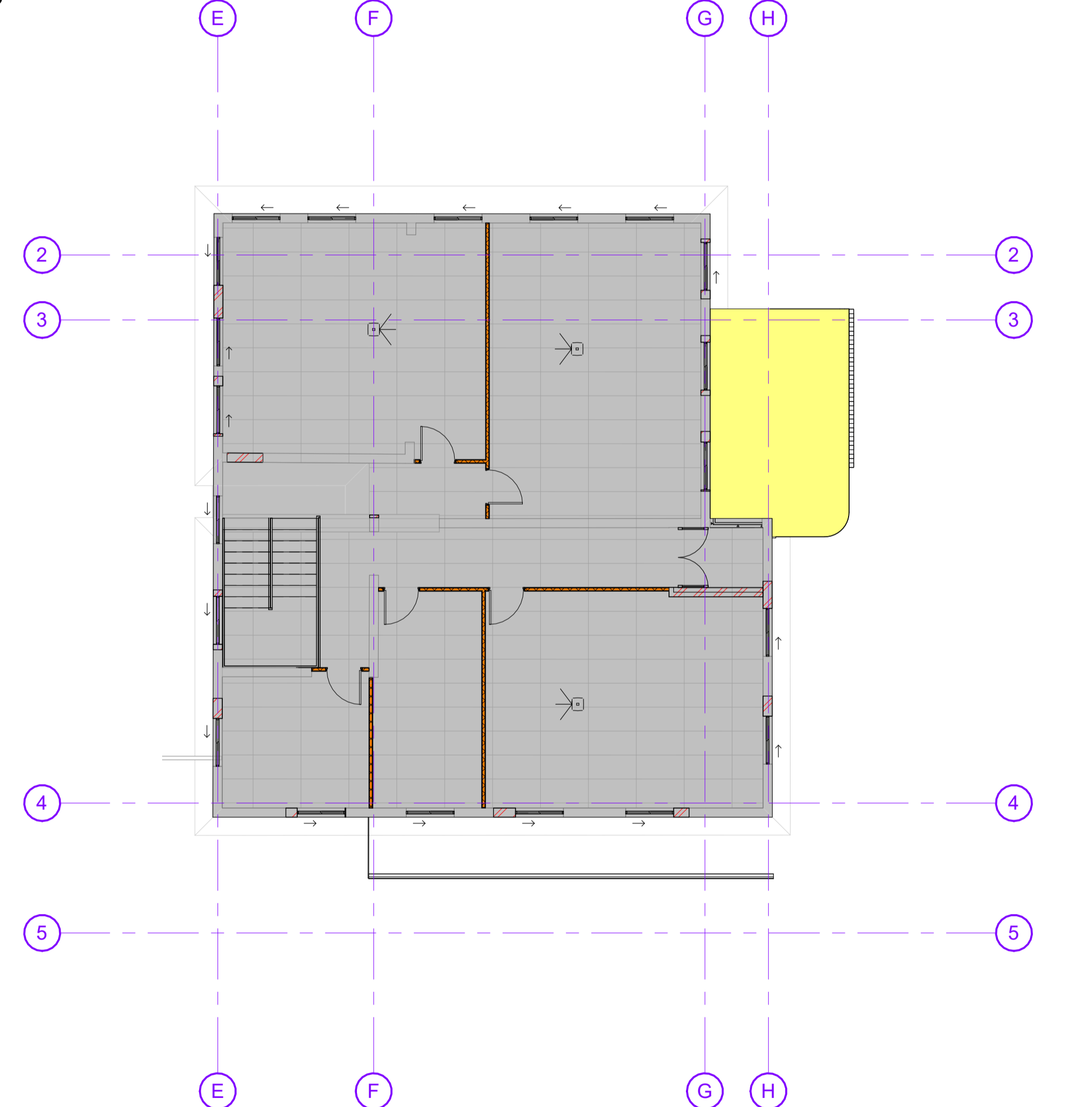
L3\_Site plan - Roof Plan  
1 : 100



(01-21) L0\_Ground Storey  
1 : 100



(01-21) L1\_First Storey  
1 : 100



L2\_Second Storey  
1 : 100

**Area Schedule of Previous and New**

- Existing Buildings - Utilized Space
- Proposed New Additions / Spaces
- Proposed New Covered walkways

Site Area	1282sqm
Existing Coverage	51%
Estimated coverage (New)	61%

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Zoning classification: Design  
Occupation classification:

Developer/Development:  
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Heritage House  
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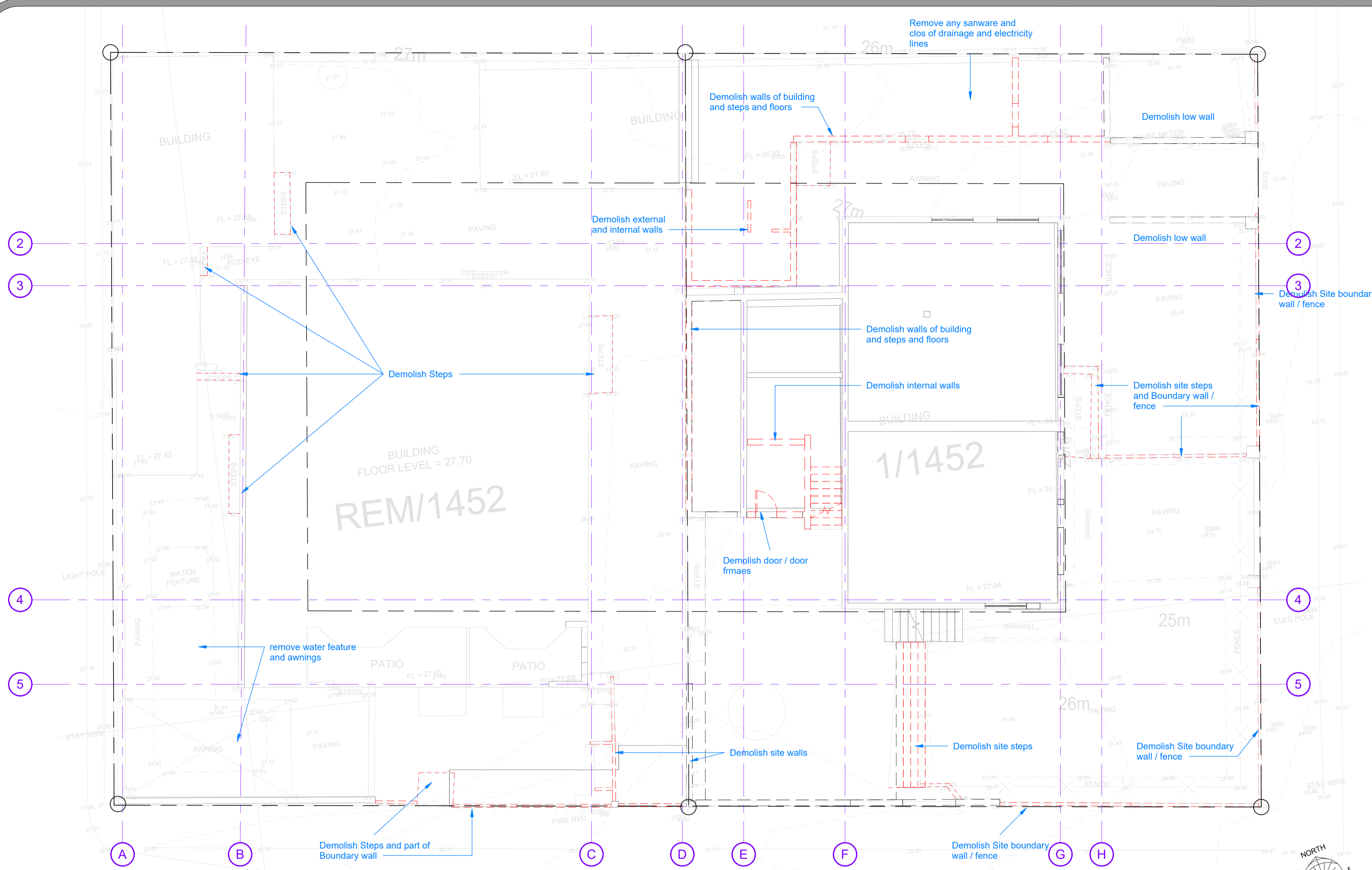
Client:  
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Fax: +27 21 978-4649 | www.curro.co.za | info@curro.co.za  
Client Represent: Curro  
Date: 2021-10-12  
Client signature:

Design Architecture:  
**bpas architects**  
PROFESSIONAL ARCHITECT  
EDWIN LANDSEER COLLEN  
SACAP no.: P/Arch 24693823  
BPAS signature:

Project:  
**Curro Heritage House - Erf 1452 - Bishop street - Durban**  
Proposed Additions to Existing Buildings  
Drawing:  
**Proposed Site Plan and Area Layout**  
DATE: 2021-10-12  
SCALE: As indicated  
PROJECT: 5049  
DATE: 2021-10-12  
DRAWN: WPF  
CHECKED: GT  
DATE: 01-03-2022  
DRAWING NO.: 000

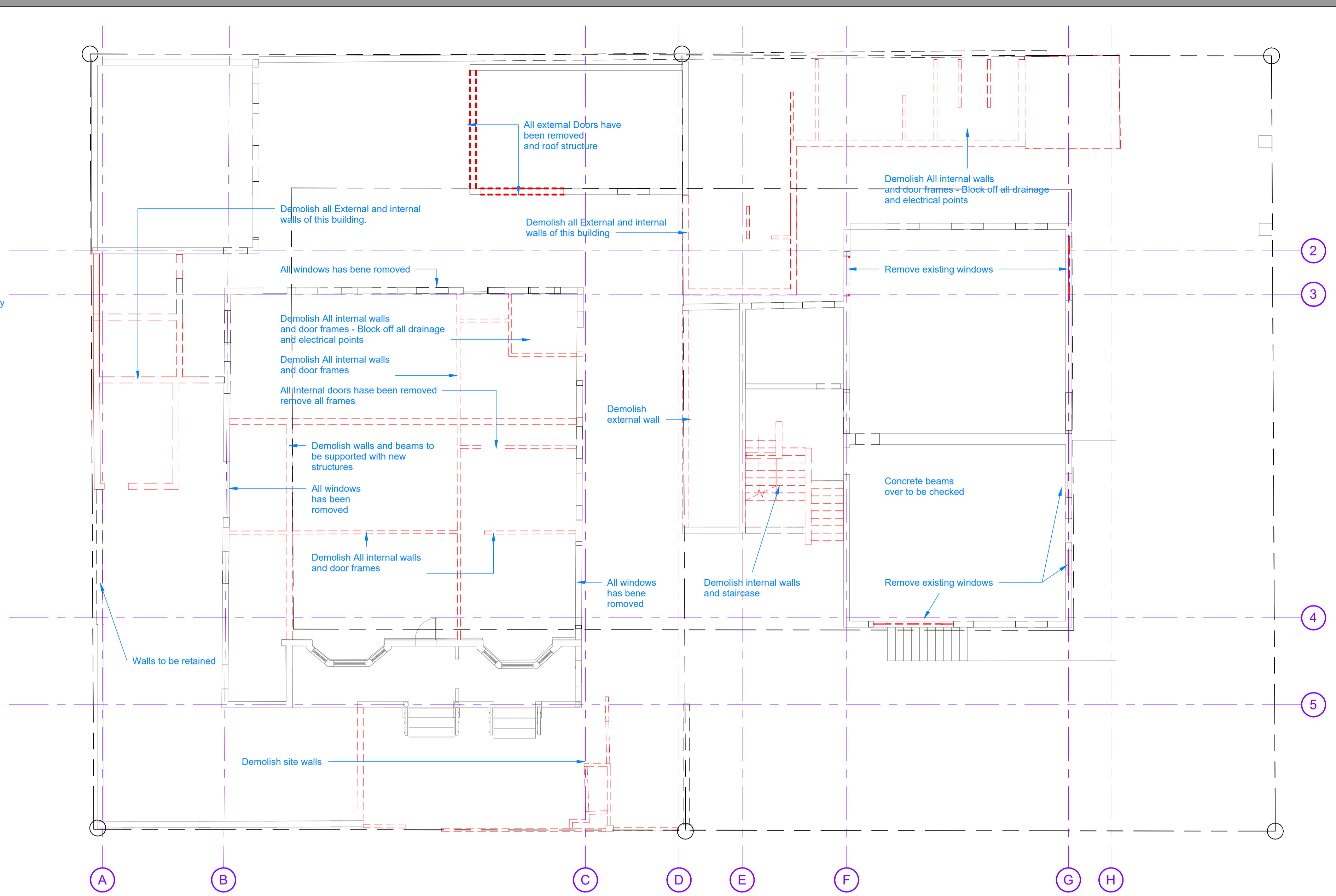
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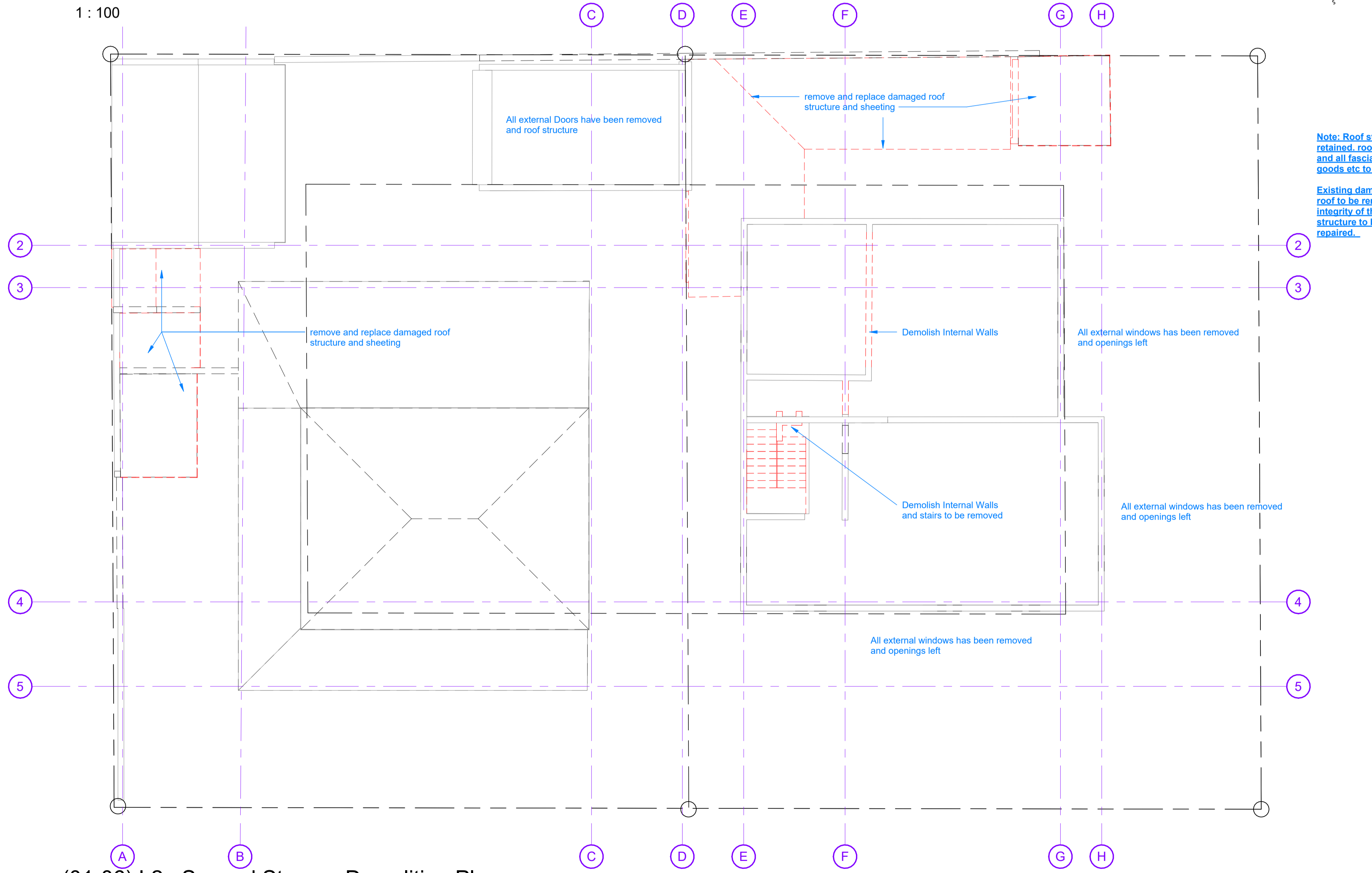
(01-06) L0\_Ground Storey - Demolition Plan

