



**PROVINCE OF THE EASTERN CAPE  
DEPARTMENT OF ECONOMIC DEVELOPMENT  
AND  
ENVIRONMENTAL AFFAIRS**

**BASIC ASSESSMENT REPORT**

(For official use only)

**File Reference Number:**

**Application Number:**

**Date Received:**


Basic assessment report in terms of the Environmental Impact Assessment Regulations, 2010, promulgated in terms of the National Environmental Management Act, 1998(Act No. 107 of 1998), as amended.

**Kindly note that:**

1. This **basic assessment report** is a standard report that may be required by a competent authority in terms of the EIA Regulations, 2010 and is meant to streamline applications. Please make sure that it is the report used by the particular competent authority for the activity that is being applied for.
2. The report must be typed within the spaces provided in the form. The size of the spaces provided is not necessarily indicative of the amount of information to be provided. The report is in the form of a table that can extend itself as each space is filled with typing.
3. Where applicable **tick** the boxes that are applicable or **black out** the boxes that are not applicable in the report.
4. An incomplete report may be returned to the applicant for revision.
5. The use of "not applicable" in the report must be done with circumspection because if it is used in respect of material information that is required by the competent authority for assessing the application, it may result in the rejection of the application as provided for in the regulations.
6. This report must be handed in at offices of the relevant competent authority as determined by each authority.
7. No faxed or e-mailed reports will be accepted.
8. The report must be compiled by an independent environmental assessment practitioner.

9. Unless protected by law, all information in the report will become public information on receipt by the competent authority. Any interested and affected party should be provided with the information contained in this report on request, during any stage of the application process.
10. A competent authority may require that for specified types of activities in defined situations only parts of this report need to be completed.

## SECTION A: ACTIVITY INFORMATION

Has a specialist been consulted to assist with the completion of this section?

YES	NO
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If YES, please complete form XX for each specialist thus appointed:  
Any specialist reports must be contained in Appendix D.

### 1. ACTIVITY DESCRIPTION

Describe the activity, which is being applied for, in detail

**5991 The Caves – Application for the development of a 60m high telecommunication mast painted red and white for Cell C (Pty) Ltd on the Remainder of the farm The Caves 97 Barkley East RD in the Ukhahlamba District (Joe Gqabi District) and the Senqu Local Municipality, Eastern Cape Province.**

### 2. FEASIBLE AND REASONABLE ALTERNATIVES

**“alternatives”**, in relation to a proposed activity, means different means of meeting the general purpose and requirements of the activity, which may include alternatives to—

- (a) the property on which or location where it is proposed to undertake the activity;
- (b) the type of activity to be undertaken;
- (c) the design or layout of the activity;
- (d) the technology to be used in the activity;
- (e) the operational aspects of the activity; and
- (f) the option of not implementing the activity.

Describe alternatives that are considered in this application. Alternatives should include a consideration of all possible means by which the purpose and need of the proposed activity could be accomplished in the specific instance taking account of the interest of the applicant in the activity. The no-go alternative must in all cases be included in the assessment phase as the baseline against which the impacts of the other alternatives are assessed. The determination of whether site or activity (including different processes etc.) or both is appropriate needs to be informed by the specific circumstances of the activity and its environment. After receipt of this report the competent authority may also request the applicant to assess additional alternatives that could possibly accomplish the purpose and need of the proposed activity if it is clear that realistic alternatives have not been considered to a reasonable extent.

**Paragraphs 3 – 13 below should be completed for each alternative**

### 3. ACTIVITY POSITION

Indicate the position of the activity using the latitude and longitude of the centre point of the site for each alternative site. The co-ordinates should be in degrees and decimal minutes. The minutes should have at least three decimals to ensure adequate accuracy. The projection that must be used in all cases is the WGS84 spheroid in a national or local projection.

List alternative sites if applicable.

	Latitude (S):		Longitude (E):	
<b>Alternative:</b> Alternative S1 <sup>1</sup> (preferred or only site alternative)	30°	51.373 ‘	27°	43.263 ‘
Alternative S2 (if any)	30°	51.373 ‘	27°	43.263 ‘
Alternative S3 (if any)				

**In the case of linear activities:**

	Latitude (S):		Longitude (E):	
<b>Alternative:</b> Alternative S1 (preferred or only route alternative)				
• Starting point of the activity	o	‘	o	‘
• Middle point of the activity	o	‘	o	‘
• End point of the activity	o	‘	o	‘
Alternative S2 (if any)				
• Starting point of the activity	o	‘	o	‘
• Middle point of the activity	o	‘	o	‘
• End point of the activity	o	‘	o	‘
Alternative S3 (if any)				
• Starting point of the activity	o	‘	o	‘
• Middle point of the activity	o	‘	o	‘
• End point of the activity	o	‘	o	‘

For route alternatives that are longer than 500m, please provide an addendum with co-ordinates taken every 250 meters along the route for each alternative alignment.

### 4. PHYSICAL SIZE OF THE ACTIVITY

Indicate the physical size of the preferred activity/technology as well as alternative activities/technologies (footprints):

<b>Alternative:</b>	<b>Size of the activity:</b>
Alternative A1 <sup>2</sup> (preferred activity alternative)	196 m <sup>2</sup>
Alternative A2 (if any)	196 m <sup>2</sup>
Alternative A3 (if any)	m <sup>2</sup>

or, for linear activities:

<b>Alternative:</b>	<b>Length of the activity:</b>
Alternative A1 (preferred activity alternative)	m
Alternative A2 (if any)	m

<sup>1</sup> "Alternative S.." refer to site alternatives.

<sup>2</sup> "Alternative A.." refer to activity, process, technology or other alternatives.

Alternative A3 (if any)

m

Indicate the size of the alternative sites or servitudes (within which the above footprints will occur):

**Alternative:**

**Size of the site/servitude:**

Alternative A1 (preferred activity alternative)

836.6090 H

Alternative A2 (if any)

Alternative A3 (if any)

## 5. SITE ACCESS

Does ready access to the site exist?

YES NO

If NO, what is the distance over which a new access road will be built

Approximately 90m

Describe the type of access road planned:

Two track gravel road.

Include the position of the access road on the site plan and required map, as well as an indication of the road in relation to the site.

## 6. SITE OR ROUTE PLAN

A detailed site or route plan(s) must be prepared for each alternative site or alternative activity. It must be attached as Appendix A to this document.

The site or route plans must indicate the following:

- 6.1 the scale of the plan which must be at least a scale of 1:500;
- 6.2 the property boundaries and numbers of all the properties within 50metres of the site;
- 6.3 the current land use as well as the land use zoning of each of the properties adjoining the site or sites;
- 6.4 the exact position of each element of the application as well as any other structures on the site;
- 6.5 the position of services, including electricity supply cables (indicate above or underground), water supply pipelines, boreholes, street lights, sewage pipelines, storm water infrastructure and telecommunication infrastructure;
- 6.6 all trees and shrubs taller than 1.8metres;
- 6.7 walls and fencing including details of the height and construction material;
- 6.8 servitudes indicating the purpose of the servitude;
- 6.9 sensitive environmental elements within 100metres of the site or sites including (but not limited thereto):
  - rivers;
  - the 1:100 year flood line (where available or where it is required by DWA);
  - ridges;
  - cultural and historical features;
  - areas with indigenous vegetation (even if it is degraded or invested with alien species);
- 6.9 for gentle slopes the 1metre contour intervals must be indicated on the plan and whenever the slope of the site exceeds 1:10, the 500mm contours must be indicated on the plan; and
- 6.10 the positions from where photographs of the site were taken.

## 7. SITE PHOTOGRAPHS

Colour photographs from the centre of the site must be taken in at least the eight major compass directions with a description of each photograph. Photographs must be attached under Appendix B to this form. It must be supplemented with additional photographs of relevant features on the site, if applicable.

## 8. FACILITY ILLUSTRATION

A detailed illustration of the activity must be provided at a scale of 1:200 as Appendix C for activities that include structures. The illustrations must be to scale and must represent a realistic image of the planned activity. The illustration must give a representative view of the activity.

## 9. ACTIVITY MOTIVATION

### 9(a) Socio-economic value of the activity

What is the expected capital value of the activity on completion?	<b>R500 000.00</b>
What is the expected yearly income that will be generated by or as a result of the activity?	<b>unknown</b>
Will the activity contribute to service infrastructure?	<b>YES NO</b>
Is the activity a public amenity?	<b>YES NO</b>
How many new employment opportunities will be created in the development phase of the activity?	<b>none</b>
What is the expected value of the employment opportunities during the development phase?	<b>R0.00</b>
What percentage of this will accrue to previously disadvantaged individuals?	<b>0%</b>
How many permanent new employment opportunities will be created during the operational phase of the activity?	<b>none</b>
What is the expected current value of the employment opportunities during the first 10 years?	<b>R0.00</b>
What percentage of this will accrue to previously disadvantaged individuals?	<b>0%</b>

### 9(b) Need and desirability of the activity

Motivate and explain the need and desirability of the activity (including demand for the activity):

**The proposed telecommunication mast does not fit in visually with the surrounding area due to the rural nature of the area. However it will provide important infrastructure for telecommunication with the availability of capacity to share with other operators whether these are telecommunication operators, radio operators or any other operators such as tracking companies etc. The activity will benefit the local and regional community in that it will provide them with a choice of mobile telecommunication service providers.**

Indicate any benefits that the activity will have for society in general:

**The immediate benefits of the activity to society in general can be summarized as follows:**

- **Increased and improved national Cell C coverage footprint enabling users to communicate on the Cell C network wherever they are.**
- **Additional fulfilment of one of government's objectives to ensure the establishment of national communication network grids and services as part of a sustainable economic growth pattern.**

Indicate any benefits that the activity will have for the local communities where the activity will be located:

**The motivation and benefits to society in general above apply to the local community directly. It will furthermore ensure that the communication capability and capacity of the local community will keep pace with the ever growing and availability of communication facilities nationwide.**

## 10. APPLICABLE LEGISLATION, POLICIES AND/OR GUIDELINES

List all legislation, policies and/or guidelines of any sphere of government that are applicable to the application as contemplated in the EIA regulations, if applicable:

Title of legislation, policy or guideline:	Administering authority:	Date:
<b>NEMA Act 1998 (Act 107 of 1998) as amended</b>	<b>Eastern Cape Department of Economic Development and Environmental Affairs</b>	<b>1998</b>
<b>National Heritage Resources Act, 1999 (Act 25 of 1999)</b>	<b>SAHRA – Eastern Cape Province</b>	<b>1999</b>
<b>Civil Aviation Act, 2009 (Act No. 13 of 2009)</b>	<b>South African Civil Aviation Authority</b>	<b>2009</b>
<b>National Building Regulations and Building Standards Act, No. 103 of 1977 as amended</b>	<b>Senqu Local Municipality</b>	<b>1993</b>
<b>Occupational Health and Safety Act (No. 85 of 1993)</b>	<b>Department of Labour</b>	<b>1993</b>
<b>National Veld and Forest Fire Act (No. 101 of 1998)</b>	<b>Department of Water and Environmental Affairs</b>	<b>1998</b>

## 11. WASTE, EFFLUENT, EMISSION AND NOISE MANAGEMENT

### 11(a) Solid waste management

Will the activity produce solid construction waste during the construction/initiation phase?

<b>YES</b>	<b>NO</b>
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If yes, what estimated quantity will be produced per month?

4m <sup>3</sup>
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How will the construction solid waste be disposed of (describe)?

**An estimated total of 4m<sup>3</sup> solid waste might be produced during the 6 week construction period. This will need to be disposed of by a roadworthy registered waste removal truck to the nearest registered landfill site.**

Where will the construction solid waste be disposed of (describe)?

**At the nearest registered landfill site.**

Will the activity produce solid waste during its operational phase?

<b>YES</b>	<b>NO</b>
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If yes, what estimated quantity will be produced per month?

m <sup>3</sup>
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How will the solid waste be disposed of (describe)?

-

Where will the solid waste be disposed if it does not feed into a municipal waste stream (describe)?

-

If the solid waste (construction or operational phases) will not be disposed of in a registered landfill site or be taken up in a municipal waste stream, then the applicant should consult with the competent authority to determine whether it is necessary to change to an application for scoping and EIA.

Can any part of the solid waste be classified as hazardous in terms of the relevant legislation? 

YES	NO
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If yes, inform the competent authority and request a change to an application for scoping and EIA.

Is the activity that is being applied for a solid waste handling or treatment facility? 

YES	NO
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If yes, then the applicant should consult with the competent authority to determine whether it is necessary to change to an application for scoping and EIA.

**11(b) Liquid effluent**

Will the activity produce effluent, other than normal sewage, that will be disposed of in a municipal sewage system? 

YES	NO
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If yes, what estimated quantity will be produced per month?

m<sup>3</sup>

Will the activity produce any effluent that will be treated and/or disposed of on site? 

Yes	NO
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If yes, the applicant should consult with the competent authority to determine whether it is necessary to change to an application for scoping and EIA.