1 : 100



(01-06) L1\_First Storey - Demolition Plan

1 : 100



(01-06) L2\_Second Storey - Demolition Plans

1 : 100

Note: Roof structure to be retained, roof to be repaired and all fascias, rafters, goods etc to be re-installed. Existing damaged asbestos roof to be removed. The integrity of the existing roof structure to be assessed and repaired.

Note : All measurements to be taken on site before any work commence

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Project:

**Curro Heritage House - Erf 1452 - Bishop street - Durban**

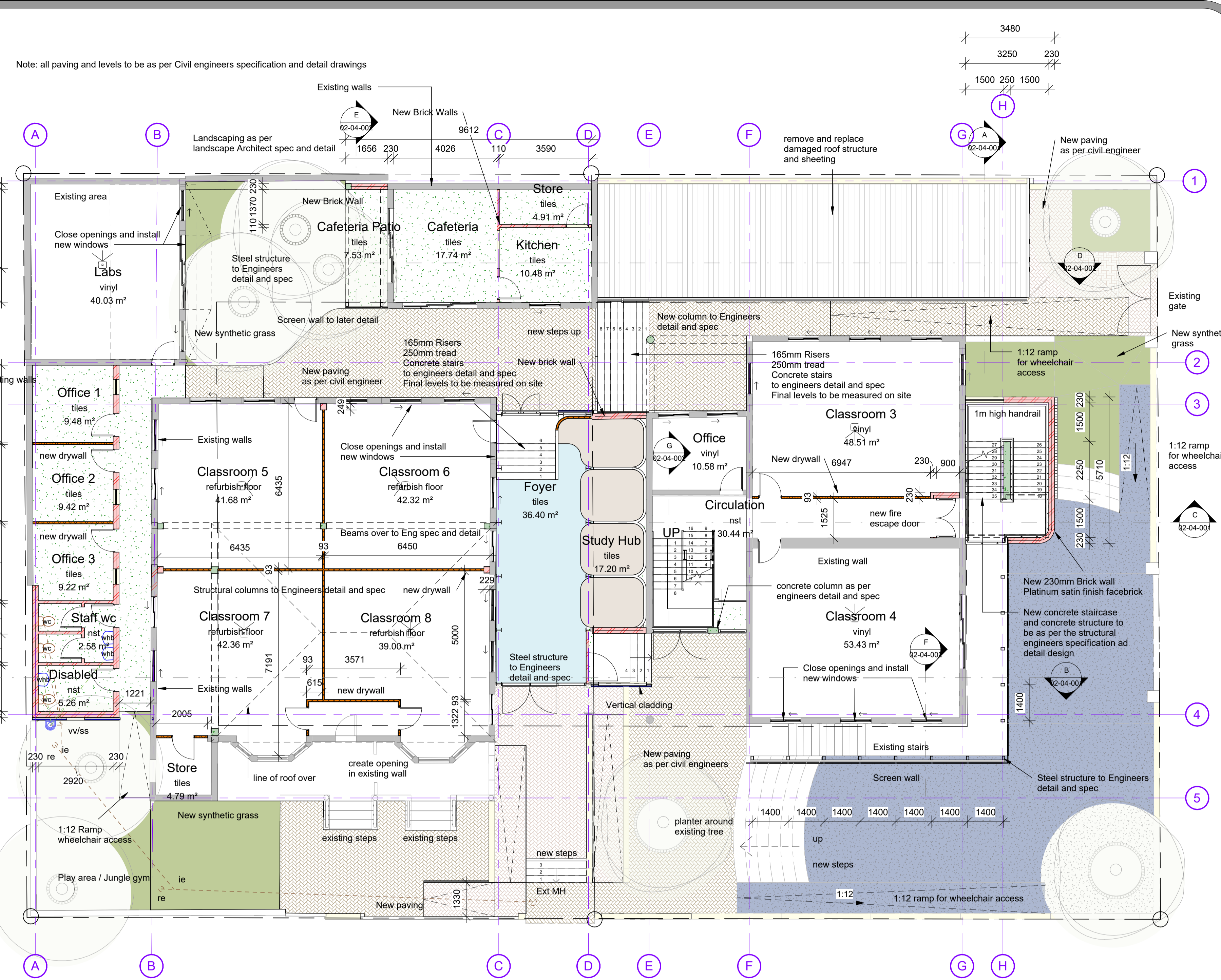
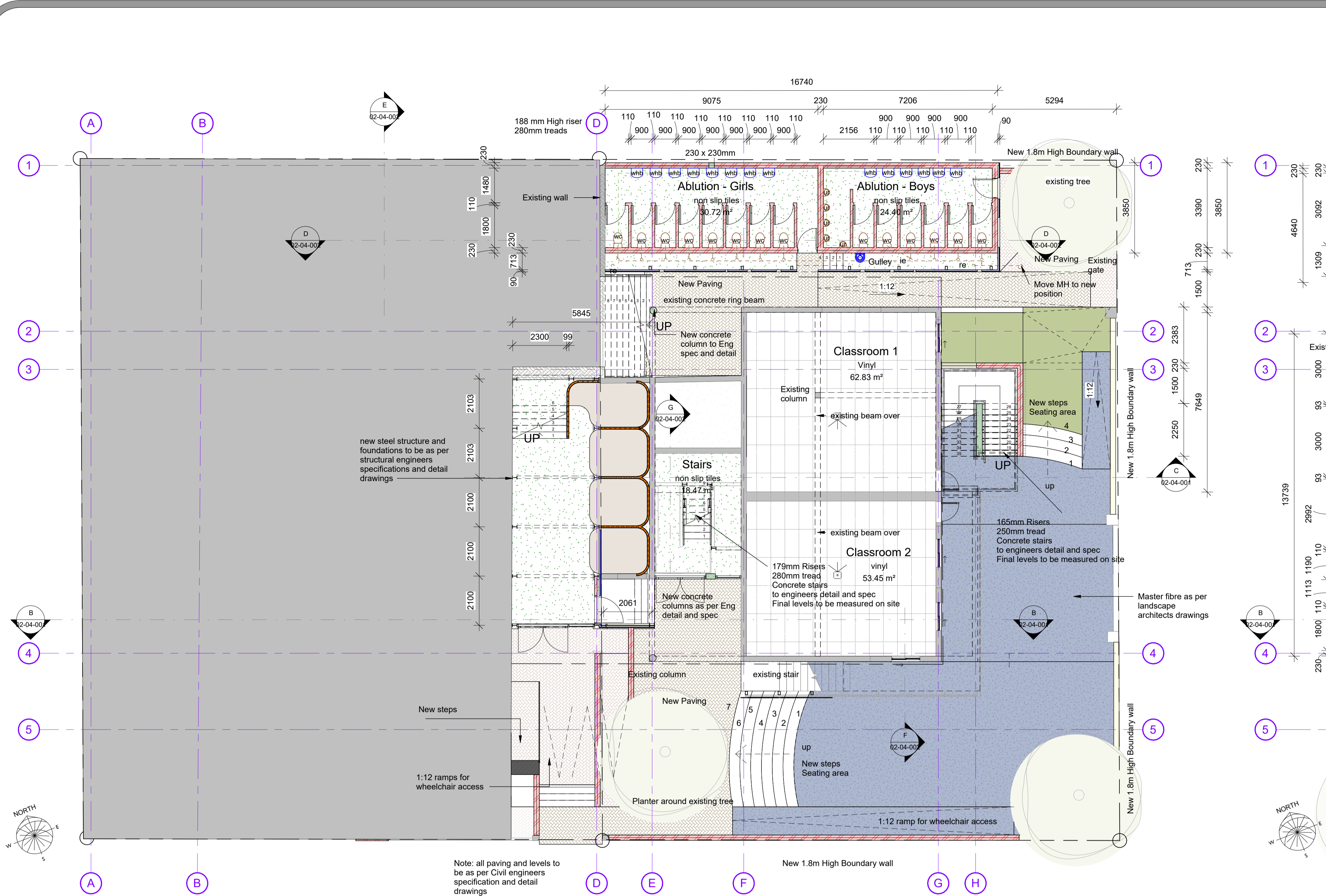
Proposed Additions to Existing Buildings

Drawing: **Demolition Plan**

DATE	2021-10-12	DRAWN	WPF	SCALE	1:100	CHECKED	GT	REVISION	AO
PROJECT	5049	DRAWING NO.	01-04-001	REVISION	000				

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(01-06) L0\_Ground Storey  
1 : 100

(01-06) L1\_First Storey  
1 : 100

Note : All measurements to be taken on site before any work commence

ROOM SCHEDULE		
Name	Area	Level
<b>L0_Ground Storey</b>		
Classroom 1	63 m <sup>2</sup>	L0_Ground Storey
Stairs	18 m <sup>2</sup>	L0_Ground Storey
Abution - Girls	31 m <sup>2</sup>	L0_Ground Storey
Abution - Boys	24 m <sup>2</sup>	L0_Ground Storey
Classroom 2	53 m <sup>2</sup>	L0_Ground Storey
Office	11 m <sup>2</sup>	L0_Ground Storey
<b>L1_First Storey</b>		
Cafeteria	18 m <sup>2</sup>	L1_First Storey
Classroom 6	42 m <sup>2</sup>	L1_First Storey
Classroom 5	42 m <sup>2</sup>	L1_First Storey
Classroom 7	42 m <sup>2</sup>	L1_First Storey
Classroom 8	39 m <sup>2</sup>	L1_First Storey
Classroom 3	49 m <sup>2</sup>	L1_First Storey
Classroom 4	53 m <sup>2</sup>	L1_First Storey
Office	11 m <sup>2</sup>	L1_First Storey
Store	5 m <sup>2</sup>	L1_First Storey
Kitchen	10 m <sup>2</sup>	L1_First Storey
Office 1	9 m <sup>2</sup>	L1_First Storey
Office 2	9 m <sup>2</sup>	L1_First Storey
Office 3	9 m <sup>2</sup>	L1_First Storey