Will the activity produce effluent that will be treated and/or disposed of at another facility? 

YES	NO
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If yes, provide the particulars of the facility:

Facility name:	-	
Contact person:	-	
Postal address:	-	
Postal code:	-	
Telephone:	Cell:	-
E-mail:	Fax:	-

Describe the measures that will be taken to ensure the optimal reuse or recycling of waste water, if any:

-

**11(c) Emissions into the atmosphere**

Will the activity release emissions into the atmosphere? 

YES	NO
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If yes, is it controlled by any legislation of any sphere of government? 

YES	NO
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If yes, the applicant should consult with the competent authority to determine whether it is necessary to change to an application for scoping and EIA.



If no, describe the emissions in terms of type and concentration:

**Non-ionised electromagnetic fields with power density <10W/m<sup>2</sup> (Dept of Health Guidelines based on International Commission on Non-ionising Radiation Protection (ICNIRP) & World Health Organisation (WHO) guidelines).**

**11(d) Generation of noise**

Will the activity generate noise?

YES	NO
YES	NO

If yes, is it controlled by any legislation of any sphere of government?

If yes, the applicant should consult with the competent authority to determine whether it is necessary to change to an application for scoping and EIA.

If no, describe the noise in terms of type and level:

**Minimum noise generation will emanate from the installed air conditioners at a <60dB noise level. The level of noise generation is well within the acceptable norm and will not cause a significant disturbance to the surrounding environment.**

**12. WATER USE**

Please indicate the source(s) of water that will be used for the activity by ticking the appropriate box(es)

municipal	water board	groundwater	river, stream, dam or lake	other	<b>the activity will not use water</b>
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If water is to be extracted from groundwater, river, stream, dam, lake or any other natural feature, please indicate

the volume that will be extracted per month:

litres	
YES	NO

Does the activity require a water use permit from the Department of Water Affairs?

If yes, please submit the necessary application to the Department of Water Affairs and attach proof thereof to this application if it has been submitted.

**13. ENERGY EFFICIENCY**

Describe the design measures, if any, that have been taken to ensure that the activity is energy efficient:

**High technological mobile telecommunication operating systems are in principle designed for minimum, cost effective energy consumption in order to preserve resources and to optimise the financial yield generated by the base station.**

Describe how alternative energy sources have been taken into account or been built into the design of the activity, if any:

**Alternative energy sources have not been taken into account in the design of the activity. There is an existing electricity network grid available in the immediate area.**

## SECTION B: SITE/AREA/PROPERTY DESCRIPTION

### Important notes:

- For linear activities (pipelines, etc) as well as activities that cover very large sites, it may be necessary to complete this section for each part of the site that has a significantly different environment. In such cases please complete copies of Section C and indicate the area, which is covered by each copy No. on the Site Plan.

Section C Copy No.   
(e.g. A):

- Paragraphs 1 - 6 below must be completed for each alternative.

- Has a specialist been consulted to assist with the completion of this section? 

YES	NO
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If YES, please complete form XX for each specialist thus appointed:  
All specialist reports must be contained in Appendix D.

### 1. GRADIENT OF THE SITE

Indicate the general gradient of the site.

#### Alternative S1:

Flat	1:50	-	1:20	1:15	1:10	1:7,5	1:5	Steeper than
	1:20		1:15		1:7,5			1:5

#### Alternative S2 (if any):

Flat	1:50	-	1:20	1:15	1:10	1:7,5	1:5	Steeper than
	1:20		1:15		1:7,5			1:5

#### Alternative S3 (if any): Applied for exemption

Flat	1:50	-	1:20	1:15	1:10	1:7,5	1:5	Steeper than
	1:20		1:15		1:7,5			1:5

### 2. LOCATION IN LANDSCAPE

Indicate the landform(s) that best describes the site:

- 2.1 Ridgeline
- 2.2 Plateau
- 2.3 Side slope of hill/mountain
- 2.4 Closed valley
- 2.5 Open valley
- 2.6 Plain
- 2.7 Undulating plain / low hills
- 2.8 Dune
- 2.9 Seafront

### 3. GROUNDWATER, SOIL AND GEOLOGICAL STABILITY OF THE SITE

Is the site(s) located on any of the following (tick the appropriate boxes)?

	Alternative S1:		Alternative S2 (if any):		Alternative S3 (if any):	
Shallow water table (less than 1.5m deep)	YES	NO	YES	NO	YES	NO
Dolomite, sinkhole or doline areas	YES	NO	YES	NO	YES	NO
Seasonally wet soils (often close to water bodies)	YES	NO	YES	NO	YES	NO
Unstable rocky slopes or steep slopes with loose soil	YES	NO	YES	NO	YES	NO
Dispersive soils (soils that dissolve in water)	YES	NO	YES	NO	YES	NO
Soils with high clay content (clay fraction more than 40%)	YES	NO	YES	NO	YES	NO
Any other unstable soil or geological feature	YES	NO	YES	NO	YES	NO
An area sensitive to erosion	YES	NO	YES	NO	YES	NO

If you are unsure about any of the above or if you are concerned that any of the above aspects may be an issue of concern in the application, an appropriate specialist should be appointed to assist in the completion of this section. (Information in respect of the above will often be available as part of the project information or at the planning sections of local authorities. Where it exists, the 1:50 000 scale Regional Geotechnical Maps prepared by the Council for Geo Science may also be consulted).

### 4. GROUNDCOVER – S1 & S2

Indicate the types of groundcover present on the site:

- 4.1 Natural veld – good condition<sup>E</sup>
- 4.2 **Natural veld – scattered aliens**<sup>E</sup>
- 4.3 Natural veld with heavy alien infestation<sup>E</sup>
- 4.4 Veld dominated by alien species<sup>E</sup>
- 4.5 Gardens
- 4.6 Sport field
- 4.7 Cultivated land
- 4.8 Paved surface
- 4.9 Building or other structure
- 4.10 Bare soil

The location of all identified rare or endangered species or other elements should be accurately indicated on the site plan(s).

Natural veld – good condition <sup>E</sup>	Natural veld with scattered aliens <sup>E</sup>	Natural veld with heavy alien infestation <sup>E</sup>	Veld dominated by alien species <sup>E</sup>	Gardens
Sport field	Cultivated land	Paved surface	Building or other structure	Bare soil

If any of the boxes marked with an “E” is ticked, please consult an appropriate specialist to assist in the completion of this section if the environmental assessment practitioner doesn’t have the necessary expertise.

## 5. LAND USE CHARACTER OF SURROUNDING AREA

Indicate land uses and/or prominent features that currently occur within a 500m radius of the site and give description of how this influences the application or may be impacted upon by the application:

- 5.1 Natural area
- 5.2 Low density residential
- 5.3 Medium density residential
- 5.4 High density residential
- 5.5 Informal residential
- 5.6 Retail commercial & warehousing
- 5.7 Light industrial
- 5.8 Medium industrial<sup>AN</sup>
- 5.9 Heavy industrial<sup>AN</sup>
- 5.10 Power station
- 5.11 Office/consulting room
- 5.12 Military or police base/station/compound
- 5.13 Spoil heap or slimes dam<sup>A</sup>
- 5.14 Quarry, sand or borrow pit
- 5.15 Dam or reservoir
- 5.16 Hospital/medical centre
- 5.17 School
- 5.18 Tertiary education facility
- 5.19 Church
- 5.20 Old age home
- 5.21 Sewage treatment plant<sup>A</sup>
- 5.22 Train station or shunting yard<sup>N</sup>
- 5.23 Railway line<sup>N</sup>
- 5.24 Major road (4 lanes or more)<sup>N</sup>
- 5.25 Airport<sup>N</sup>
- 5.26 Harbour
- 5.27 Sport facilities
- 5.28 Golf course
- 5.29 Polo fields
- 5.30 Filling station<sup>H</sup>
- 5.31 Landfill or waste treatment site
- 5.32 Plantation

**5.33 Agriculture**

5.34 River, stream or wetland

5.35 Nature conservation area

5.36 Mountain, koppie or ridge

5.37 Museum

5.38 Historical building

5.39 Protected Area

5.40 Graveyard

5.41 Archaeological site

**5.42 Other land uses - Farmland**

If any of the boxes marked with an "N" are ticked, how will this impact / be impacted upon by the proposed activity.

If any of the boxes marked with an "An" are ticked, how will this impact / be impacted upon by the proposed activity.

If YES, specify and explain:

If YES, specify:

If any of the boxes marked with an "H" are ticked, how will this impact / be impacted upon by the proposed activity.

If YES, specify and explain:

If YES, specify:

**6. CULTURAL/HISTORICAL FEATURES**

Are there any signs of culturally or historically significant elements, as defined in section 2 of the National Heritage Resources Act, 1999, (Act No. 25 of 1999), including Archaeological or palaeontological sites, on or close (within 20m) to the site?	YES	NO
	Uncertain	
If YES, explain:		
-		
If uncertain, conduct a specialist investigation by a recognised specialist in the field to establish whether there is such a feature(s) present on or close to the site.		
Briefly explain the findings of the specialist:		
-		
Will any building or structure older than 60 years be affected in any way?	YES	NO
Is it necessary to apply for a permit in terms of the National Heritage Resources Act, 1999 (Act 25 of 1999)?	YES	NO
If yes, please submit or, make sure that the applicant or a specialist submits the necessary application to SAHRA or the relevant provincial heritage agency and attach proof thereof to this application if such application has been made.		

## SECTION C: PUBLIC PARTICIPATION

### 1. ADVERTISEMENT

The person conducting a public participation process must take into account any guidelines applicable to public participation as contemplated in section 24J of the Act and must give notice to all potential interested and affected parties of the application which is subjected to public participation by—

- (a) fixing a notice board (of a size at least 60cm by 42cm; and must display the required information in lettering and in a format as may be determined by the competent authority) at a place conspicuous to the public at the boundary or on the fence of—
  - (i) the site where the activity to which the application relates is or is to be undertaken; and
  - (ii) any alternative site mentioned in the application;
- (b) giving written notice to—
  - (i) the owner or person in control of that land if the applicant is not the owner or person in control of the land;
  - (ii) the occupiers of the site where the activity is or is to be undertaken or to any alternative site where the activity is to be undertaken;
  - (iii) owners and occupiers of land adjacent to the site where the activity is or is to be undertaken or to any alternative site where the activity is to be undertaken;
  - (iv) the municipal councillor of the ward in which the site or alternative site is situated and any organisation of ratepayers that represent the community in the area;
  - (v) the municipality which has jurisdiction in the area;
  - (vi) any organ of state having jurisdiction in respect of any aspect of the activity; and
  - (vii) any other party as required by the competent authority;
- (c) placing an advertisement in—
  - (i) one local newspaper; or
  - (ii) any official *Gazette* that is published specifically for the purpose of providing public notice of applications or other submissions made in terms of these Regulations;
- (d) placing an advertisement in at least one provincial newspaper or national newspaper, if the activity has or may have an impact that extends beyond the boundaries of the metropolitan or local municipality in which it is or will be undertaken: Provided that this paragraph need not be complied with if an advertisement has been placed in an official *Gazette* referred to in subregulation 54(c)(ii); and
- (e) using reasonable alternative methods, as agreed to by the competent authority, in those instances where a person is desiring of but unable to participate in the process due to—
  - (i) illiteracy;
  - (ii) disability; or
  - (iii) any other disadvantage.

### 2. CONTENT OF ADVERTISEMENTS AND NOTICES

A notice board, advertisement or notices must:

- (a) indicate the details of the application which is subjected to public participation; and
- (b) state—
  - (i) that the application has been submitted to the competent authority in terms of these Regulations, as the case may be;

- (ii) whether basic assessment or scoping procedures are being applied to the application, in the case of an application for environmental authorisation;
- (iii) the nature and location of the activity to which the application relates;
- (iv) where further information on the application or activity can be obtained; and
- (iv) the manner in which and the person to whom representations in respect of the application may be made.

### **3. PLACEMENT OF ADVERTISEMENTS AND NOTICES**

Where the proposed activity may have impacts that extend beyond the municipal area where it is located, a notice must be placed in at least one provincial newspaper or national newspaper, indicating that an application will be submitted to the competent authority in terms of these regulations, the nature and location of the activity, where further information on the proposed activity can be obtained and the manner in which representations in respect of the application can be made, unless a notice has been placed in any *Gazette* that is published specifically for the purpose of providing notice to the public of applications made in terms of the EIA regulations.

Advertisements and notices must make provision for all alternatives.

### **4. DETERMINATION OF APPROPRIATE MEASURES**

The practitioner must ensure that the public participation is adequate and must determine whether a public meeting or any other additional measure is appropriate or not based on the particular nature of each case. Special attention should be given to the involvement of local community structures such as Ward Committees, ratepayers associations and traditional authorities where appropriate. Please note that public concerns that emerge at a later stage that should have been addressed may cause the competent authority to withdraw any authorisation it may have issued if it becomes apparent that the public participation process was inadequate.

### **5. COMMENTS AND RESPONSE REPORT**

The practitioner must record all comments and respond to each comment of the public before the application is submitted. The comments and responses must be captured in a comments and response report as prescribed in the EIA regulations and be attached to this application. The comments and response report must be attached under Appendix E.

### **6. AUTHORITY PARTICIPATION**

Authorities are key interested and affected parties in each application and no decision on any application will be made before the relevant local authority is provided with the opportunity to give input. The planning and the environmental sections of the local authority must be informed of the application at least 30 (thirty) calendar days before the submission of the application.

List of authorities informed:

<p><b>Senqu Local Municipality</b> <b>Senqu Ward Councillor</b> <b>Ukhahlamba (Joe Gqabi) District Municipality</b> <b>South African Heritage Resources Authority</b></p>
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List of authorities from whom comments have been received:

**No comments have been received from any authorities.**

## 7. CONSULTATION WITH OTHER STAKEHOLDERS

Note that, for linear activities, or where deviation from the public participation requirements may be appropriate, the person conducting the public participation process may deviate from the requirements of that subregulation to the extent and in the manner as may be agreed to by the competent authority.

Any stakeholder that has a direct interest in the site or property, such as servitude holders and service providers, should be informed of the application at least 30 (thirty) calendar days before the submission of the application and be provided with the opportunity to comment.

Has any comment been received from stakeholders?

YES  NO

If "YES", briefly describe the feedback below (also attach copies of any correspondence to and from the stakeholders to this application):

-



## SECTION D: IMPACT ASSESSMENT

The assessment of impacts must adhere to the minimum requirements in the EIA Regulations, 2010, and should take applicable official guidelines into account. The issues raised by interested and affected parties should also be addressed in the assessment of impacts.

### 1. ISSUES RAISED BY INTERESTED AND AFFECTED PARTIES

List the main issues raised by interested and affected parties.

**No issues were raised by any interested & affected parties.**

Response from the practitioner to the issues raised by the interested and affected parties (A full response must be given in the Comments and Response Report that must be attached to this report):

**No issues were raised by any interested & affected parties.**

### 2. IMPACTS THAT MAY RESULT FROM THE PLANNING AND DESIGN, CONSTRUCTION, OPERATIONAL, DECOMMISSIONING AND CLOSURE PHASES AS WELL AS PROPOSED MANAGEMENT OF IDENTIFIED IMPACTS AND PROPOSED MITIGATION MEASURES

List the potential direct, indirect and cumulative property/activity/design/technology/operational alternative related impacts (as appropriate) that are likely to occur as a result of the planning and design phase, construction phase, operational phase, decommissioning and closure phase, including impacts relating to the choice of site/activity/technology alternatives as well as the mitigation measures that may eliminate or reduce the potential impacts listed.

#### Alternative 1 (preferred alternative)

##### **Direct impacts:**

##### ***(Planning & design phase)***

##### **PHYSICAL:**

1. **Safety aspects:** The following safety aspects were taken into consideration in planning the base station:
  - **Position & height in terms of official airports, helipads and air traffic routes as determined by SACAA. Mitigated in terms of the approved CAA prescribing day & night markings.**
  - **General installation safety for the general public, owners, technicians etc.: Engineering services incorporated in the design of the mast, foundations and other design and construction safety aspects of the base station;**
  - **Base station to be surrounded with a 2.4m high galvanised steel palisade fence to prevent unauthorised access to the base station area and mast.**
2. **Visual impact:** Evaluation of structure type, height & position, taking into consideration the purpose and objective of the planned activity in terms of mobile telecommunication coverage area and quality of coverage. New 60m lattice telecommunication mast painted red and white with base station selected as most appropriate based on:
  - Investigation of sharing existing infrastructure: The specific site requirements needed by, Cell C are:**
    - **Physical space for two sets of antennae, two microwave dishes and 14 feeder cables;**
    - **Wind load capacity for above mentioned equipment;**

- Minimum height of 60m; and
- Space and load capacity for future upgrading or advances in technology.

These specifications is not available within the establishment area required in terms of the coverage objectives;

- 60m height required to achieve maximum coverage objectives in the specific environment and therefore reducing the need for additional base stations to achieve/maintain the same coverage within the coverage target area;
- Facility sharing capacity incorporated in design to make provision for and promote the sharing of infrastructure in order to prevent the proliferation of masts;
- Lattice type structure most suitable to fulfil the coverage objectives of the base station due to the coverage range required and the high flexibility of utilising the mast height for varying antennae installation configurations;
- Lattice design mast painted red & white provides maximum mitigation with maximum visibility from the air to prevent aircraft accidents (day & night markings, prescribed by the SACAA). 60m Red & white lattice mast provides no mitigation of the short range visual impact from the ground. However due to the low population density this impact is not regarded as significant. Red & white lattice mast provides high mitigation of the medium to long range visual impact from the ground due to the blending capability of the more transparent type mast against the sky background.
- 2.4m high galvanised steel palisade fence provide maximum mitigation of the short to long range visual impact of the telecommunication base station due to the blending capability with the surrounding environment and against the sky background.

**BIOLOGICAL:**

No expected or proven biological impacts will result from the proposed development. The base station is situated in an area that is already disturbed by human activity.

**SOCIO-ECONOMIC:**

Site position has been determined based on the requirement to deliver mobile telecommunication signal coverage and availability within the target area enabling the residents, business entities and the general public within the area to select and maintain quality telecommunication services and connectivity via the Cell C mobile telecommunication network. Cell C (Pty) Ltd is obliged to fulfil their licence terms and conditions, as determined by government, in providing mobile telephony and related services on a reliable national network grid.

***(Construction phase)***

Construction of the telecommunication base station will extend over a period of approximately 6 weeks only;

1. Increased activity and traffic at the property including material delivery and work team movements.
2. Minimum disruption of operations within the vicinity as the base station is located in an area with relatively low activity.
3. Increased workplace accident risk due to the mere occurrence of the activity.
4. Creation of dust and disturbance of specific soil layers due to earthwork activities.
5. Erosion and contamination of topsoil.
6. Generation of standard building rubble & the transportation thereof to the appropriate licensed landfill site.

7. Generation of construction noise created by earthwork machinery and other applicable tooling used for the establishment of the base station.

***(Operational phase)***

1. Increased electricity consumption on the existing supply grid.
2. Noise generation by air conditioning units and by backup generator if electricity supply fails.
3. Non-ionised electromagnetic fields emissions on allocated frequency.
4. Increase in potential air traffic obstacles.
5. Visual impact of the 60m lattice mast painted red & white on short, medium and long distance observation.
6. Increased mobile telecommunication network capacity.

**Indirect impacts:**

***(Planning & design phase)***

The property coverage and development potential has been taken into consideration in selecting the position of the activity. The exact position of the activity on the property was determined, in consultation with the property owner, to minimise the possible impact on existing operations and future development plans or phases. Therefore the commercial value of the property is maintained.

Electricity will be supplied from the existing electricity grid. Minimum usage due to economical and energy efficient design.

***(Construction phase)***

Additional waste at appropriately certified dumping site.

***(Operational phase)***

1. Minute increase in electricity generation base material usage.
2. Increased use of quality telecommunication services with the appropriate revenue increase and potential increased economic activity and financial returns.

**Cumulative impacts:**

***(Planning & design phase)***

No cumulative impacts relating to the design and planning phases are applicable.

***(Construction phase)***

Construction activity.

***(Operational phase)***

Increased telecommunication infrastructure availability and quality.

***(Decommissioning & closure phase)***

**Direct impacts:**

1. Establishment of new mobile telecommunication infrastructure elsewhere to fill the network coverage gap caused by decommissioning.
2. Creation of waste due to decommissioning.
3. Disturbed area.

**Indirect impacts:**

Potential waste of resources.

**Cumulative impacts:**

None

## Alternative 2

### Direct impacts:

*(Planning & design phase)*

#### PHYSICAL:

1. **Safety aspects:** The following safety aspects were taken into consideration in planning the base station:
  - Position & height in terms of official airports, helipads and air traffic routes as determined by SACAA. Mitigated in terms of the approved CAA prescribing day & night markings.
  - General installation safety for the general public, owners, technicians etc.: Engineering services incorporated in the design of the mast, foundations and other design and construction safety aspects of the base station;
  - Base station to be surrounded with a 2.4m high galvanised steel palisade fence to prevent unauthorised access to the base station area and mast.
2. **Visual impact:** Evaluation of structure type, height & position, taking into consideration the purpose and objective of the planned activity in terms of mobile telecommunication coverage area and quality of coverage. New 70m lattice telecommunication mast painted red and white with base station selected as appropriate based on:
  - Investigation of sharing existing infrastructure: The specific site requirements needed by, Cell C are:
    - Physical space for two sets of antennae, two microwave dishes and 14 feeder cables;
    - Wind load capacity for above mentioned equipment;
    - Minimum height of 60m; and
    - Space and load capacity for future upgrading or advances in technology.
  - These specifications is not available within the establishment area required in terms of the coverage objectives;
  - 60m height required to achieve maximum coverage objectives in the specific environment and therefore reducing the need for additional base stations to achieve/maintain the same coverage within the coverage target area;
  - Facility sharing capacity incorporated in design to make provision for and promote the sharing of infrastructure in order to prevent the proliferation of masts;
  - Lattice type structure most suitable to fulfil the coverage objectives of the base station due to the coverage range required and the high flexibility of utilising the mast height for varying antennae installation configurations;
  - Lattice design mast painted red & white provides maximum mitigation with maximum visibility from the air to prevent aircraft accidents (day & night markings, prescribed by the SACAA). 70m Red & white lattice mast provides no mitigation of the short range visual impact from the ground. However due to the low population density this impact is not regarded as significant. Red & white lattice mast provides high mitigation of the medium to long range visual impact from the ground due to the blending capability of the more transparent type mast against the sky background.
  - 2.4m high galvanised steel palisade fence provide maximum mitigation of the short to long range visual impact of the telecommunication base station due to the blending capability with the surrounding environment and against the sky background.

**BIOLOGICAL:**

No expected or proven biological impacts will result from the proposed development. The base station is situated in an area that is already disturbed by human activity.

**SOCIO-ECONOMIC:**

Site position has been determined based on the requirement to deliver mobile telecommunication signal coverage and availability within the target area enabling the residents, business entities and the general public within the area to select and maintain quality telecommunication services and connectivity via the Cell C mobile telecommunication network. Cell C (Pty) Ltd is obliged to fulfil their licence terms and conditions, as determined by government, in providing mobile telephony and related services on a reliable national network grid.

***(Construction phase)***

Construction of the telecommunication base station will extend over a period of approximately 6 weeks only;

1. Increased activity and traffic at the property including material delivery and work team movements.
2. Minimum disruption of operations within the vicinity as the base station is located in an area with relatively low activity.
3. Increased workplace accident risk due to the mere occurrence of the activity.
4. Creation of dust and disturbance of specific soil layers due to earthwork activities.
5. Erosion and contamination of topsoil.
6. Generation of standard building rubble & the transportation thereof to the appropriate licensed landfill site.
7. Generation of construction noise created by earthwork machinery and other applicable tooling used for the establishment of the base station.

***(Operational phase)***

1. Increased electricity consumption on the existing supply grid.
2. Noise generation by air conditioning units and by backup generator if electricity supply fails.
3. Non-ionised electromagnetic fields emissions on allocated frequency.
4. Increase in potential air traffic obstacles.
5. Visual impact of the 70m lattice mast painted red & white on short, medium and long distance observation.
6. Increased mobile telecommunication network capacity.

**Indirect impacts:**

***(Planning & design phase)***

The property coverage and development potential has been taken into consideration in selecting the position of the activity. The exact position of the activity on the property was determined, in consultation with the property owner, to minimise the possible impact on existing operations and future development plans or phases. Therefore the commercial value of the property is maintained.

Electricity will be supplied from the existing electricity grid. Minimum usage due to economical and energy efficient design.

***(Construction phase)***

Additional waste at appropriately certified dumping site.

***(Operational phase)***

1. Minute increase in electricity generation base material usage.
2. Increased use of quality telecommunication services with the appropriate revenue increase and potential increased economic activity and financial returns.

**Cumulative impacts:**

***(Planning & design phase)***

No cumulative impacts relating to the design and planning phases are applicable.

***(Construction phase)***

Construction activity.

***(Operational phase)***

Increased telecommunication infrastructure availability and quality.

***(Decommissioning & closure phase)***

**Direct impacts:**

1. Establishment of new mobile telecommunication infrastructure elsewhere to fill the network coverage gap caused by decommissioning.
2. Creation of waste due to decommissioning.
3. Disturbed area.

**Indirect impacts:**

Potential waste of resources.

**Cumulative impacts:**

None

### **3. ENVIRONMENTAL IMPACT STATEMENT**

Taking the assessment of potential impacts into account, please provide an environmental impact statement that summarises the impact that the proposed activity and its alternatives may have on the environment after the management and mitigation of impacts have been taken into account, with specific reference to types of impact, duration of impacts, likelihood of potential impacts actually occurring and the significance of impacts.