ROOM SCHEDULE		
Name	Area	Level
Cafeteria Patio	8 m <sup>2</sup>	L1_First Storey
Disabled	3 m <sup>2</sup>	L1_First Storey
Foyer	36 m <sup>2</sup>	L1_First Storey
Study Hub	17 m <sup>2</sup>	L1_First Storey
Circulation	30 m <sup>2</sup>	L1_First Storey
Store	5 m <sup>2</sup>	L1_First Storey
Foyer	4 m <sup>2</sup>	L1_First Storey
Circulation	19 m <sup>2</sup>	L1_First Storey
Circulation	25 m <sup>2</sup>	L1_First Storey
Circulation	5 m <sup>2</sup>	L1_First Storey
Labs	40 m <sup>2</sup>	L1_First Storey
<b>(01-23) L2_Second Storey</b>		
Classroom 10	38 m <sup>2</sup>	(01-23) L2_Second Storey
Classroom 12	37 m <sup>2</sup>	(01-23) L2_Second Storey
Classroom 11	39 m <sup>2</sup>	(01-23) L2_Second Storey
Study Hub 2	15 m <sup>2</sup>	(01-23) L2_Second Storey
Office 4	12 m <sup>2</sup>	(01-23) L2_Second Storey
Circulation	34 m <sup>2</sup>	(01-23) L2_Second Storey
Grand total	913 m <sup>2</sup>	

**General Notes:**  
 • All Civil services to be confirmed and according to Civil Engineer.  
 • Secondary (in addition to primary municipal connection) water supply points to be installed, by the plumber, to toilet cisterns and urinals for future connection to grey water supply. All according to specialist's detail and architect's approval.  
 • All structural components according to Structural Engineer and SANS 10400-B, H, J, K and L.  
 • All changes in level and ramps according to SANS 10400-D.  
 • All foundations according to Structural Engineer and SANS 10400-H.  
 • All glazing according to SANS 10400-N.  
 • All opening and ventilation according to Mechanical Engineer and SANS 10400-O.  
 • All plumbing and drainage according to Plumber and SANS 10400-P.  
 • All stormwater disposal according to Civil Engineer and SANS 10400-R.  
 • All fire-safety components and installation according to Fire Specialist and Civil Engineer and SANS 10400-T and W.  
 • All energy compliance according to Fenestration Specialist and SANS 10400-X.  
 • All concrete flat Roofing to be a min. fall of 1:80 to FBO inlets. Amount and sizes according to Civil Engineer.

**CONSTRUCTION NOTES:**  
**DRAINAGE**  
 Closed system to conform to National Building Regulations. First inspection eye (I.E.) to be min. 400mm below ground level with a min. fall of all 110mmØ pipes 1:60 and a max. fall of 1:40. (SANS 10400-P)  
 Rooding eyes (R.E.) to join drain in direction of flow at maximum angle of 45° and to be continued up to ground level & adequately supported, marked & protected.  
**GENERAL**  
 HOT WATER SUPPLY REQUIREMENTS: GEYSERS ARE TO BE WRAPPED IN INSULATION BLANKET WITH AN R-VALUE TO SATISFY PART XA OF SANS 10400.  
 A MINIMUM OF 50% OF THE ANNUAL AVERAGE HEATING REQUIREMENT FOR HOT WATER MUST BE PROVIDED BY MEANS OTHER THAN ELECTRIC RESISTIVE HEATING OR FOSSIL FUELS.  
 CHECK WITH MANUFACTURER, SUBJECT TO: SANS 1307, SANS 10106, SANS 6211-1, SANS 6211-2, SANS 10254, SANS 10252-1.  
 WHERE APPLICABLE, SOLAR & HEAT PUMP INSTALLATIONS ARE TO BE BY SPECIALISTS.  
 ALL EXPOSED HOT WATER PIPES 480mm Ø MUST BE INSULATED WITH A MATERIAL THAT HAS A MINIMUM R-VALUE OF 1.0.  
**GEYSER DRIP TRAY**  
 Drip tray to comply with SANS 1184s drip tray specification. Drip tray(s) to be supplied with adaptor for connecting the waste pipe to the tray.  
**SITE WORKS & PLATFORM**  
 Platform level to be confirmed on site. Refer to Civil Engineers drawings for detail.  
 The datum to be set per platform level and to be adjusted accordingly.  
 Platform to be 0,00' and FFL to be minimum 170mm above platform / datum level, if not indicated otherwise.  
 Contractor to ensure that the platform is level and clean of all builders rubble, vegetation and/or piping.

**CONSTRUCTION NOTES:**  
**DRAWING STATUS**  
 The Contractor to ensure that the latest drawings are used on site prior to the commencement of work.  
 Only the latest construction drawings issued by the Architect / Designer as "Construction Drawings" with a date may be used for construction of the works. All superseded drawings must be removed from the site.  
 One set of the Local Authority Approved Plan / Drawings to be kept on site at all times.  
 One set of the latest construction drawings to be kept on site at all times, and available for the Architect / Designer / Consultants and other Authorities.  
**BRICK TIES & REINFORCEMENT**  
 Approved SABS butterfly tie wires to be used in cavity wall. Where the cavity is greater than 50mm, but less than 100mm, or the height of the wall is greater than 3m, approved SABS galvanneal dip wall tie, to minimum specifications, to be used.  
 Brickforce on parapets and gables and / or balustrade walls to be used at least every third brick course.  
**GLAZING**  
 All glazing to comply to SANS 10400-N.  
 Glass panels lower than 500 mm from the FFL or greater than 1m<sup>2</sup> to be minimum 6.38mm thick safety glass.  
 All safety glazing materials (individual panels) shall be permanently marked. Such marking to be visible after installation and comply with SABS 1263.  
 Thickness of glazing subject to wind load expectation - to be in accordance with SABS 0137.  
 All glazed aluminium windows, residential sliding doors, shopfronts, entrances screens, window and curtain walling, skylights and space enclosures should meet the minimum recommended performance requirements as set out by AAMA in their general specification for Architectural Aluminium and Glass Products. No glazed architectural aluminium products should be installed on site before relevant AAMA Performance test certificates for the product have been provided. Frosted / obscure glass to windows in bathrooms & toilets.

**NATURAL VENTILATION & LIGHTING**  
 Provide minimum of 10% of floor area or 2m<sup>2</sup> area of opening for natural lighting to all habitable rooms inclusive of frames & glazing bars.  
 Provide minimum of 5% of floor area or 2m<sup>2</sup> (whichever is greatest) to each habitable room. (SANS 10400-O)  
 Buildings with up to 15% fenestration area to net floor area, per storey, to comply with the minimum energy performance requirements.  
 Buildings exceeding 15% per storey shall comply with requirements for fenestration as per SANS 204. Air leakage should comply with SANS 613.  
**FILLING MATERIAL**  
 Filling material(s) under floor slabs to consist of suitable material and to be compacted in 150mm layers, to a density of at least 90% Mod AASHTO (SANS 10400-J2010 4.4.5-7).  
**FOUNDATIONS - TO ENGINEERS DETAILS**  
 Foundations to be in accordance with appointed Engineer's details & specifications.  
**SURFACE BED - TO ENGINEERS DETAILS**  
 Surface beds to be in accordance with appointed Engineer's details & specifications.  
 Where Engineer is not appointed: Selected floor finish material on 30mm cement sand screed on 80mm thick concrete surface bed in accordance with SANS 5019-1-2002 Cement Part 1: Composition, specification and conformity criteria for common cements. Stone and sand to conform to SANS 1083:2006.  
 MESH Ref no 193, to all surface beds where depth of fill exceeds 100mm. DPC 250µm (or equally approved) damp proof membrane under concrete surface beds conforming to SANS 952-1:2011, laid with minimum 250mm overlaps, to be turned up around perimeter of and at least for full thickness of surfaced and sealed with pressure sensitive tape or equally approved sealant.  
 Clean compacted sand backfill - G7 quality 400 mm minimum thick.  
 Clean compacted sand backfill - G7 quality back to natural soil strata.  
 DPC 337µm (or equally approved) damp proof course in solid walls conforming to SANS 952-1:2011 laid with minimum 250mm overlaps.

**WALLS**  
 All bricks to comply with SABS 227. All external walls to be 230mm walls, external facebrick skin and internal clay brick skin.  
 All internal walls to be 230 & 115mm clay bricks, unless otherwise stated on plan in cases of duct walls. Walls to comply with SANS 10400-K.  
**PLASTER & FACBRICK**  
 Cement plaster, consisting of 5:1 sand & lime and 10% cement. Smooth wood trowelled finish internally. Smooth plastered finish externally where indicated. Stipple textured plaster to walls where applicable.  
**WINDOWS & DOORS**  
 All windows to be aluminium framed. See schedule.  
 All frames to be fixed to walls with galvanneal hoop iron built into wall at 600mm c/c in 3:1 cement mix.  
 External doors to be hardwood timber doors where applicable as supplied by SWARTLAND or equally approved.  
 Internal doors to be timber as selected by client.  
**Refer to Door and window schedule for final sizes, material and finish.**  
**WINDOW CILLS**  
 INTERNAL - Plastered and painted  
 EXTERNAL - Window cills are facebrick brick on edge with DPC under.  
**LINTELS**  
 Brick on edge lintels over all openings exceeding 1.5m with DPC (275 micron) stepped over.  
 Openings exceeding 4.8m in width to Engineer's design.

LEGEND	
New Masonry wall	[Pattern]
New Concrete	[Pattern]
New Timber	[Pattern]
New steel	[Pattern]
New Drywall	[Pattern]
DPM	[Pattern]
DPC	[Pattern]
Earth/soil	[Pattern]
New Elements on Elevation	[Pattern]
Existing Buildings / walls	[Pattern]

DRAINAGE LEGEND	
1100 uPVC SP	[Symbol]
500 uPVC WP	[Symbol]
1100 uPVC SS	[Symbol]
uPVC Drainage to have minimum invert level of 450mm and maximum fall of 1:40. RE's at ends and at maximum 25m spaces. IE's at junctions. SS ZWY's to be in ducts with access at joints only.	
Stormwater Line	[Symbol]

**General Notes:**  
 • All Civil services to be confirmed and according to Civil Engineer.  
 • Secondary (in addition to primary municipal connection) water supply points to be installed, by the plumber, to toilet cisterns and urinals for future connection to grey water supply. All according to specialist's detail and architect's approval.  
 • All structural components according to Structural Engineer and SANS 10400-B, H, J, K and L.  
 • All changes in level and ramps according to SANS 10400-D.  
 • All foundations according to Structural Engineer and SANS 10400-H.  
 • All glazing according to SANS 10400-N.  
 • All opening and ventilation according to Mechanical Engineer and SANS 10400-O.  
 • All plumbing and drainage according to Plumber and SANS 10400-P.  
 • All stormwater disposal according to Civil Engineer and SANS 10400-R.  
 • All fire-safety components and installation according to Fire Specialist and Civil Engineer and SANS 10400-T and W.  
 • All energy compliance according to Fenestration Specialist and SANS 10400-X.  
 • All concrete flat Roofing to be a min. fall of 1:80 to FBO inlets. Amount and sizes according to Civil Engineer.

**CONTRACTOR'S OBLIGATIONS:**  
 The Contractor to ensure that the correct setting out, including that which is from the boundary and building lines is done prior to commencement of ANY work.  
 The Contractor to verify all Local Council, Utility service providers and existing work(s) which is the responsibility of the Contractor.

**PRELIMINARY:**  
 All work will be constructed in compliance with the National Building Regulations, SANS 10400 and the Energy Efficiency Act, SANS 204, and all Local Authority By-Laws.  
**RAINWATER GOODS - GENERAL**  
 Refer to floor & roof plans Sections and roof plan drawings as per engineer's details and specifications, to connect to civil engineers storm water system.