**Alternative A (preferred alternative)**

The positive impact of the proposed activity will, taking into consideration the implementation of mitigating measures to minimise the negative impacts on the environment, have a positive overall impact.

**Physical impacts:**

1. The planning & design of the telecommunication base station is considerate of operational and public demand needs and is done on the principle of minimising any negative impacts on the receiving environment.
2. The negative impacts during the construction phase, as indicated earlier in the assessment report, are temporary and will not have a long term effect on the proposed development or immediate area. These impacts will last for a maximum of 6 weeks only.
3. The permanent visual impact of the lattice mast is the highest contributing negative impact of the proposed activity on the receiving environment. Lattice design mast painted red & white provides maximum mitigation with maximum visibility from the air to prevent aircraft accidents (day & night markings prescribed by the SACAA). 60m Red & white lattice mast provides no mitigation of the short range visual impact

from the ground. However the population density is low and therefore this impact is not regarded as significant. 60m Red & white lattice mast provides high mitigation of the medium to long range visual impact from the ground due to the blending capability of the transparent type mast against the sky background.

4. The site is designed for use by additional telecommunication service providers. This mitigation measure will possibly prevent the establishment of additional base stations by other operators within the immediate area.

**Biological impacts:**

5. No expected or proven biological impacts will result from the proposed development. The base station is situated in an area that is already disturbed by human activity.

**Socio-economic impacts:**

6. The local electricity supply grid can accommodate the additional load required by the base station. The base station design requires a 3-phase electricity supply at a maximum demand of 80A.

There are no other feasible alternatives, except a height alternative for the purposes of this activity. The proposed position is based on the radio planning of Cell C (Pty) Ltd. The location of this site is the position to provide optimum coverage on the Cell C (Pty) Ltd network.

**Alternative S2**

The positive impact of the proposed activity will, taking into consideration the implementation of mitigating measures to minimise the negative impacts on the environment, have a positive overall impact.

**Physical impacts:**

1. The planning & design of the telecommunication base station is considerate of operational and public demand needs and is done on the principle of minimising any negative impacts on the receiving environment.
2. The negative impacts during the construction phase, as indicated earlier in the assessment report, are temporary and will not have a long term effect on the proposed development or immediate area. These impacts will last for a maximum of 6 weeks only.
3. The permanent visual impact of the lattice mast is the highest contributing negative impact of the proposed activity on the receiving environment. Lattice design mast painted red & white provides maximum mitigation with maximum visibility from the air to prevent aircraft accidents (day & night markings prescribed by the SACAA). 70m Red & white lattice mast provides no mitigation of the short range visual impact from the ground. However the population density is low and therefore this impact is not regarded as significant. 70m Red & white lattice mast provides high mitigation of the medium to long range visual impact from the ground due to the blending capability of the transparent type mast against the sky background.
4. The site is designed for use by additional telecommunication service providers. This mitigation measure will possibly prevent the establishment of additional base stations by other operators within the immediate area.

**Biological impacts:**

1. **No expected or proven biological impacts will result from the proposed development. The base station is situated in an area that is already disturbed by human activity. .**

**Socio-economic impacts:**

1. **The local electricity supply grid can accommodate the additional load required by the base station. The base station design requires a 3-phase electricity supply at a maximum demand of 80A.**



## SECTION E. RECOMMENDATIONS OF PRACTITIONER

Is the information contained in this report and the documentation attached hereto sufficient to make a decision in respect of the activity applied for (in the view of the environmental assessment practitioner)?

YES	NO
YES	NO

Is an EMPr attached?

The EMPr must be attached as Appendix F.

If "NO", indicate the aspects that should be assessed further as part of a Scoping and EIA process before a decision can be made (list the aspects that require further assessment):

-

If "YES", please list any recommended conditions, including mitigation measures that should be considered for inclusion in any authorisation that may be granted by the competent authority in respect of the application:

- 1. Telecommunication base station with a 60m lattice mast painted red and white to be established on the Alternative 1 (preferred) proposed position as indicated on the attached plans.**
- 2. Measures to be implemented for the duration of the construction period to prevent unauthorised access to the construction site.**
- 3. Dust suppression measures to be implemented during earthworks.**
- 4. Appropriate arrangements to be made with the property owner for the use of existing sanitation facilities by construction workers or otherwise for the provision of chemical toilets during the construction phase.**
- 5. Telecommunication base station to be enclosed with a 2.4m high galvanised steel palisade fence.**
- 6. Top soil to be stored separately for appropriate landscaping distribution on completion of construction.**
- 7. Required electricity connection point to be established in consultation with the property owner and electricity supplier.**
- 8. All the prevention and mitigation measures described in this report and in the EMPr must be implemented and monitored.**

## **SECTION F: APPENDICES**

The following appendixes must be attached as appropriate:

Appendix A: Site plan(s)

Appendix B: Photographs

Appendix C: Facility illustration(s)

Appendix D: Specialist reports

Appendix E: Comments and responses report

Appendix F: Environmental Management Programme (EMPr)

Appendix G: Other information

**Appendix A: Site Plans**

NO.	DATE	DESCRIPTION
0	25/11/2011	FIRST ISSUE

**PROJECT:**  
NEW 14K14MHz TELECOMMUNICATION BASESTATION WITH A LATTICE MAST FOR CELL C (PTY) LTD

**DRAWN BY:** MELISSA YOUNG  
**PROPERTY DESCRIPTION:**  
REMAINDER OF THE FARM THE CAVES  
87 BARKLEY EAST RD

**OWNER:**  
PIET & DALENA STEYN FAMILY TRUST

**COORDINATES:**  
LAT: -30.862207° S  
LONG: 27.721050° E

**APPROVALS:**  
**CELL C RF PLANNER:**  
Signature: \_\_\_\_\_  
Date: \_\_\_\_\_

**CELL C IMPLEMENTATION:**  
Signature: \_\_\_\_\_  
Date: \_\_\_\_\_

**CELL C REAL ESTATE CO-ORDINATOR:**  
Signature: \_\_\_\_\_  
Date: \_\_\_\_\_

**CELL C ENGINEER:**  
Name: \_\_\_\_\_  
Signature: \_\_\_\_\_  
Number: \_\_\_\_\_

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150 Rivonia Road Fax: +27 (11) 324 4001  
Sandown  
SANDOWN  
2010

**ZTE中兴**

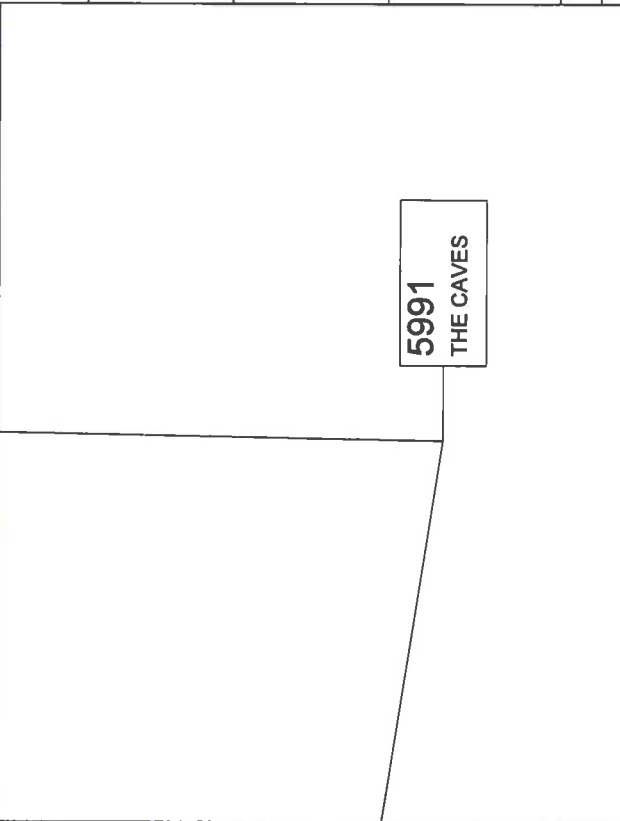
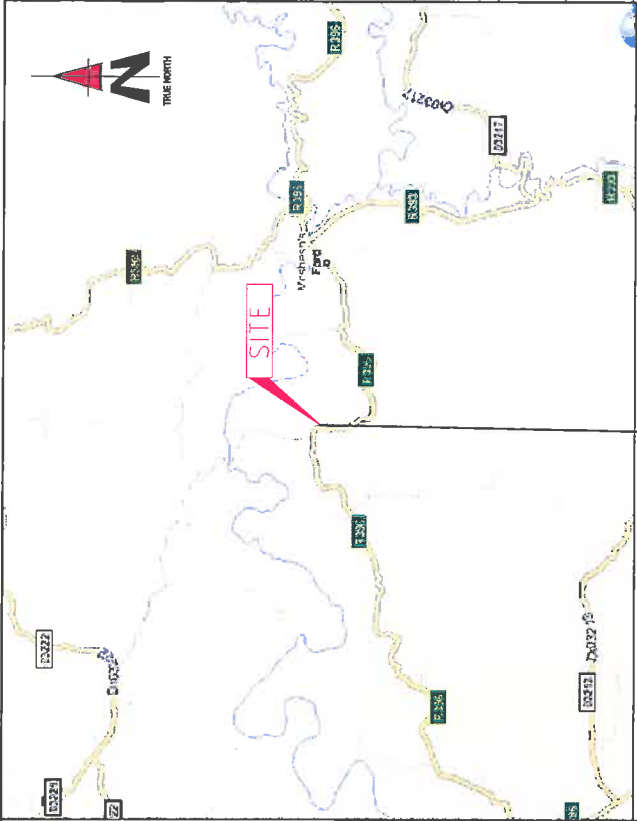
163 Herold Viewward Drive  
Typeberg Office Park  
Typeberg Office Building  
Pretoria  
Cape Town 7500

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info@torbihousesolutions.co.za

REVISION:	0	SHEET NO:	1 OF 11	ISSUE:	1	SCALE:	NTS
SITE NO:	5991						

**SITE NAME AND ADDRESS:**  
THE CAVES  
OFF THE R398,  
TOWARDS THE KRAAI RIVER BRIDGE,  
EASTERN CAPE






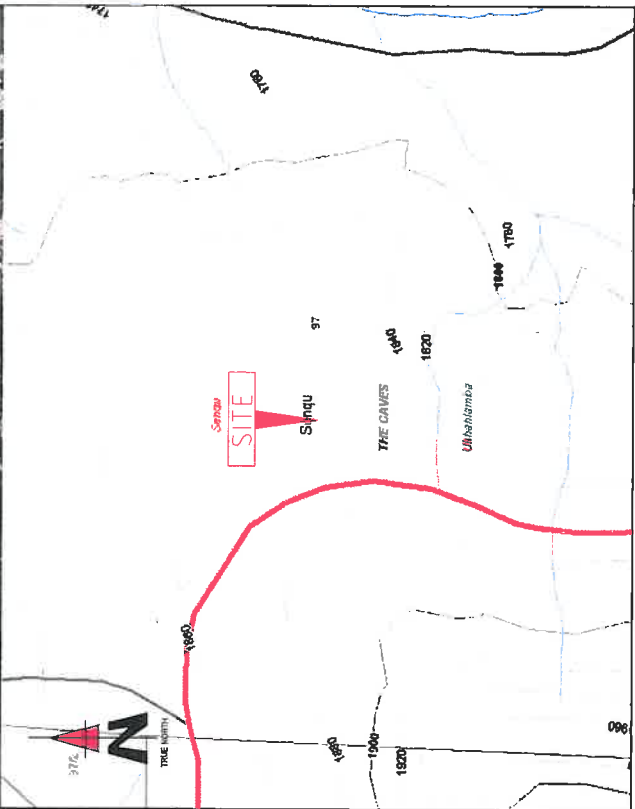
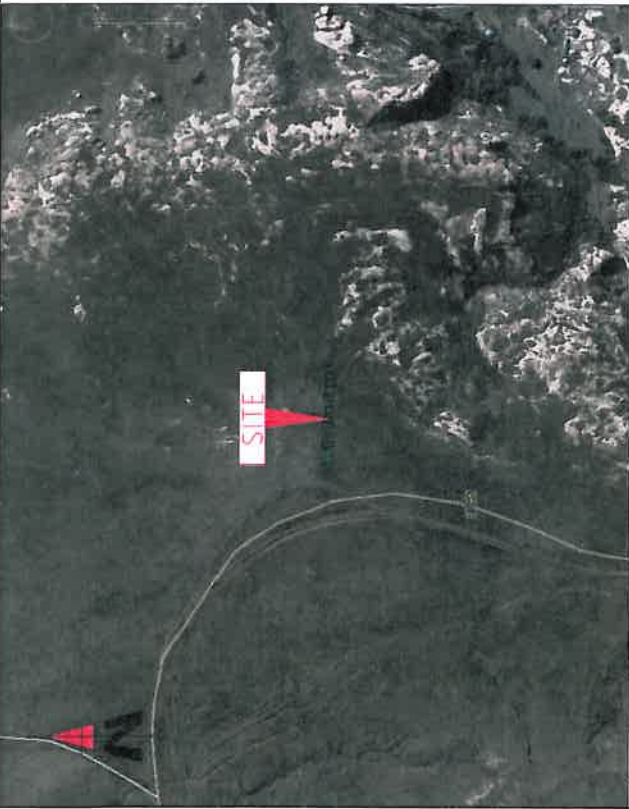
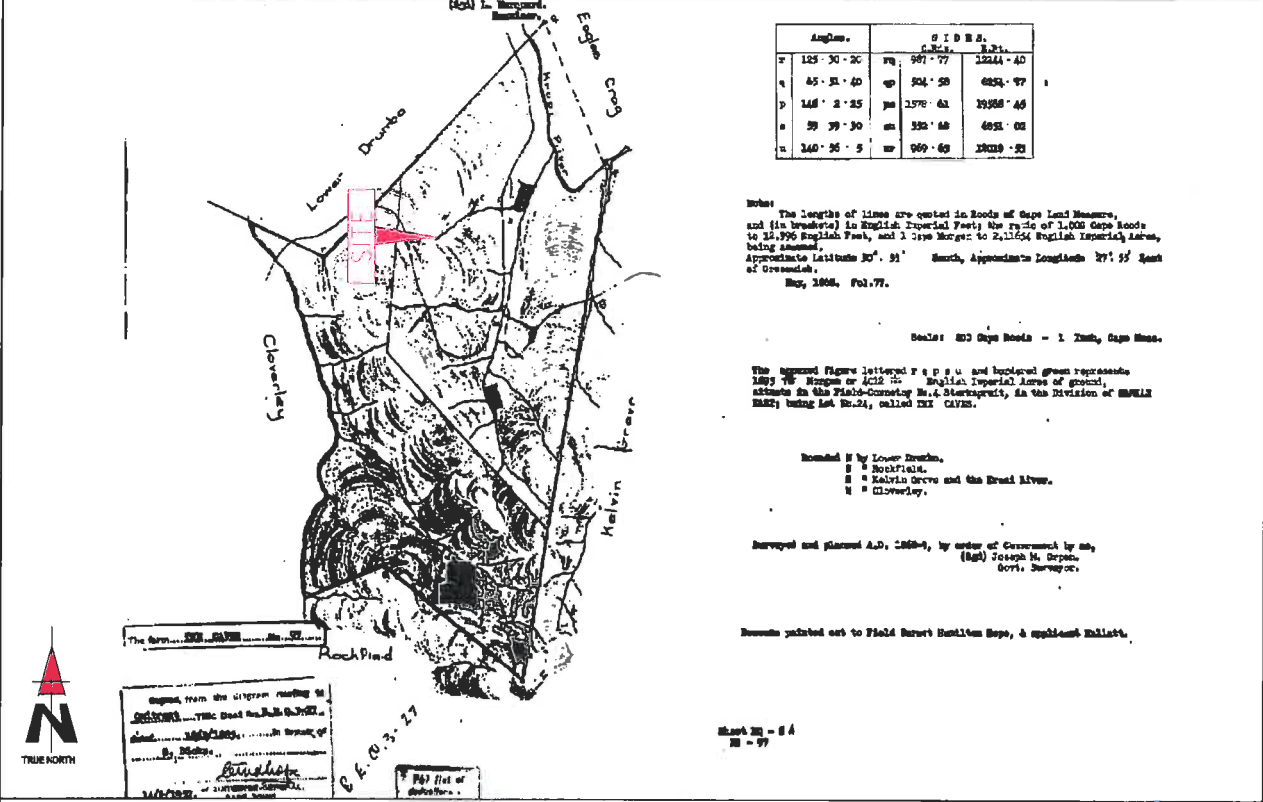
**5991  
THE CAVES**

**LOCALITY MAP**

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DRAWING MUST BE SCALED. ONLY REQUIRED DIMENSIONS TO BE VERIFIED ON SITE BEFORE COMMENCEMENT OF WORK.  
ALL WORK TO BE PERFORMED ACCORDING TO LATEST CELL C (PTY) LTD SITE INFRASTRUCTURE SPECIFICATIONS

NO.	DATE	DESCRIPTION
0	25/11/2011	FIRST ISSUE
PROJECT: NEW 4x4km TELECOMMUNICATION BASESTATION WITH A LATTICE MAST FOR CELL C (PTY) LTD DRAWN BY: MELISSA YOUNG PROPERTY DESCRIPTION: REMAINDER OF THE FARM THE CAVES 97 BARKLEY EAST RD OWNER: PIET & DALENA STEYN FAMILY TRUST COORDINATES: LAT: -30.85220° S LONG: 27.721050° E APPROVALS: CELL C RF PLANNER: Signature: _____ Date: _____ CELL C IMPLEMENTATION: Signature: _____ Date: _____ CELL C REAL ESTATE CO-ORDINATOR: Signature: _____ Date: _____ CELL C ENGINEER: Name: _____ Signature: _____ Number: _____		
  		
March Office (Pty) Ltd 150 Rivonia Road Sandown Tel: +27 (11) 324 4000 Fax: +27 (11) 324 4001 Phone Camp 206 Sandown 2010 153 Herold Viewwood Drive Tygerberg Office Park Tygerberg Cape Town, 7900 P.O. Box 20317 414 De Witt Road Glenwood Durban Tel: +27 (31) 841 1504 Fax: +27 (31) 841 7072 info@torbuousesolutions.co.za 0184		
REVISION:	SHEET NO:	ISSUE:
0	2 OF 11	1
SCALE:	NTS	
SITE NO:	6991	
SITE NAME AND ADDRESS: THE CAVES OFF THE R999, TOWARDS THE KRAAI RIVER BRIDGE, EASTERN CAPE		



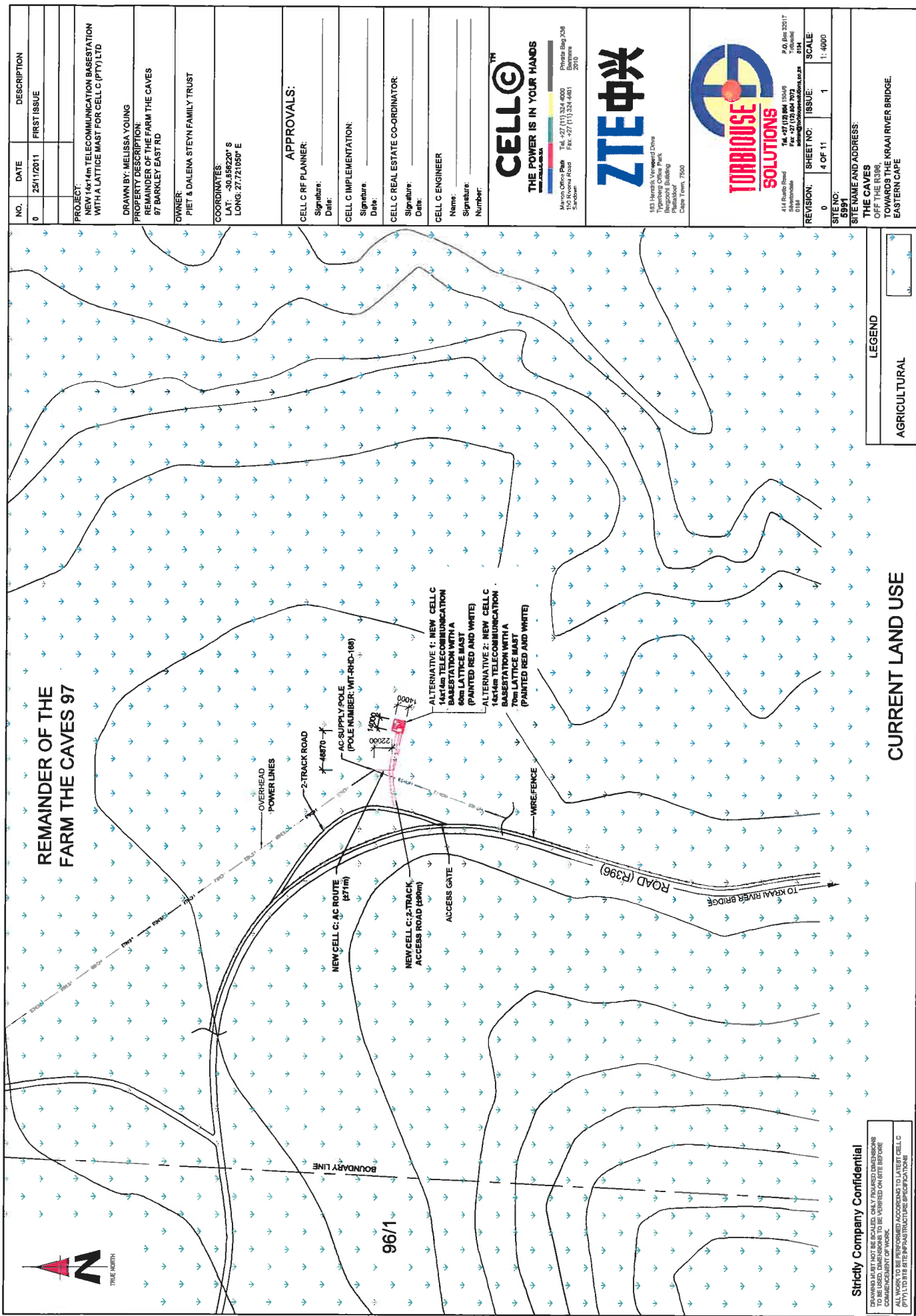
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CADASTRAL INFO





NO.	DATE	DESCRIPTION
0	25/11/2011	FIRST ISSUE

**PROJECT:**  
NEW 14x14m TELECOMMUNICATION BASESTATION WITH A LATTICE MAST FOR CELL C (PTY) LTD

**DRAWN BY:** MELISSA YOUNG

**PROPERTY DESCRIPTION:**  
REMAINDER OF THE FARM THE CAVES  
97 BARKLEY EAST RD

**OWNER:**  
PIET & DALENA STEYN FAMILY TRUST

**COORDINATES:**  
LAT: -30.89220° S  
LONG: 27.74195° E

**APPROVALS:**

**CELL C RF PLANNER:**  
Signature: \_\_\_\_\_  
Date: \_\_\_\_\_

**CELL C IMPLEMENTATION:**  
Signature: \_\_\_\_\_  
Date: \_\_\_\_\_

**CELL C REAL ESTATE CO-ORDINATOR:**  
Signature: \_\_\_\_\_  
Date: \_\_\_\_\_

**CELL C ENGINEER:**  
Name: \_\_\_\_\_  
Signature: \_\_\_\_\_  
Number: \_\_\_\_\_

**CELL C RF PLANNER:**  
Signature: \_\_\_\_\_  
Date: \_\_\_\_\_

**CELL C IMPLEMENTATION:**  
Signature: \_\_\_\_\_  
Date: \_\_\_\_\_

**CELL C REAL ESTATE CO-ORDINATOR:**  
Signature: \_\_\_\_\_  
Date: \_\_\_\_\_

**CELL C ENGINEER:**  
Name: \_\_\_\_\_  
Signature: \_\_\_\_\_  
Number: \_\_\_\_\_

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1413 Brackenford  
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0184

REVISION:	0	SHEET NO:	4 OF 11	ISSUE:	1	SCALE:	1:4000
SITE NO:		5851					
SITE NAME AND ADDRESS:							
THE CAVES OFF THE R396 TOWARDS THE KRAMI RIVER BRIDGE, EASTERN CAPE							