**CONSTRUCTION NOTES:**  
**DRAINAGE**  
 Closed system to conform to National Building Regulations. First inspection eye (I.E.) to be min. 400mm below ground level with a min. fall of all 110mmØ pipes 1:60 and a max. fall of 1:40. (SANS 10400-P)  
 Rooding eyes (R.E.) to join drain in direction of flow at maximum angle of 45° and to be continued up to ground level & adequately supported, marked & protected.  
**GENERAL**  
 HOT WATER SUPPLY REQUIREMENTS: GEYSERS ARE TO BE WRAPPED IN INSULATION BLANKET WITH AN R-VALUE TO SATISFY PART XA OF SANS 10400.  
 A MINIMUM OF 50% OF THE ANNUAL AVERAGE HEATING REQUIREMENT FOR HOT WATER MUST BE PROVIDED BY MEANS OTHER THAN ELECTRIC RESISTIVE HEATING OR FOSSIL FUELS.  
 CHECK WITH MANUFACTURER, SUBJECT TO: SANS 1307, SANS 10106, SANS 6211-1, SANS 6211-2, SANS 10254, SANS 10252-1.  
 WHERE APPLICABLE, SOLAR & HEAT PUMP INSTALLATIONS ARE TO BE BY SPECIALISTS.  
 ALL EXPOSED HOT WATER PIPES 480mm Ø MUST BE INSULATED WITH A MATERIAL THAT HAS A MINIMUM R-VALUE OF 1.0.  
**GEYSER DRIP TRAY**  
 Drip tray to comply with SANS 1184s drip tray specification. Drip tray(s) to be supplied with adaptor for connecting the waste pipe to the tray.  
**SITE WORKS & PLATFORM**  
 Platform level to be confirmed on site. Refer to Civil Engineers drawings for detail.  
 The datum to be set per platform level and to be adjusted accordingly.  
 Platform to be 0,00' and FFL to be minimum 170mm above platform / datum level, if not indicated otherwise.  
 Contractor to ensure that the platform is level and clean of all builders rubble, vegetation and/or piping.

**LEGAL REQUIREMENTS**  
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**REVISIONS**

No.	Description	Date	Issued by	Issued to
000	Municipal Plans	2021-10-12	BPAS	Client

**REVISIONS**

No.	Description	Date	Issued by	Issued to
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No.	Description	Date	Issued by	Issued to
000	Municipal Plans	2021-10-12	BPAS	Client

Developer/Development:

**CURRO**  
Heritage House

STAGE 4.1: MUNICIPAL SUBMISSION

The drawing to be drawn by BPAS for PRELIMINARY APPROVAL OF CONSTRUCTION. BPAS CAN BE HELD RESPONSIBLE IN ACCORDANCE WITH AN APPROVED DRAWING CONTRACT. THE CONTRACTOR AND/OR DEVELOPER TO ENSURE THAT ALL DRAWINGS ARE COMPLETED.

Client:

**CURRO**

P.O. Box 2487 | Durbanville | 7551 | Tel: 07 21 978-1045  
 Fax: +27 21 978-6469 | www.curro.co.za | info@curro.co.za

Client Represent: Curro  
 Date: 2021-10-12  
 Client signature: [Signature]

Design Architecture:

**bpas**  
architects

PROFESSIONAL ARCHITECT  
 EDWIN LANSDEER COLLEN  
 1438 PMS (2018/2019/2020) on 28 Aug 2020

SACAP no.: P/Arch 24693823  
 BPAS signature: [Signature]

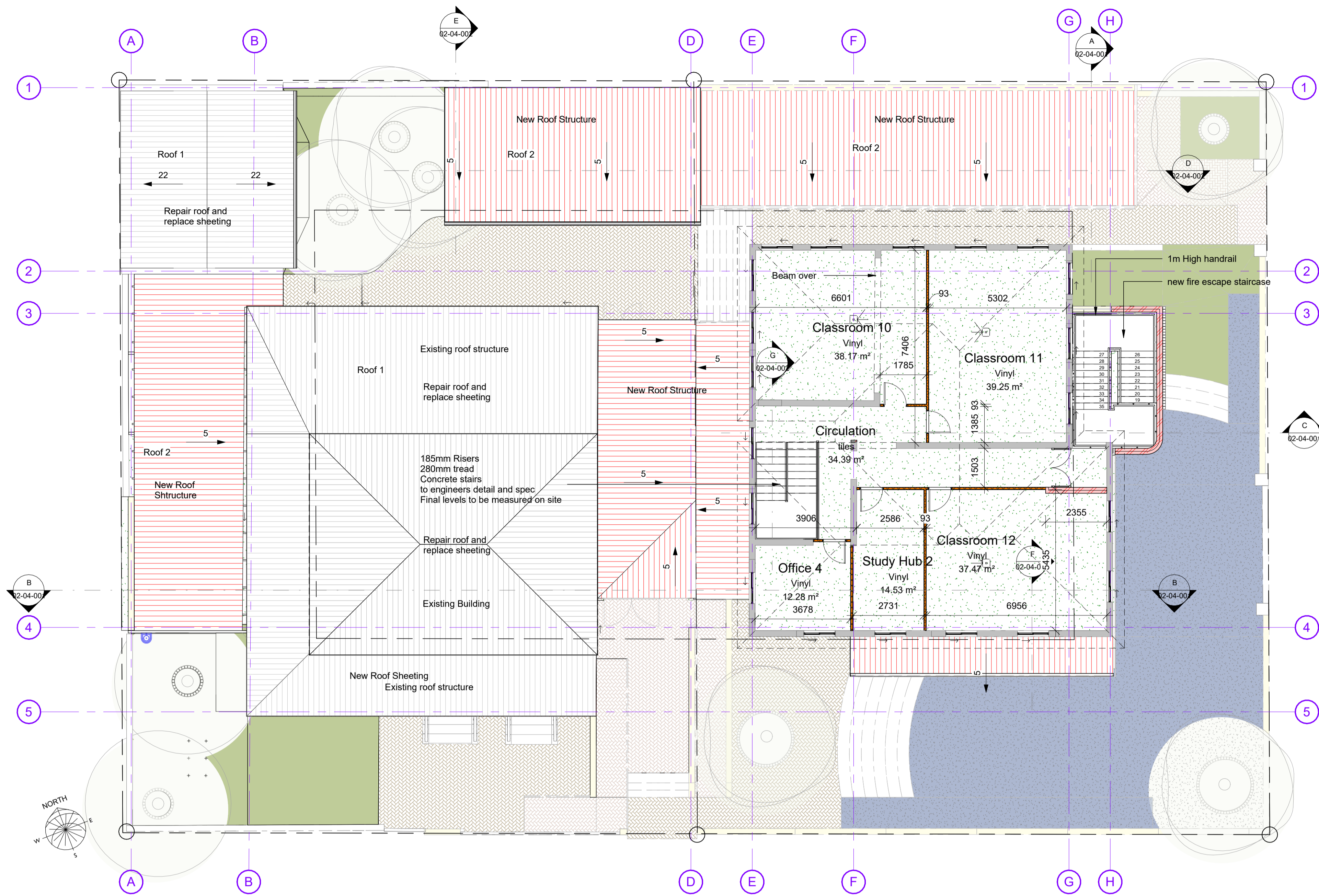
Project: **Curro Heritage House - Erf 1452 - Bishop street - Durban**

Proposed Additions to Existing Buildings

Drawing: **Ground Storey and First Storey**

DATE	ISSUED BY	WPG/FT	REVISIONS
2021-10-12	As indicated	GT	A0
5049	01-04-002		000





L2\_ Second Storey  
1 : 100

Note : All measurements to be taken on site before any work commence

ROOM SCHEDULE		
Name	Area	Level

ROOM SCHEDULE		
Name	Area	Level
<b>L0_ Ground Storey</b>		
Classroom 1	63 m <sup>2</sup>	L0_ Ground Storey
Stairs	18 m <sup>2</sup>	L0_ Ground Storey
Ablution - Girls	31 m <sup>2</sup>	L0_ Ground Storey
Ablution - Boys	24 m <sup>2</sup>	L0_ Ground Storey
Classroom 2	53 m <sup>2</sup>	L0_ Ground Storey
Office	11 m <sup>2</sup>	L0_ Ground Storey
<b>L1_ First Storey</b>		
Cafeteria	18 m <sup>2</sup>	L1_ First Storey
Classroom 6	42 m <sup>2</sup>	L1_ First Storey
Classroom 5	42 m <sup>2</sup>	L1_ First Storey
Classroom 7	42 m <sup>2</sup>	L1_ First Storey
Classroom 8	39 m <sup>2</sup>	L1_ First Storey
Classroom 3	49 m <sup>2</sup>	L1_ First Storey
Classroom 4	53 m <sup>2</sup>	L1_ First Storey
Office	11 m <sup>2</sup>	L1_ First Storey
Store	5 m <sup>2</sup>	L1_ First Storey
Kitchen	10 m <sup>2</sup>	L1_ First Storey
Office 1	9 m <sup>2</sup>	L1_ First Storey
Office 2	9 m <sup>2</sup>	L1_ First Storey
Office 3	9 m <sup>2</sup>	L1_ First Storey

ROOM SCHEDULE		
Name	Area	Level

Cafeteria Patio	8 m <sup>2</sup>	L1_ First Storey
Staff wc	3 m <sup>2</sup>	L1_ First Storey
Disabled	5 m <sup>2</sup>	L1_ First Storey
Foyer	36 m <sup>2</sup>	L1_ First Storey
Study Hub	17 m <sup>2</sup>	L1_ First Storey
Circulation	30 m <sup>2</sup>	L1_ First Storey
Store	5 m <sup>2</sup>	L1_ First Storey
Foyer	4 m <sup>2</sup>	L1_ First Storey
Circulation	19 m <sup>2</sup>	L1_ First Storey
Circulation	25 m <sup>2</sup>	L1_ First Storey
Circulation	5 m <sup>2</sup>	L1_ First Storey
Labs	40 m <sup>2</sup>	L1_ First Storey
<b>(01-23) L2_ Second Storey</b>		
Classroom 10	38 m <sup>2</sup>	(01-23) L2_ Second Storey
Classroom 12	37 m <sup>2</sup>	(01-23) L2_ Second Storey
Classroom 11	39 m <sup>2</sup>	(01-23) L2_ Second Storey
Study Hub 2	15 m <sup>2</sup>	(01-23) L2_ Second Storey
Office 4	12 m <sup>2</sup>	(01-23) L2_ Second Storey
Circulation	34 m <sup>2</sup>	(01-23) L2_ Second Storey
Grand total	913 m <sup>2</sup>	

**General Notes:**

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- Secondary (in addition to primary municipal connection) water supply points to be installed, by the plumber, to toilet cisterns and urinals for future connection to grey water supply. All according to specialist's detail and architect's approval.
- All structural components according to Structural Engineer and SANS 10400-B, H, J, K and L.
- All changes in level and ramps according to SANS 10400-D.
- All foundations according to Structural Engineer and SANS 10400-H.
- All glazing according to SANS 10400-N.
- All openings and ventilation according to Mechanical Engineer and SANS 10400-O.
- All plumbing and drainage according to Plumber and SANS 10400-P.
- All stormwater disposal according to Civil Engineer and SANS 10400-R.
- All fire-safety components and installation according to Fire Specialist and Civil Engineer and SANS 10400-T and W.
- All energy compliance according to Fenestration Specialist and SANS 10400-X.
- All Concrete flat Roofing to be a min. fall of 1:80 to FBO inlets. Amount and sizes according to Civil Engineer.

**DRAINAGE LEGEND**

1100 uPVC SP	-----
500 uPVC WP	-----
1100 uPVC SS	-----
uPVC Drainage to have minimum invert level of 450mm and maximum fall of 1:40. RE's at ends and at maximum 25m spaces. IE's at junctions. SS CWI's to be in ducts with access at joints only.	
Stormwater Line	-----

**ROOF NOTES**

**Roof 1**  
Existing roof structure - remove and replace damaged roof structure and sheeting

**Roof 2**  
Roof sheeting colour to match existing building @ 5deg fixed to 152 x 50 timber purlin rafters - To Engineers spec and detail

**Roof 3**  
Concrete roof as per Engineers detail and specification

**Roof 4**  
Roof sheeting colour to match existing building @ 5deg fixed to steel structure - To Engineers spec and detail