**LEGEND**

AGRICULTURAL

**CURRENT LAND USE**

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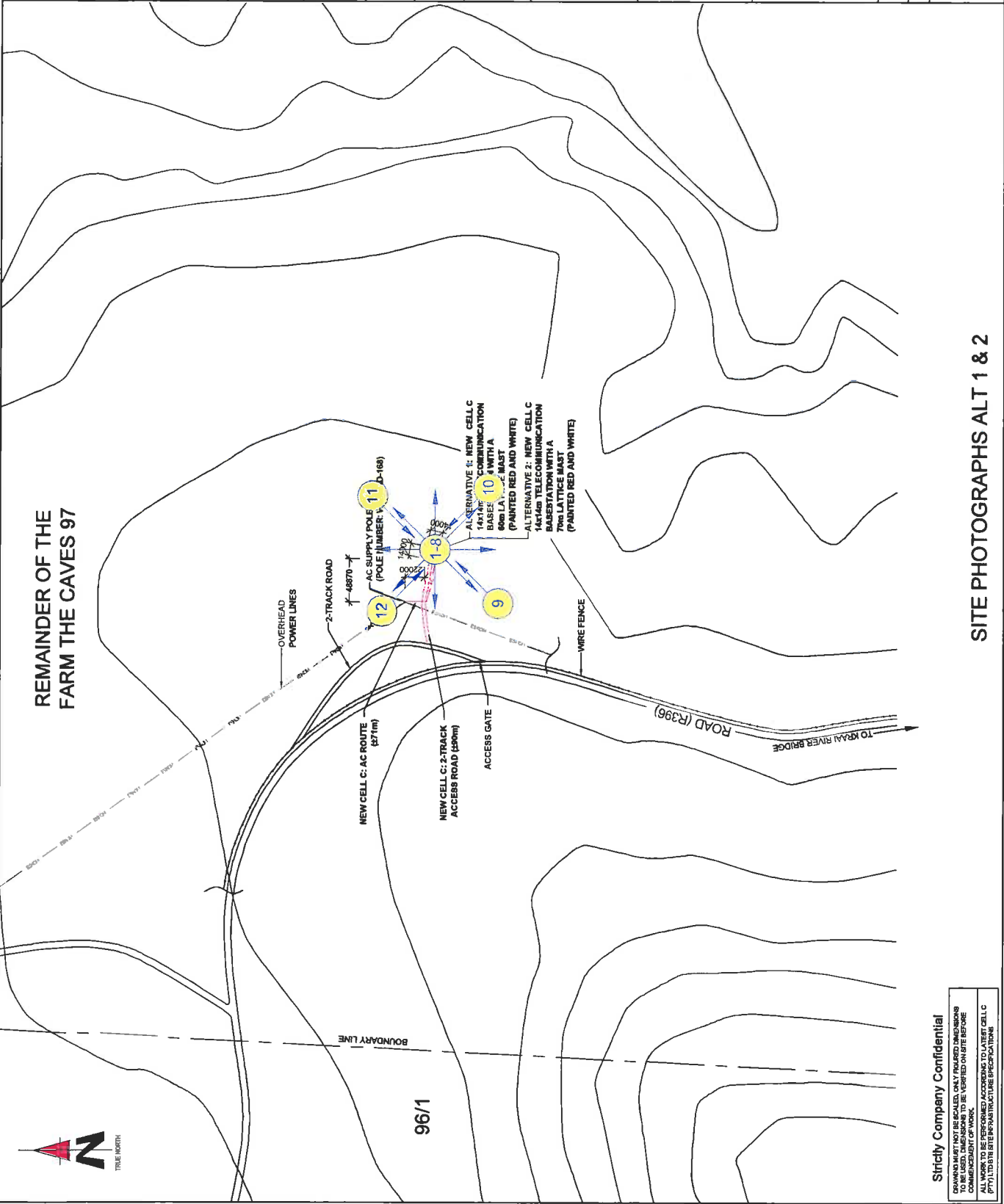
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ALL WORK TO BE PERFORMED ACCORDING TO LATEST CELL C  
(PTY) LTD SITE INFRASTRUCTURE SPECIFICATIONS





**Appendix B: Site Photographs**

NO.	DATE	DESCRIPTION
0	25/11/2011	FIRST ISSUE
<b>PROJECT:</b> NEW 14x14m TELECOMMUNICATION BASESTATION WITH A LATTICE MAST FOR CELL C (PTY)LTD		
<b>DRAWN BY:</b> MELISSA YOUNG		
<b>PROPERTY DESCRIPTION:</b> REMAINDER OF THE FARM THE CAVES 87 BARKLEY EAST RD		
<b>OWNER:</b> PIET & DALENA STEYN FAMILY TRUST		
<b>COORDINATES:</b> LAT: -30.856220° S LONG: 27.721050° E		
<b>APPROVALS:</b> <b>CELL C RF PLANNER:</b> Signature: _____ Date: _____		
<b>CELL C IMPLEMENTATION:</b> Signature: _____ Date: _____		
<b>CELL C REAL ESTATE CO-ORDINATOR:</b> Signature: _____ Date: _____		
<b>CELL C ENGINEER:</b> Name: _____ Signature: _____ Number: _____		
<b>CELL C<sup>TM</sup></b> <b>THE POWER IS IN YOUR HANDS</b> Munch Office Park T4 +27 (11) 324 4000 150 Kloofa Road, Bayswater, Johannesburg Fax: +27 (11) 324 4401		
<b>ZTE中兴</b> 183 Henrich Verweerd Drive Bayswater, Johannesburg Fax: +27 (11) 324 4000 Cape Town, 7500		
<b>TORBIROUSE SOLUTIONS</b> 414 Ruisda Street, Okavango Tel: +27 (11) 854 1500 Fax: +27 (11) 854 7972 admin@torbirusolutions.co.za		
<b>REVISION:</b> 0		<b>SCALE:</b> 1:4000
<b>SHEET NO:</b> 8 OF 11		<b>ISSUE:</b> 1
<b>SITE NAME AND ADDRESS:</b> THE CAVES OFF THE R396 TOWARDS THE KRAAI RIVER BRIDGE EASTERN CAPE		



SITE PHOTOGRAPHS ALT 1 & 2

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## SITE PHOTOGRAPHS



1. Panoramic view from the site direction North



2. Panoramic view from the site direction North East

# SITE PHOTOGRAPHS



**3. Panoramic view from the site direction East**



**4. Panoramic view from the site direction South East**

**SITE PHOTOGRAPHS**



**5. Panoramic view from the site direction South**



**6. Panoramic view from the site direction South West**

## SITE PHOTOGRAPHS



**7. Panoramic view from the site direction West**



**8. Panoramic view from the site direction North West**

# SITE PHOTOGRAPHS



9. View on basestation position direction North



10. View on base station position direction East

## SITE PHOTOGRAPHS



**11. View on base station position direction South**



**12. View on base station position direction West**



## SITE PHOTOGRAPHS

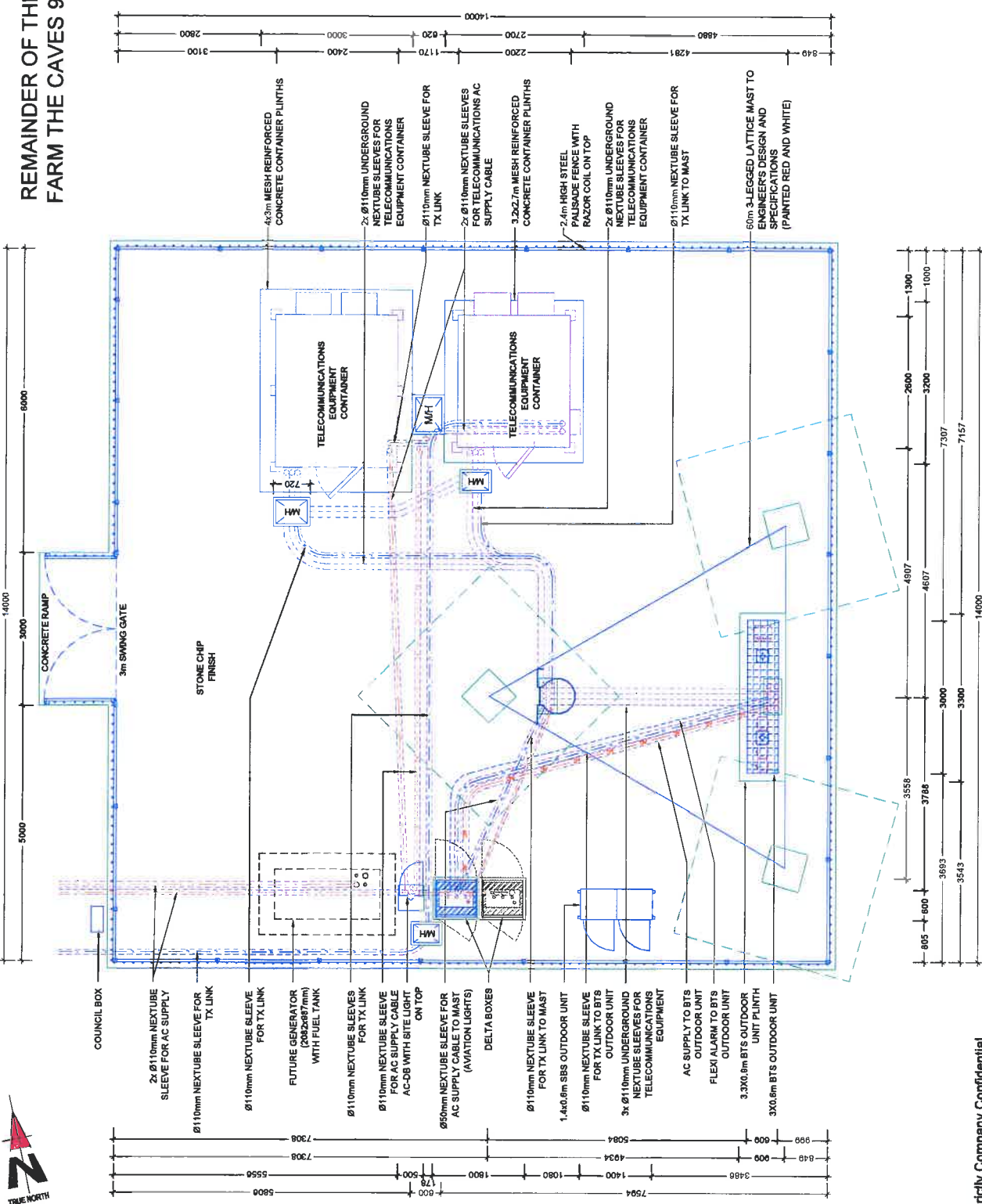


13. General view on site establishment area

**Appendix C: Facility Illustrations**



# REMAINDER OF THE FARM THE CAVES 97



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 TO BE VERIFIED ON SITE BEFORE  
 COMMENCEMENT OF WORK.  
 ALL WORK TO BE PERFORMED ACCORDING TO LATEST CELL C  
 (PTY) LTD SITE INFRASTRUCTURE SPECIFICATIONS

NO.	DATE	DESCRIPTION
0	25/11/2011	FIRST ISSUE

**PROJECT:**  
 NEW 4x2.1m TELECOMMUNICATION BASESTATION WITH A LATTICE MAST FOR CELL C (PTY) LTD

**DRAWN BY:** MELISSA YOUNG

**PROPERTY DESCRIPTION:**  
 REMAINDER OF THE FARM THE CAVES  
 87 BARKLEY EAST RD

**OWNER:**  
 PIET & DALENA STEYN FAMILY TRUST

**COORDINATES:**  
 LAT: -30.659220° S  
 LONG: 27.721050° E

**APPROVALS:**

**CELL C RF PLANNER:**  
 Signature: \_\_\_\_\_  
 Date: \_\_\_\_\_

**CELL C IMPLEMENTATION:**  
 Signature: \_\_\_\_\_  
 Date: \_\_\_\_\_

**CELL C REAL ESTATE CO-ORDINATOR:**  
 Signature: \_\_\_\_\_  
 Date: \_\_\_\_\_

**CELL C ENGINEER:**  
 Name: \_\_\_\_\_  
 Signature: \_\_\_\_\_  
 Number: \_\_\_\_\_

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 152 Romaine Road Fax: +27 (0) 324 4001  
 Sandton 2010

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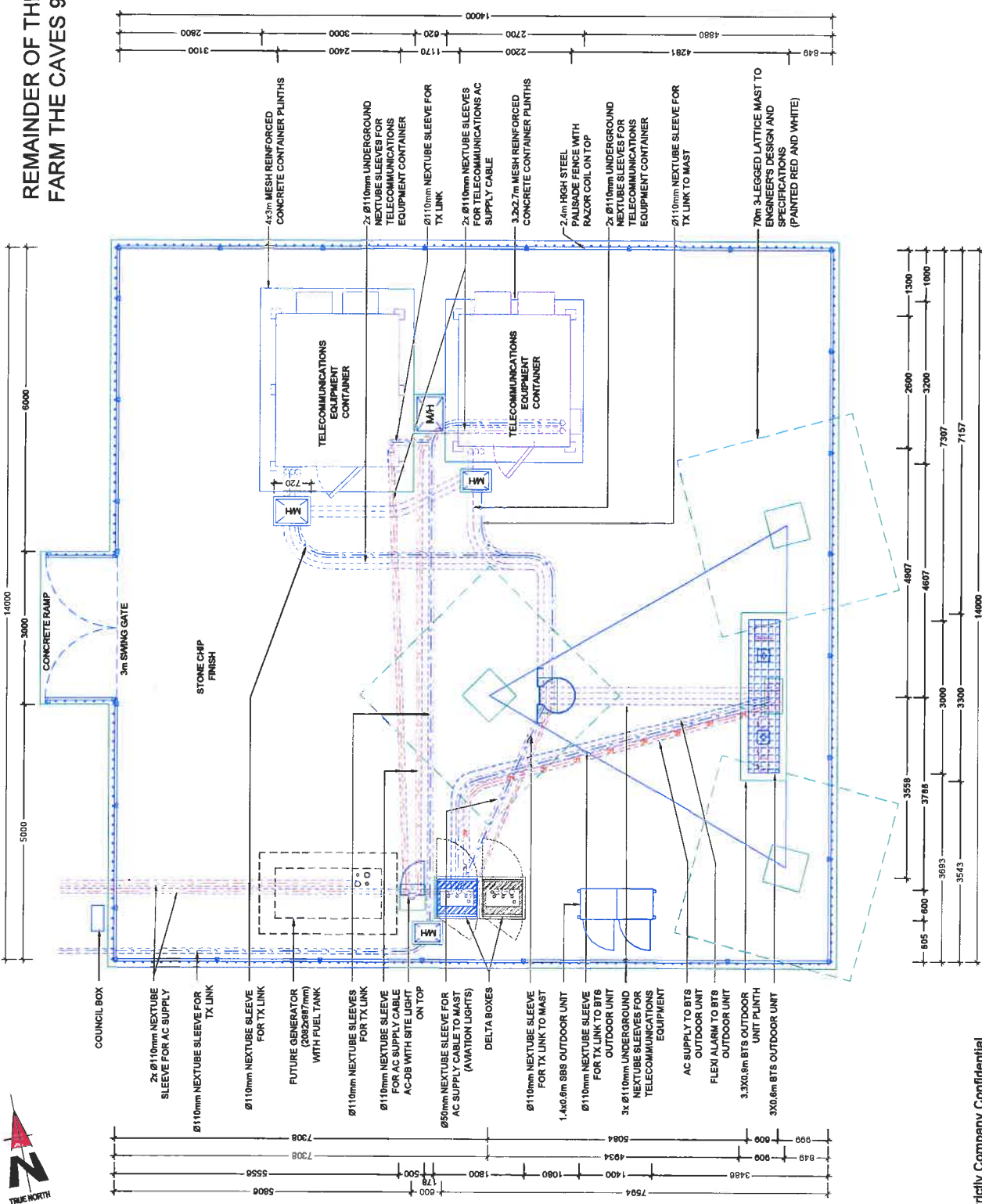
**SITE NO:** 5991

**SITE NAME AND ADDRESS:**  
 THE CAVES  
 OFF THE R396  
 TOWARDS THE KRAAI RIVER BRIDGE,  
 EASTERN CAPE

## ALTERNATIVE 1: SITE DETAIL



# REMAINDER OF THE FARM THE CAVES 97



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ALL WORK TO BE PERFORMED ACCORDING TO LATEST CELL C (PTY) LTD SITE INFRASTRUCTURE SPECIFICATIONS

## ALTERNATIVE 2: SITE DETAIL

NO.	DATE	DESCRIPTION
0	25/11/2011	FIRST ISSUE

PROJECT:  
NEW 14x14m TELECOMMUNICATION BASESTATION WITH A LATTICE MAST FOR CELL C (PTY) LTD

DRAWN BY: MELISSA YOUNG  
PROPERTY DESCRIPTION:  
REMAINDER OF THE FARM THE CAVES  
97, BARKLEY EAST RD  
OWNER:  
PIET & DALENA STEYN FAMILY TRUST

COORDINATES:  
LAT: -30.86220° S  
LONG: 27.721050° E

APPROVALS:  
CELL C RF PLANNER:  
Signature: \_\_\_\_\_  
Date: \_\_\_\_\_  
CELL C IMPLEMENTATION:  
Signature: \_\_\_\_\_  
Date: \_\_\_\_\_  
CELL C REAL ESTATE CO-ORDINATOR:  
Signature: \_\_\_\_\_  
Date: \_\_\_\_\_  
CELL C ENGINEER:  
Name: \_\_\_\_\_  
Signature: \_\_\_\_\_  
Number: \_\_\_\_\_

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7129  
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Fax: +27 (0) 21 851 1072  
info@torribousesolutions.co.za  
0184

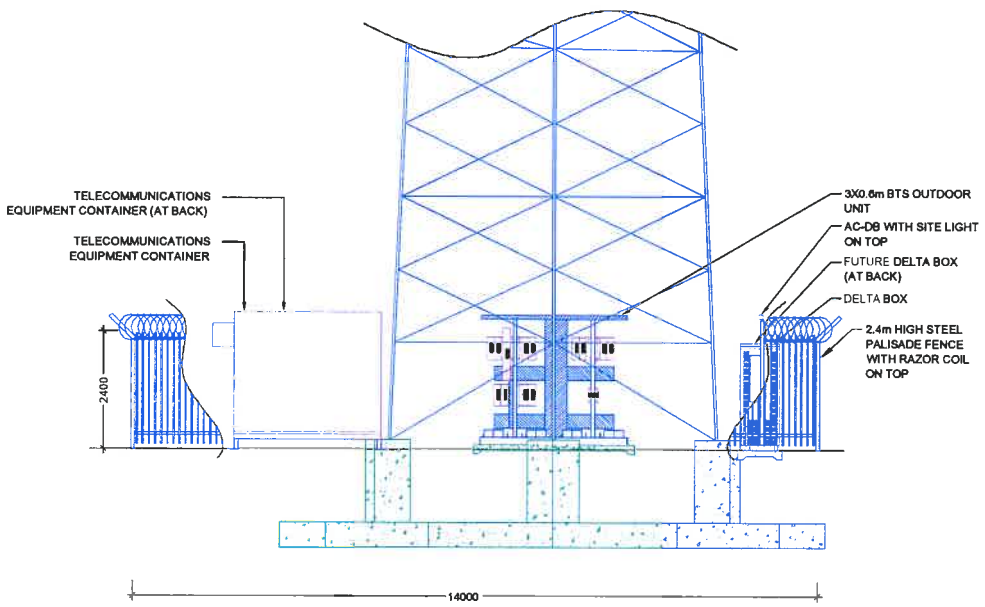
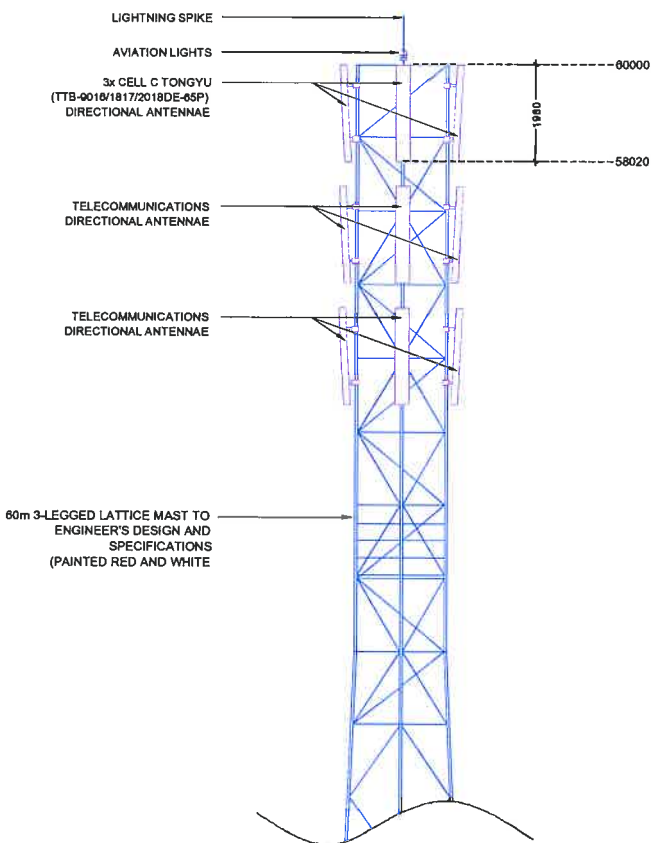
REVISION: SHEET NO: 1 ISSUE: 1 SCALE: 1:75  
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SITE NO: 5991

SITE NAME AND ADDRESS:  
THE CAVES  
OFF THE R398  
TOWARDS THE KRAAI RIVER BRIDGE  
EASTERN CAPE

**CELL C ANTENNAE KEY**

SECTOR	AZIMUTH	ANTENNA	HEIGHT - BOTTOM (m)	MECH. TILT	ELEC. TILT	FEEDER SIZE	FEEDER LENGTH (m)
1	17°	TONGVU (TTB-9018/18172018DE-65P)	59			7/8"	4.63
2	137°	TONGVU (TTB-9018/18172018DE-65P)	59			7/8"	4.63
3	157°	TONGVU (TTB-9018/18172018DE-65P)	59			7/8"	4.63



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 ALL WORK TO BE PERFORMED ACCORDING TO A TOWER CELL C  
 (PTV) TO THE SITE PERMANENTLY LOCATED SPECIFICATIONS

**ALTERNATIVE 1: EAST ELEVATION**

NO.	DATE	DESCRIPTION
0	25/11/2011	FIRST ISSUE

**PROJECT:**  
 NEW 4x4m TELECOMMUNICATION BASE STATION  
 WITH A LATTICE MAST FOR CELL C (PTV) LTD

**DRAWN BY:** MELISSA YOUNG

**PROPERTY DESCRIPTION:**  
 REMAINDER OF THE FARM THE CAVES  
 87 BARKLEY EAST RD

**OWNER:**  
 PIET & DALENA STEVEN FAMILY TRUST

**COORDINATES:**  
 LAT: -30.658220° S  
 LONG: 27.721050° E

**APPROVALS:**

**CELL C RF PLANNER:**  
 Signature: \_\_\_\_\_  
 Date: \_\_\_\_\_

**CELL C IMPLEMENTATION:**  
 Signature: \_\_\_\_\_  
 Date: \_\_\_\_\_

**CELL C REAL ESTATE CO-ORDINATOR:**  
 Signature: \_\_\_\_\_  
 Date: \_\_\_\_\_

**CELL C ENGINEER:**  
 Name: \_\_\_\_\_  
 Signature: \_\_\_\_\_  
 Number: \_\_\_\_\_

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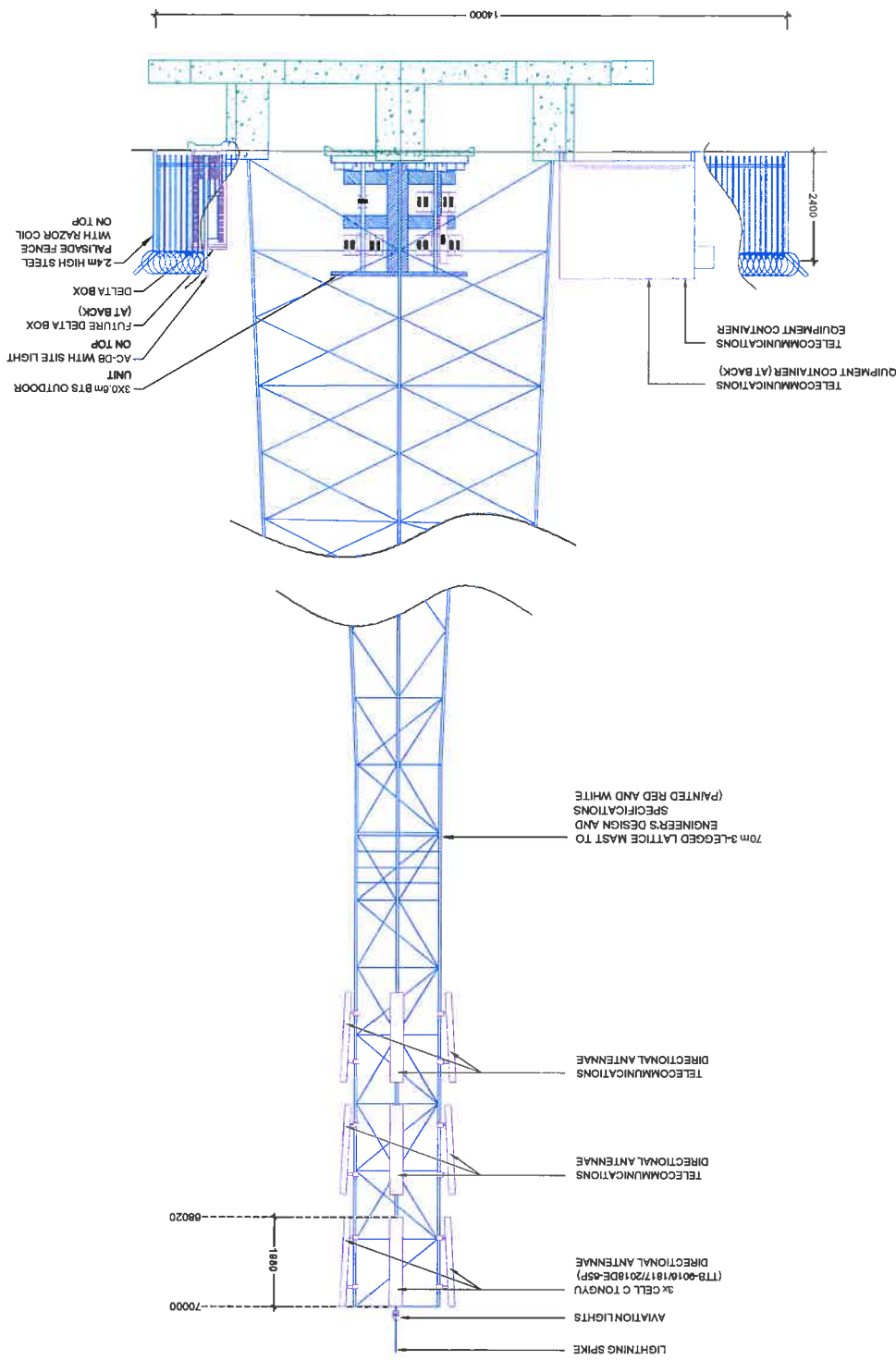
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 88841