**Ceiling And Insulation.**  
Ceiling :  
Lay in Gyproc Gyprox White 1200mm x 600mm ceiling tile

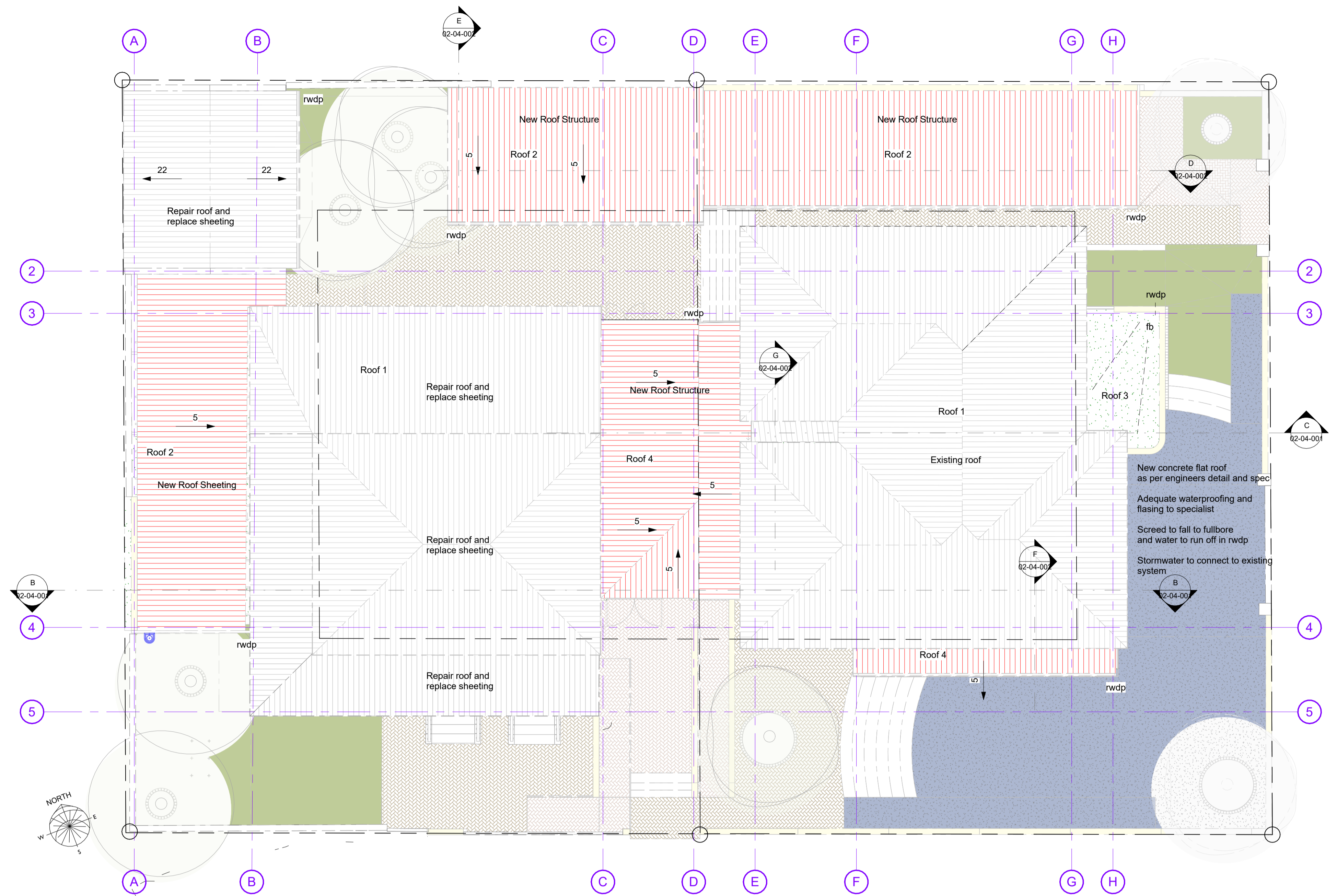
Under roof covering insulation :  
Coverland double-sided Radsenshield reflective barrier (Code: 605202) with joints lapped 150mm, fixed over rafters.

Ceiling board insulation:  
Isover flexible min 100mm Thick Aerolite non-combustible lightweight fibreglass reinforced insulation blanket (Class 1 fire index rating), closely fitted with ends butted firmly between the beams and laid loose on top of bracing between roof timbers, all in accordance with manufacturer's recommendations

**LEGEND**

New Masonry wall	[Pattern]
New Concrete	[Pattern]
New timber	[Pattern]
New steel	[Pattern]
New Drywall	[Pattern]
DPM	[Pattern]
DPC	[Pattern]
Earth/soil	[Pattern]
New Elements on Elevation	[Pattern]
Existing Buildings / walls	[Pattern]

L3\_Roof Plan  
1 : 100



Note : New Stormwater to connect up with existing system

**LEGAL REQUIREMENTS**

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Zoning classification: Design  
Occupation classification:

Developer/Development:

**CURRO**  
Heritage House

**STAGE 4.1: MUNICIPAL SUBMISSION**

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Client Represent: Curro  
Date: 2021-10-12  
Client signature:

Design Architecture:

**bpas**  
architects

PROFESSIONAL ARCHITECT  
EDWIN LANDSEER COLLEN

SACAP no.: P/Arch 24693823  
BPAS signature:

P.O. Box 2487  
Durbanville  
7550  
Tel: 021 914 5960  
www.bpas.co.za  
info@bpas.co.za

Project:

**Curro Heritage House - Erf 1452 - Bishop street - Durban**

Proposed Additions to Existing Buildings

Drawing:  
**Second Storey and Roof Layout**

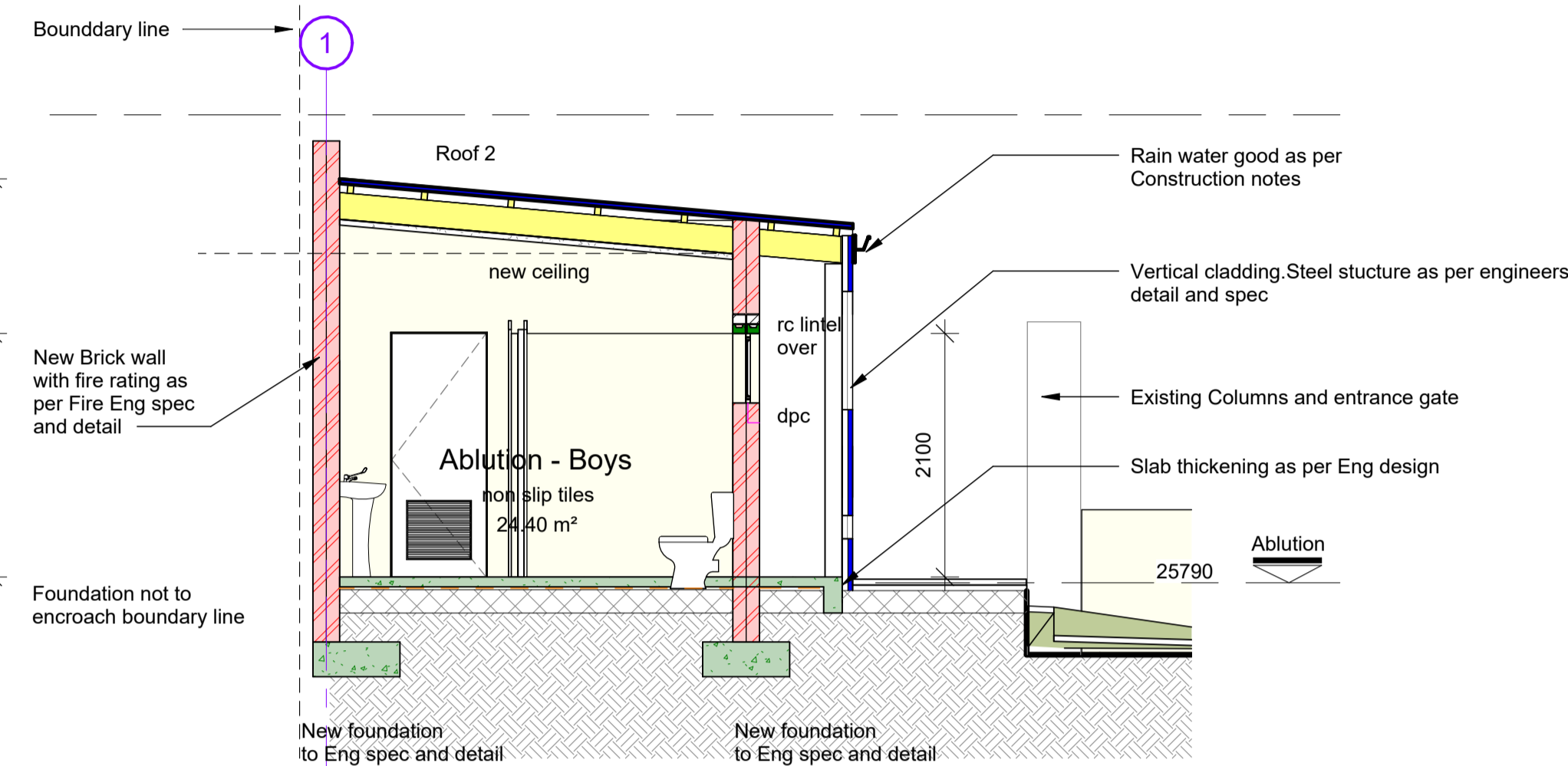
DATE	ISSUED	BY	FOR
2021-10-12	ISSUED	WPF/GT	BPAS/BS
As indicated	CHECKED	GT	AO
PROJECT NO:	DRAWING NO:	REVISION:	
5049	01-04-003	000	

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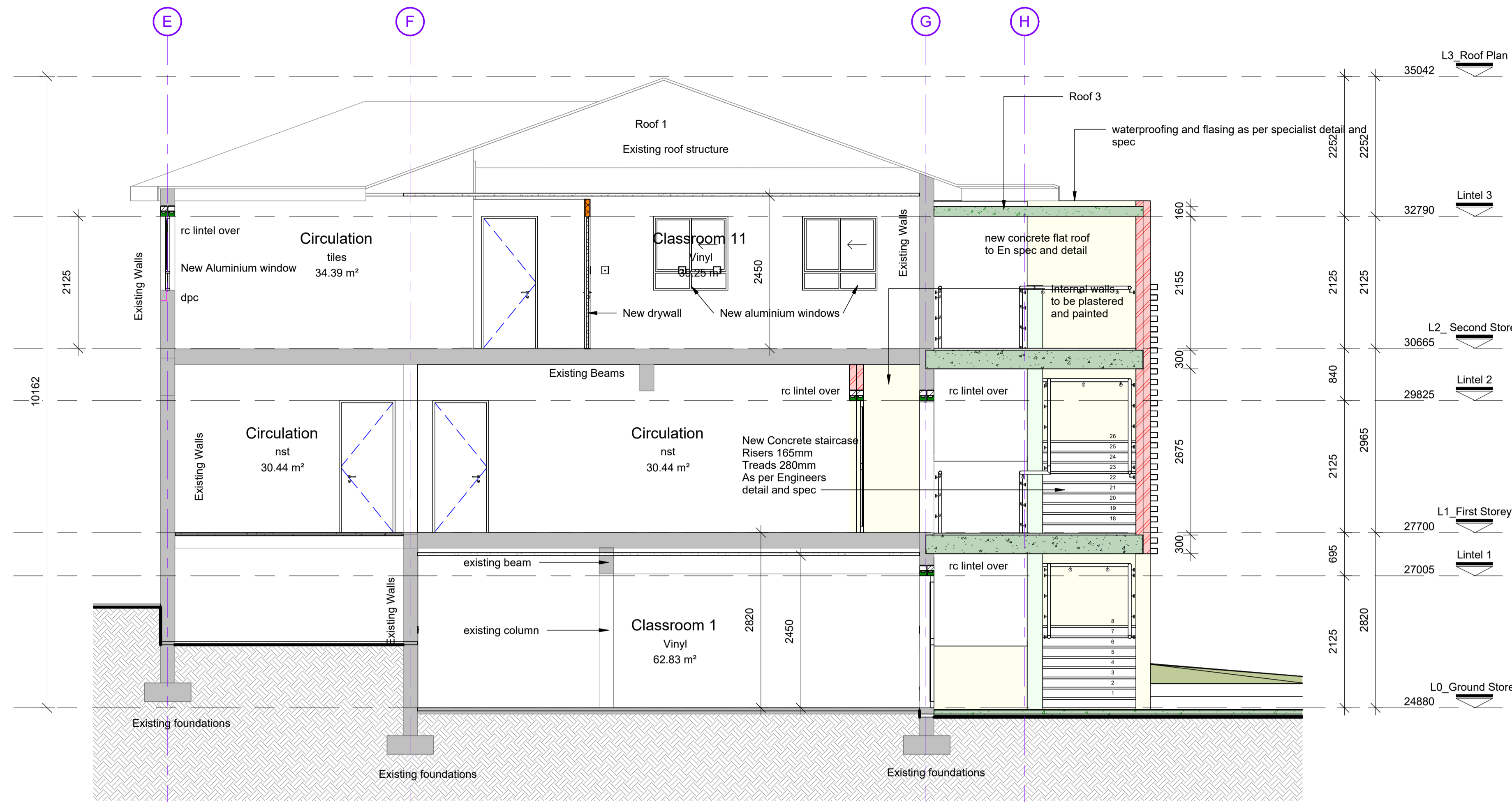


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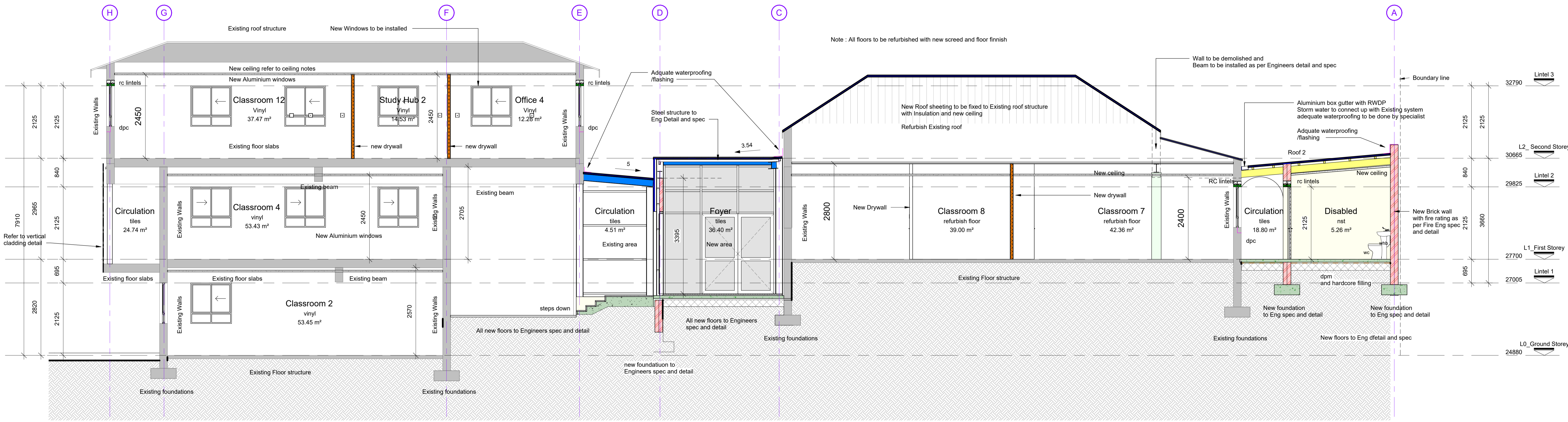
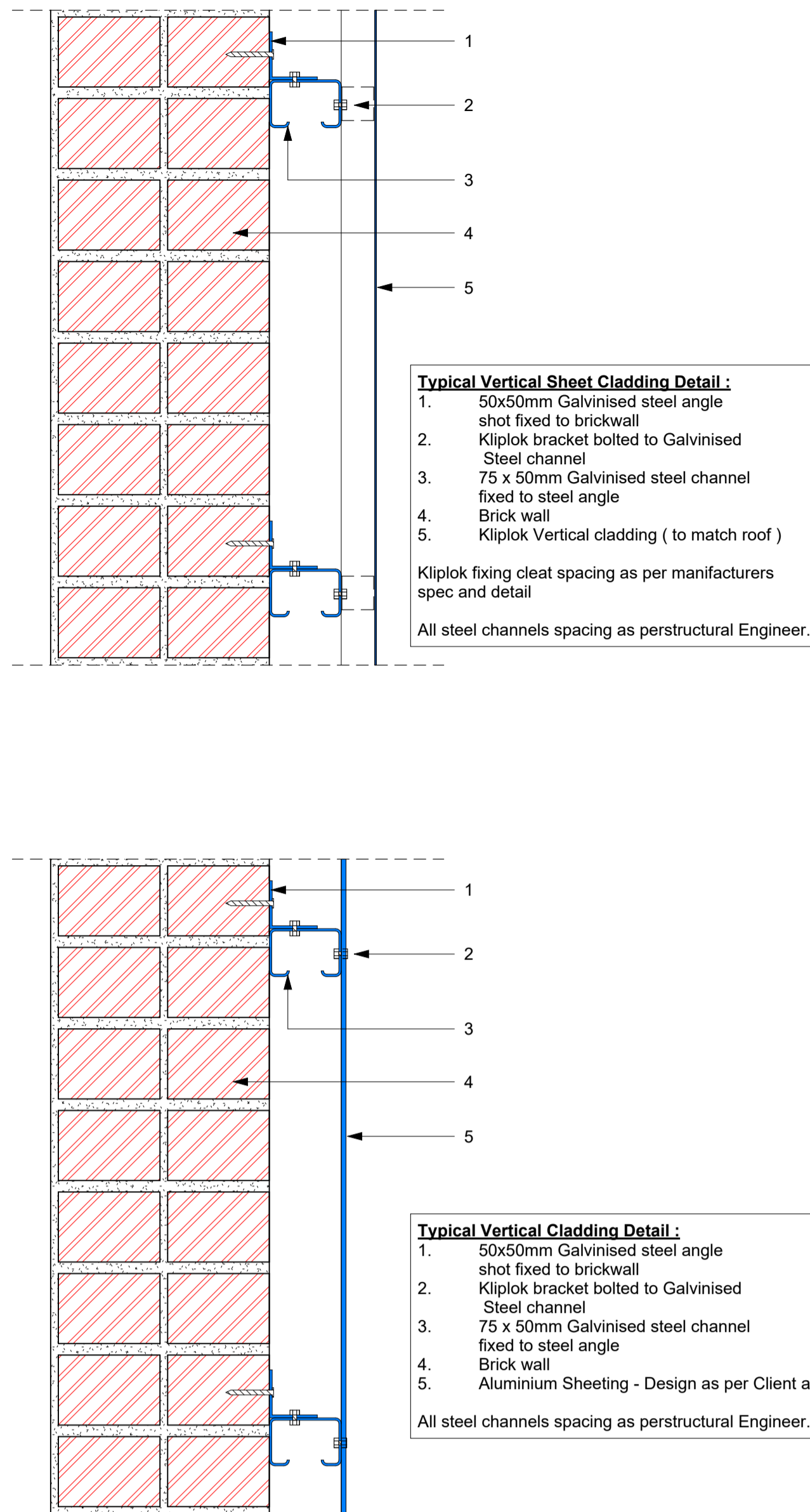
Note : All floors to be refurbished with new screed and floor finish



Section A-A  
1 : 50



Section C-C  
1 : 50



Section B-B  
1 : 50

LEGEND	
	New Masonry wall
	New Concrete
	New timber
	New steel
	New Drywall
	DPM
	DPC
	Earth/soil
	New Elements on Elevation
	Existing Buildings / walls

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Zoning classification: Design  
Occupation classification:

Developer/Development:

**CURRO**  
Heritage House

**STAGE 4.1: MUNICIPAL SUBMISSION**

THE DRAWING IS TO BE SHOWN BY RWDP FOR PROVISIONAL APPROVAL OF CONSTRUCTION. RWDP CAN NOT BE HELD RESPONSIBLE OR ACCOUNTABLE FOR ANY UNFORSEEN DRAWING USER CONSTRUCTION. THE CONTRACTOR AND/OR EMPLOYER TO ENSURE THAT ALL DRAWINGS ARE EMPLOYED.

Client:

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Fax: +27 21 978-4049 | www.curro.co.za | info@curro.co.za

Client Represent: Curro  
Date: 2021-10-12  
Client signature:

Design Architecture:

**bpas**  
architects

PROFESSIONAL ARCHITECT  
EDWIN LANDESEER COLLEN

SACAP no.: P/Arch 24693823  
BPAS signature:

Project:

**Curro Heritage House - Erf 1452 - Bishop street - Durban**

Proposed Additions to Existing Buildings

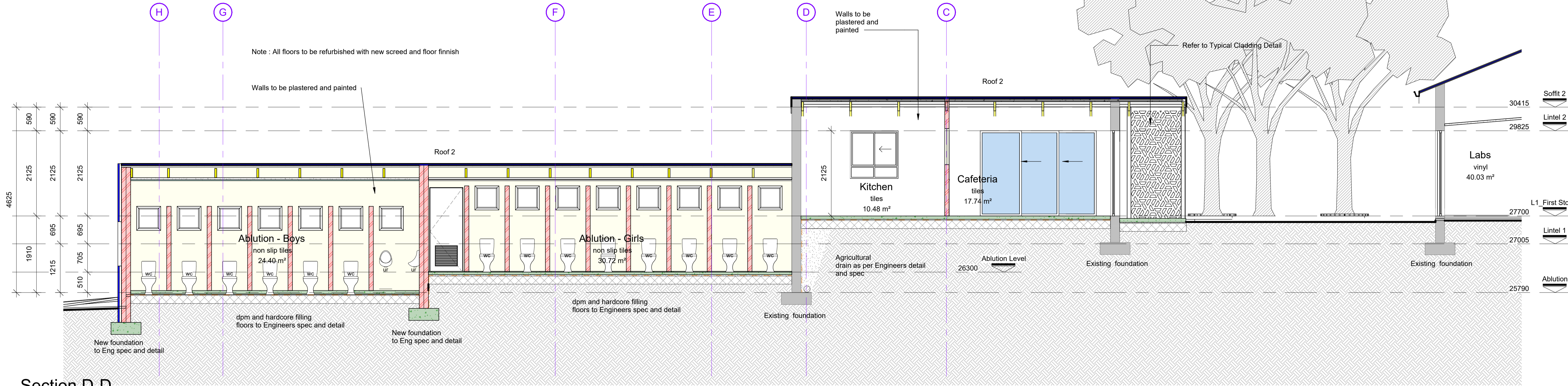
Drawing: **Sections AA to CC**

DATE: 2021-10-12	DRAWN: WPF/FT	APPROVED: AO
SCALE: As indicated	CHECKED: GT	REVISION:
PROJECT: 5049	DATE: 02-04-001	NO: 000

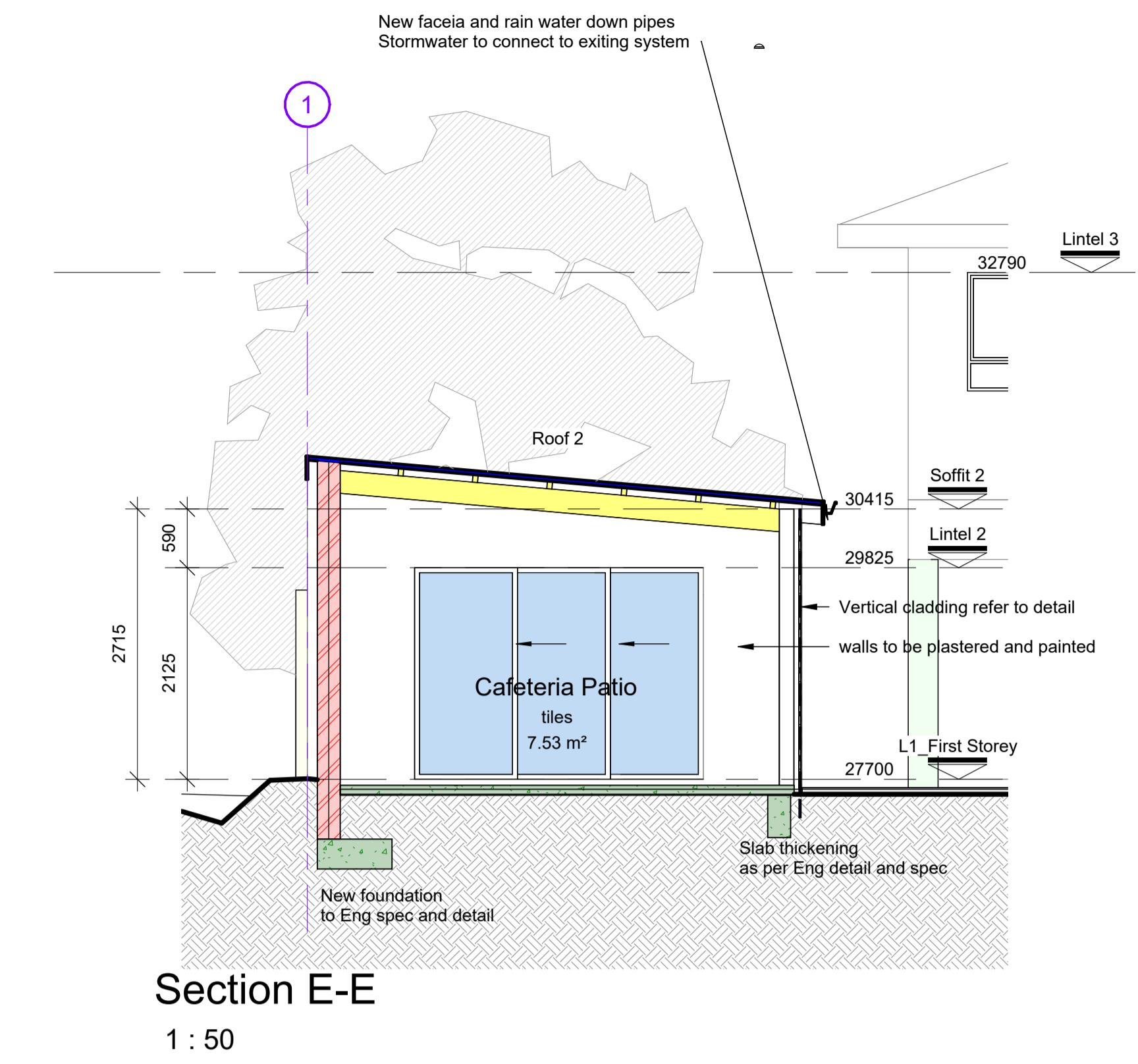
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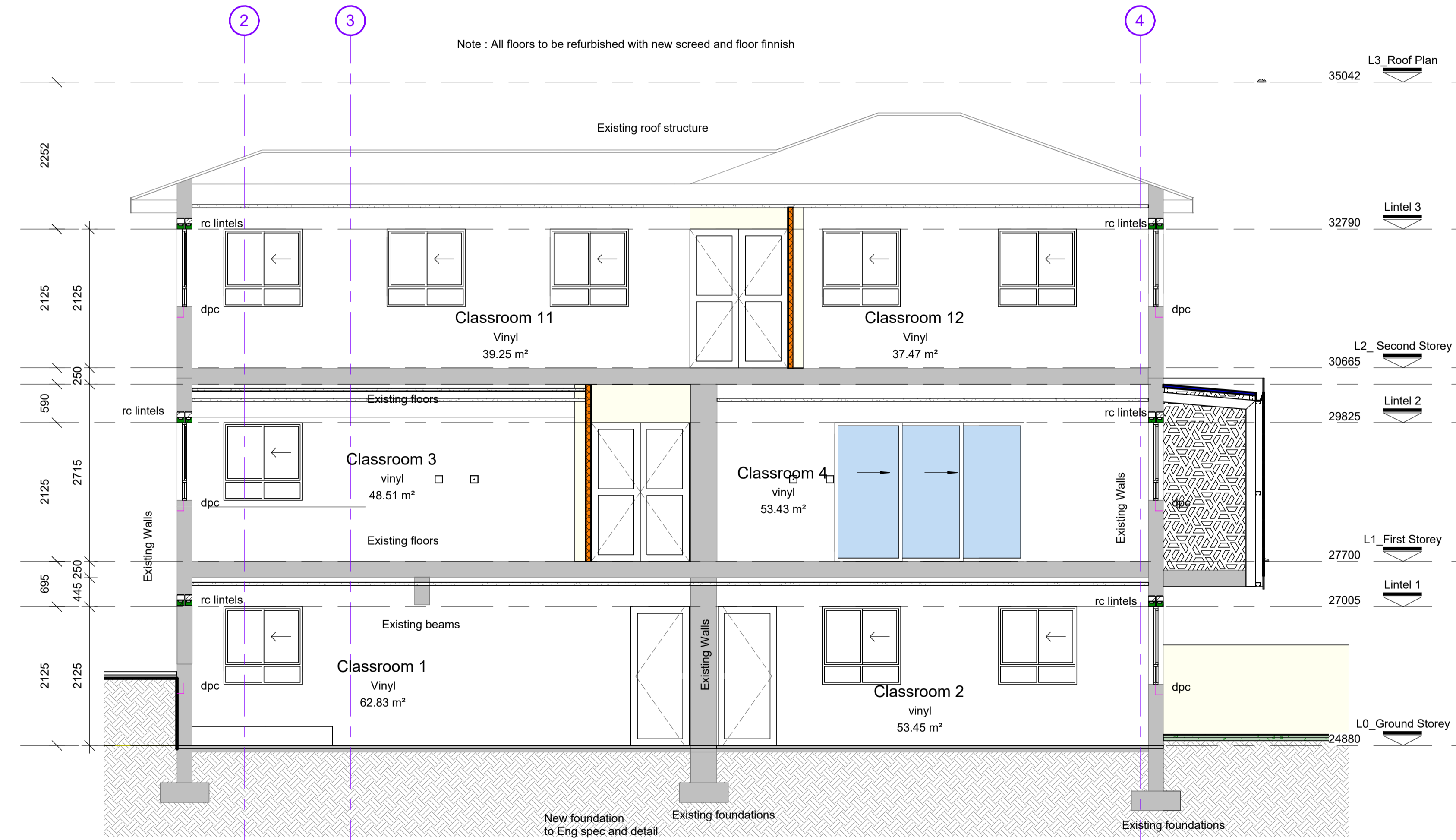
Note : All measurements to be taken on site before any work commence



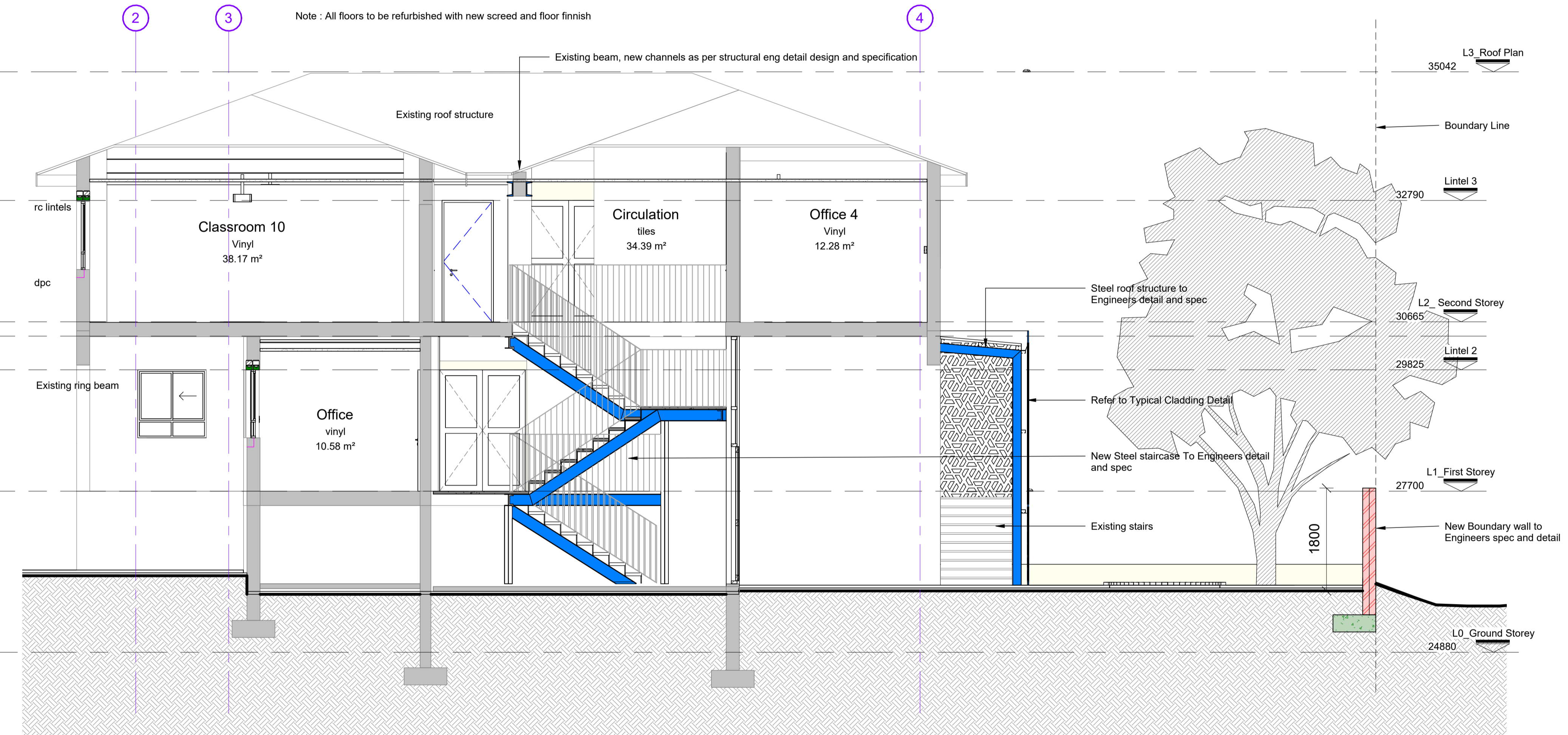
Section D-D  
1 : 50



Section E-E  
1 : 50



Section F-F  
1 : 50



Section G-G  
1 : 50

LEGEND	
New Masonry wall	[Red hatched box]
New Concrete	[Green hatched box]
New timber	[Yellow hatched box]
New steel	[Blue hatched box]
New Drywall	[Orange hatched box]
DPM	[Dashed line]
DPC	[Dashed line]
Earth/soil	[Grey hatched box]
New Elements on Elevation	[Yellow box]
Existing Buildings / walls	[Grey box]

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- All stormwater disposal according to Civil Engineer and SANS 10400-R.
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REVISIONS				
No.	Description	Date	Issued by	Issued to
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Zoning classification: Design

Occupation classification:

Developer/Development:

**CURRO**  
Heritage House

**STAGE 4.1: MUNICIPAL SUBMISSION**

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Client Represent: Curro

Date: 2021-10-12

Client signature:

Design Architecture:

**bpas**  
architects

P.O. Box 2487  
Durbanville  
7550  
Tel: 021 914 5960  
www.bpas.co.za  
info@bpas.co.za

PROFESSIONAL ARCHITECT  
**EDWIN LANDSEER COLLEN**

SACAP no.: P/Arch 24693823

BPAS signature:

Project:

**Curro Heritage House - Erf 1452 - Bishop street - Durban**

Proposed Additions to Existing Buildings

Drawing: **Sections DD to FF**

DATE	SCALE	DRAWN	WPP/FGT	APPROVED
2021-10-12	1:50	GT		AO

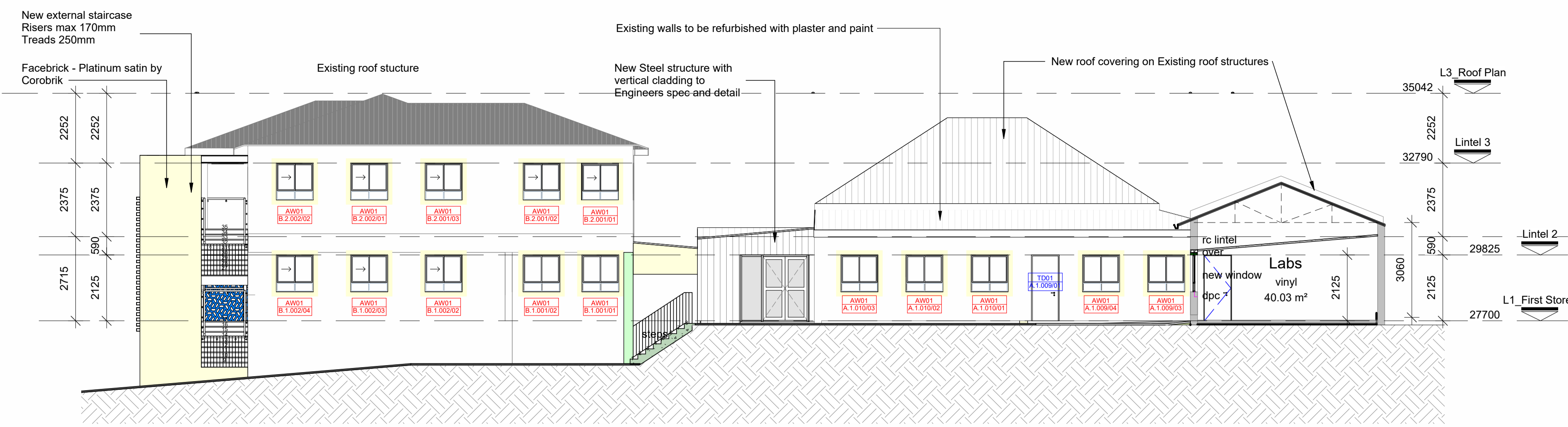
PROJECT: 5049

DRAWING NO: 02-04-002

REVISION: 000

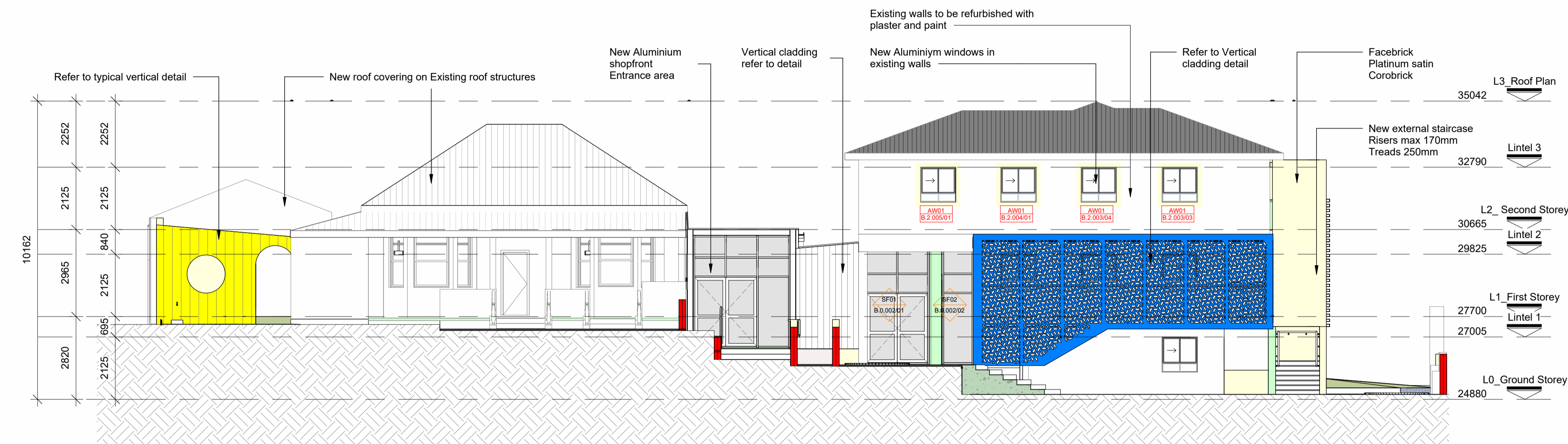
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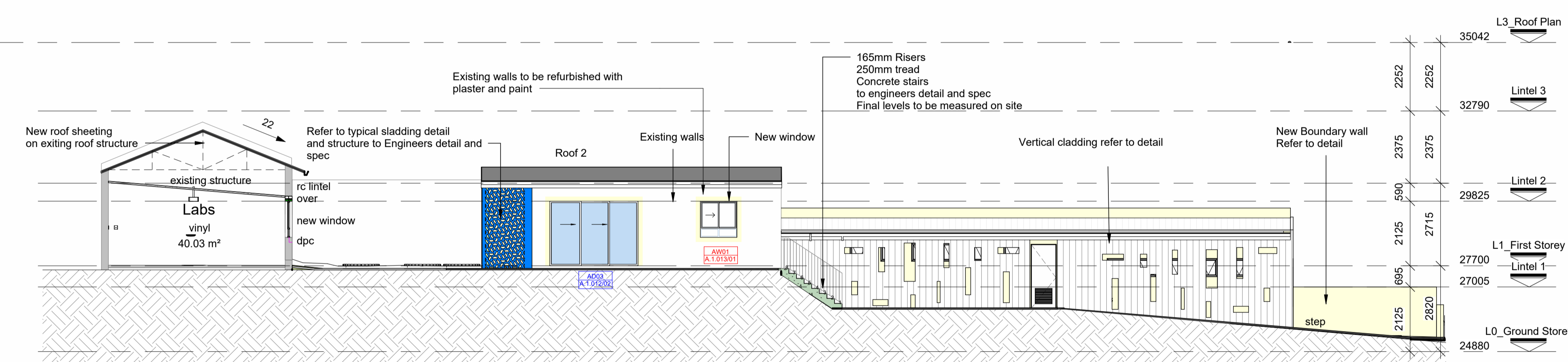
(03-01) North Elevation

1 : 100



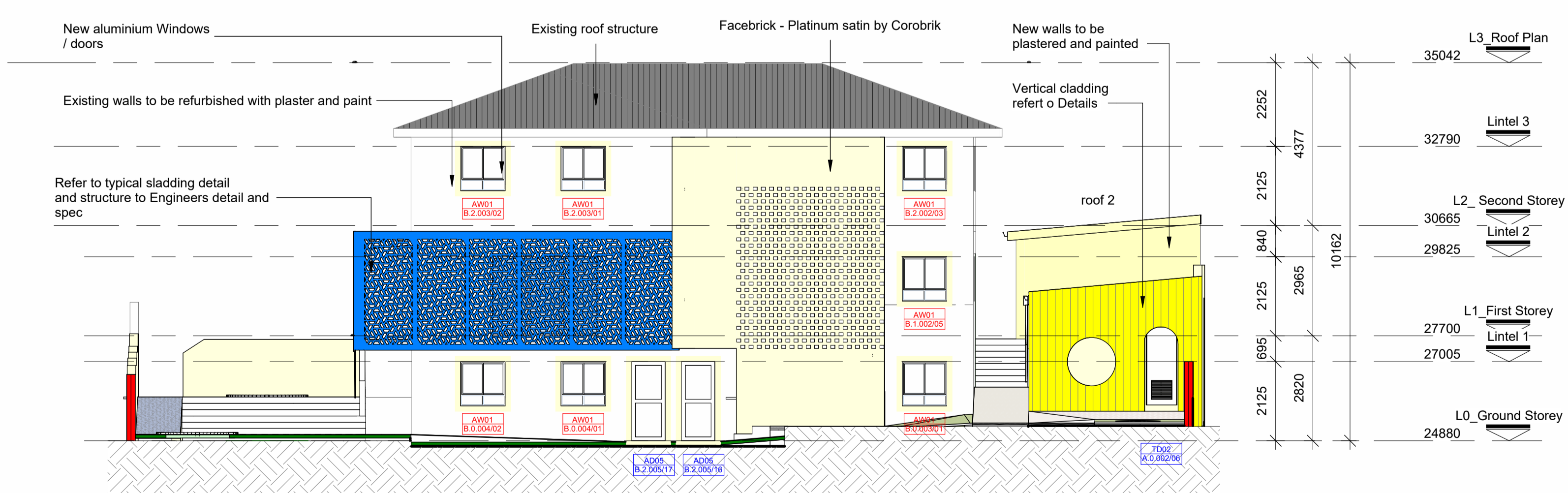
(03-06) South Elevation

1 : 100



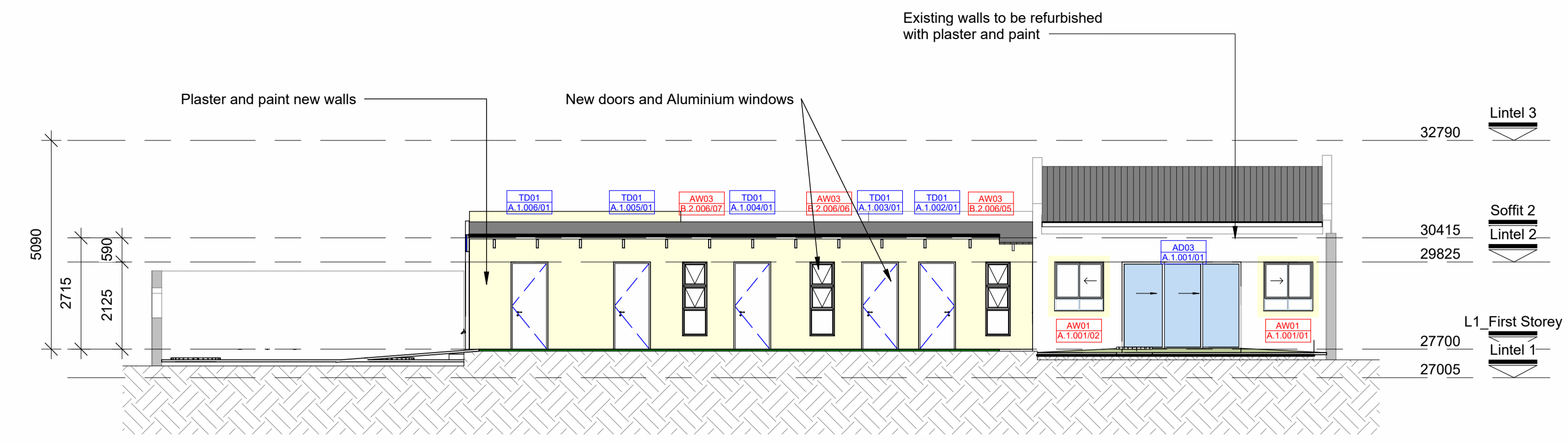
(03-06) South Elevation - Passage way

1 : 100



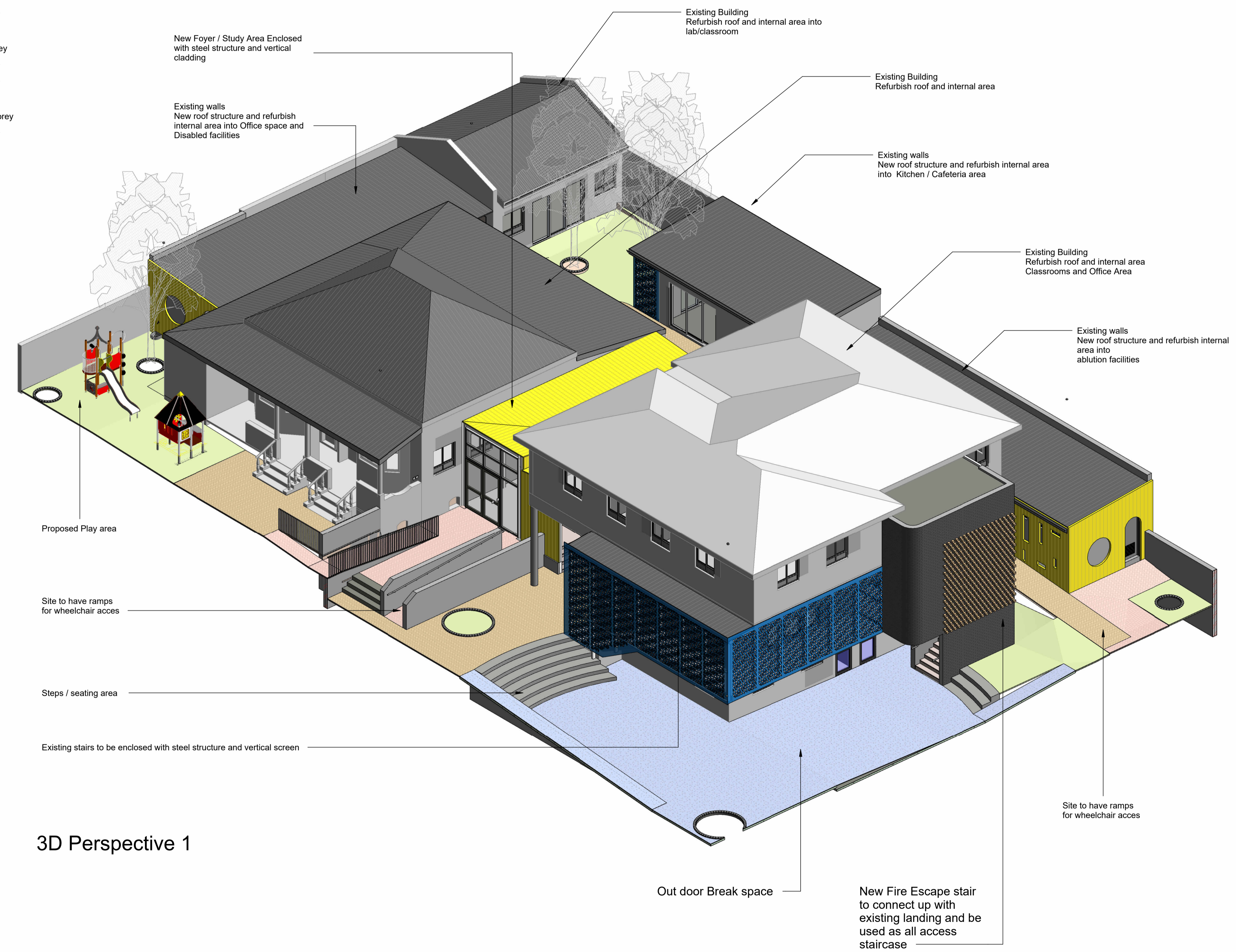
(03-01) East Elevation

1 : 100



(03-06) - East Elevation - Office Area

1 : 100



3D Perspective 1

Note : All measurements to be taken on site before any work commence

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 ALL WORK TO BE CARRIED OUT IN STRICT ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS & STANDARDS ACT (ACT 103 OF 1977 & SANS 1040).  
 ALL TIMBER SIZES & GRADES TO BE VERIFIED & APPROVED BY SUPPLIER'S ENGINEERS.  
 ALL TRUSSES TO BE IN ACCORDANCE WITH SUPPLIER'S / ENGINEER'S DESIGN & APPROVAL BY CLIENT.  
 ALL MATERIALS TO BE BUILT IN / APPLIED STRICTLY IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS.  
 ALL LOCAL AUTHORITY, UTILITY SERVICE PROVIDER REQUIREMENTS TO BE ESTABLISHED IN ADVANCE AND ADHERED TO.  
 ALL BOUNDARY PEGS TO BE LOCATED, AND MARKED, BEFORE WORK IS TAKEN IN HAND.  
 ANY DISCREPANCIES BETWEEN THESE DRAWINGS & LEGISLATION, LOCAL AUTHORITY, UTILITY SERVICE PROVIDER & GOOD CONSTRUCTION PRACTICE TO BE REFERRED TO THE ARCHITECT BEFORE CONSTRUCTION COMMENCES.  
 ANY ASPECT DEEMED TO BE UNCLEAR TO BE REFERRED TO THE ARCHITECT FOR CLARITY.  
 THESE DRAWINGS DO NOT CONSTITUTE A COMPREHENSIVE SPECIFICATION FOR THE WORKS.  
 NO DIMENSIONS TO BE SCALED FROM THESE DRAWINGS.

**REVISIONS**

No.	Description	Date	Issued by	Issued to
000	Municipal Plans	2021-10-12	BPAS	Client

Zoning classification: Design  
 Occupation classification:

Developer/Development:

**CURRO**  
Heritage House

**STAGE 4.1: MUNICIPAL SUBMISSION**

THE DRAWING TO BE SHOWN BY BPAS FOR FINAL APPROVAL OF CONSTRUCTION. BPAS CAN NOT BE HELD RESPONSIBLE OR ACCOUNTABLE FOR ANY UNEXPECTED DRAWING USES FOR CONSTRUCTION. THE CONTRACTOR AND/OR EMPLOYER TO ENSURE THAT ALL DRAWINGS ARE EMPLOYED.

Client:

**CURRO**

P.O. Box 3487 | Durbanville | 7551 | Tel: +27 21 978-12045  
 Fax: +27 21 978-0449 | www.curro.co.za | info@curro.co.za

Client Represent: Curro  
 Date: 2021-10-12  
 Client signature:

Design Architecture:

**bpas**  
architects

**PROFESSIONAL ARCHITECT**  
EDWIN LANDESEER COLLEN

SACAP no.: P/Arch 24693823  
 BPAS signature:

Project:

**Curro Heritage House - Erf 1452 - Bishop street - Durban**

Proposed Additions to Existing Buildings

Drawing: **Elevations and Perspective Views**

DATE	SCALE	DRAWN	CHECKED	APPROVED
2021-10-12	1 : 100	WPF/GT	GT	AO

PROJECT: 5049  
 DRAWING: 03-01-001  
 REVISION: 000

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