**SITE NAME AND ADDRESS:**  
 THE CAVES  
 OFF THE ROAD  
 TOWARDS THE KROON RIVER BRIDGE,  
 EASTERN CAPE

**REVISION:**  
 SHEET NO. 1 OF 11  
 SCALE: 1:100

**CELL C ANTENNAE KEY**

SECTOR	AZIMUTH	ANTENNA	HEIGHT - BOTTOM (m)	MECH. TILT	ELEC. TILT	FEEDER SIZE	FEEDER LENGTH (m)
1	17°	TONGYU (TTB-9016/181720180E-65P)	68			7/8"	± 73
2	137°	TONGYU (TTB-9016/181720180E-65P)	68			7/8"	± 73
3	157°	TONGYU (TTB-9016/181720180E-65P)	68			7/8"	± 73



NO.	DATE	DESCRIPTION
0	25/11/2011	FIRST ISSUE

**PROJECT:**  
NEW 14x14km TELECOMMUNICATION BASESTATION WITH A LATTICE MAST FOR CELL C (PTY) LTD

**DRAWN BY:** MELISSA YOUNG

**PROPERTY DESCRIPTION:**  
REMAINDER OF THE FARM THE CAVES 87 BARKLEY EAST RD

**OWNER:**  
PIET & DALENA STEYN FAMILY TRUST

**COORDINATES:**  
LAT: -30.85220° S  
LONG: 27.721950° E

**APPROVALS:**  
CELL C RF PLANNER:  
Signature: \_\_\_\_\_  
Date: \_\_\_\_\_

CELL C IMPLEMENTATION:  
Signature: \_\_\_\_\_  
Date: \_\_\_\_\_

CELL C REAL ESTATE CO-ORDINATOR:  
Signature: \_\_\_\_\_  
Date: \_\_\_\_\_

CELL C ENGINEER:  
Name: \_\_\_\_\_  
Signature: \_\_\_\_\_  
Number: \_\_\_\_\_

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**REVISION:** 0  
**SHEET NO:** 10 OF 11  
**ISSUE:** 1  
**SCALE:** 1:100

**SITE NO:** 5991

**SITE NAME AND ADDRESS:**  
**THE CAVES**  
OFF THE R308  
TOWARDS THE KRAAI RIVER BRIDGE  
EASTERN CAPE

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**ALTERNATIVE 2: EAST ELEVATION**

NO.	DATE	DESCRIPTION
0	25/11/2011	FIRST ISSUE

**PROJECT:**  
NEW 14x4.4m TELECOMMUNICATION BASESTATION WITH A LATTICE MAST FOR CELL C (PTY) LTD

**DRAWN BY:** MELISSA YOUNG

**PROPERTY DESCRIPTION:**  
REMAINDER OF THE FARM THE CAVES  
87 BARKLEY EAST RD

**OWNER:**  
PIET & DALENA STEYN FAMILY TRUST

**COORDINATES:**  
LAT: -30.856220° S  
LONG: 27.721050° E

**APPROVALS:**

**CELL C RF PLANNER:**  
Signature: \_\_\_\_\_  
Date: \_\_\_\_\_

**CELL C IMPLEMENTATION:**  
Signature: \_\_\_\_\_  
Date: \_\_\_\_\_

**CELL C REAL ESTATE CO-ORDINATOR:**  
Signature: \_\_\_\_\_  
Date: \_\_\_\_\_

**CELL C ENGINEER:**  
Name: \_\_\_\_\_  
Signature: \_\_\_\_\_  
Number: \_\_\_\_\_

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REVISION:	0	SHEET NO:	11 OF 11	ISSUE:	1	SCALE:	NTS
SITE NO:		5991					
SITE NAME AND ADDRESS: THE CAVES OFF THE R398, TOWARDS THE KRAAI RIVER BRIDGE, EASTERN CAPE							



ALTERNATIVE 1 & 2  
TYPICAL 3-LEGGED LATTICE MAST  
(PAINTED RED & WHITE)

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**FACILITY ILLUSTRATION**

**Appendix D: Specialist Reports – Not Applicable**



**Appendix E: Comments and responses report**

## Interested & Affected Parties Register / Comments and Responses Report

Site number: 5991  
 Site Name: The Caves  
 EIA reference no.: JGEC 142/546/3/2012/02

<b>Interested and Affected Parties Register</b>					<b>Comments and Responses Report</b>			
No.	Date	Name	Address	Contact detail	Reacted to:	Record of Initial I&AP registration	Issues raised / Comments received	EAP Response
1	13/04/2012	The Municipal Manager, Senqu Local Municipality, Mr. MM Yawa, Environmental Management Section	PO Box 18, Lady Grey, 9755	Tel: (051) 603 0019 Fax: (051) 603 0445	NA	Auto I&AP	No comments received	A Draft Basic Assessment Report and a Final Basic Assessment Report was sent. No comments received.
2	13/04/2012	The Ward Councillor, Ward 16, Cnr M. Mafliaka	PO Box 18, Lady Grey, 9755	Tel: (051) 603 0019 Fax: 086 239 3092	NA	Auto I&AP	No comments received	A Draft Basic Assessment Report and a Final Basic Assessment Report was sent. No comments received.
3	13/04/2012	The Municipal Manager, Ukhahlamba District Municipality, (Joe Gqabi District Municipality) Mr. Z. Williams, Environmental Management Section	Private Bag x102, Barkley East, 9786	Tel: (045) 979 3000 Fax: (045) 979 3028	NA	Auto I&AP	No comments received	A Draft Basic Assessment Report and a Final Basic Assessment Report was sent. No comments received.
4	13/04/2012	South African Heritage Resources Agency (SAHRA)	PO Box 4637, Cape Town, 8000	Tel: (021) 462 4502 Fax: (021) 462 4509	NA	Auto I&AP	No comments received	A Draft Basic Assessment Report and a Final Basic Assessment Report was sent. No comments received.
5	13/04/2012	SACAA	Private Bag x73, Halfway House 1685	Tel: (011) 545 1000 Fax: (011) 545 1451	NA	Auto I&AP	No approval received yet	Submitted application

**Appendix F: EMPR**



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## **COMPANY STANDARD**

### **Environmental Management Plan for the construction of a Base transceiver station**

DOCUMENT NO: 013 08 00009 (NUMBER)  
REVISION NO: 0.1  
DATE: 27 October 2003

For information regarding this process guide contact:

Process guide administration: Shobana Singh  
Department process owner: Shobana Singh  
Document owner: Shobana Singh

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Environmental Management Plan For The Construction Of A Base Transceiver Station

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## Environmental Management Plan For The Construction Of A Base Transceiver Station

### 1. SCOPE

#### 1.1. PURPOSE

This Environmental Management Plan (EMP) aims to manage and mitigate the environmental impact of the Base Transceiver Station (BTS) construction, rehabilitation and decommissioning activities. This is a guideline and should be seen as the minimum requirement for any BTS construction activity.

Due to the activities surrounding the roll out of a mobile telecommunications network the EMP's main focus will be on the site construction and decommissioning phases. Other activities surrounding the roll out have been quantified and assigned an environmental rating according to Cell C's Aspects and Impacts Register. These are managed through various environmental operational controls.

Its aim is to ensure that the following are in place:

- there is a process to identify existing or to predict potential negative environmental impacts;
- objectives and targets are set to ensure negative impacts are mitigated and existing impacts rehabilitated;
- actions are implemented to mitigate the identified negative environmental impacts; and
- monitoring programmes are developed to track the actions that have been implemented so as to ensure the effectiveness of the action.

The scope of this EMP is to give guidance to the Contractor regarding the care of the environment, by reducing the impacts that construction activities have on the surrounding environment.

#### 1.2. APPLICABILITY

To mitigate the effect of BTS construction and decommissioning activities on the surrounding environment.

#### 1.3. GOVERNING POLICY

Cell C's Safety, Health and Environmental Policy.

### 2. RESPONSIBILITIES

#### 2.1. ROLLOUT CO-ORDINATOR

The project co-ordinator will be accountable for the co-ordinated implementation of the Environmental Management Programme(EMP) and will ensure that it forms part of the contract.

## Environmental Management Plan For The Construction Of A Base Transceiver Station

### 3. PROCESS DESCRIPTION

#### 3.1. PHYSICAL CONSTRUCTION ISSUES AND THEIR MITIGATING ACTIONS

For the purpose of this EMP the construction phases are grouped as follows:

1. Site clearing
2. Laying of the concrete casts
3. Preparing the foundation for the fence and construction thereof
4. Placing the Mast and Container
5. Connecting all relevant components e.g. electrical, antenna
6. Access Roads

#### 3.1.1. Phases of construction activities and their associated environmental impacts

##### Site Clearing

- The topsoil is to be stockpiled within the immediate vicinity and re-landscaped once construction is finished.
- All construction waste is to be stored in a designated area. It is recommended that a skip be used on site to store all waste. Waste rock generated during construction is to be sent to a permitted landfill.
- During excavations dust generated to be kept to a minimum by wetting the surface. A tanker of water may need to be brought on site if there is no water point available nearby.
- Ensure that all site clearing and excavations are done during standard working hours to limit the noise nuisance to the surrounding communities.

##### Laying of the concrete casts

- Generally concrete mixing should be done offsite and brought to the site via a concrete mixing truck. However concrete may be mixed on site for whatever reasons, especially for snag repairs.
- For minimum impact on the environment with regards to laying of concrete, ready mix concrete will be delivered by truck during standard working hours. In the event that concrete is mixed on site it will be done in a controlled manner. Any area disturbed is to be rehabilitated. It is the responsibility of the Project Managers to ensure that the concrete mixing area is rehabilitated.

## Environmental Management Plan For The Construction Of A Base Transceiver Station

- All activities that can cause dust are to be controlled via wetting procedures. This includes the access road and the surrounding disturbed areas.
- All construction waste is to be stored in a designated area. It is recommended that a skip be used on site to store all waste

### **Preparing the foundation for the fence and construction thereof**

- The rock and rubble removed during this phase of construction is to be taken offsite and disposed at a registered waste disposal site.
- The contractor shall ensure that all work that could create noise is done during standard working hours.
- All activities that can cause dust are to be controlled via wetting of the land surface.
- All concrete mixed on site will be done in a designated area. Concrete bags are to be stored in a dry area. Runoff for the designated area is to be monitored for any concrete runoff. Any area disturbed is to be rehabilitated.

### **Placing of the mast and container**

- All painting activities are to be done within the designated area. The project manager is to ensure that all damage to the grass and surrounding vegetation is rehabilitated.
- Placing of the container to be done with a mechanical lifting machine during standard working hours to minimize any possible disturbance to the surrounding community. There must be adequate access to the site for turning of machines etc to prevent any damage to any natural surrounding vegetation. Machinery must be in good working order so that there are no oil leaks.

### **Connecting all the relevant components**

- The waste generated shall be disposed at a registered waste disposal site.
- In the event that a temporary power supply is used on site the generator will be in good working condition with the correct housing. The housing will contain the necessary drip trays. If any diesel spillage takes place it will be cleaned up immediately and logged in the site diary. It is the project manager's responsibility to ensure that the diesel spillage is cleaned up in an environmentally acceptable manner and to ensure that this information is captured in the site diary.
- The suppliers of the generators will be responsible to ensure that noise levels are kept within the SABS 0103 standard.



## Environmental Management Plan For The Construction Of A Base Transceiver Station

### Access Roads

- Due to the lack of access to BTS sites an access road might be needed. The development of an access road should be designed and developed in such a manner that it reduces the degradation of the surrounding environment.
- To ensure that sufficient erosion controls have been developed, especially slopes that are greater than 1 in 5.
- Follow the contours when planning a road on a slope.
- During the construction of the access road, ensure that dust is reduced via wetting the surface.

### 3.1.2. General conditions regarding the construction phases:

- All services, including maintenance, will be done via the access gate fencing closest to a road to minimize any unnecessary disturbances to the surrounding environments.
- The only atmospheric pollution will be noise and dust during construction. These will have minimal effects on the surrounding physical and biological environments.
- Littering or illegal dumping of any waste material is prohibited (no waste disposal holes are to be made on the site ground unless it is a registered waste disposal site).
- Standard working hours on site will be from 07:00 – 17:00.
- No construction workers will be on site after working hours. Unless written permission is obtained
- One chemical toilet will be used on site for workers during the construction phases.
- It is the responsibility of the Project Managers to comply with all relevant legislation will be enforced during construction.
- The site containing the mast and the equipment container to be fenced with a 2,3m high metal palisade fence. Access to the area to be strictly controlled through a locked gate.
- No servicing of any machinery or vehicle may take place on site
- Any area disturbed during construction, which falls outside the fenced area, to be rehabilitated to its original condition. The rehabilitation activities are to be coordinated by the Project Managers.
- The site to be inspected twice a year and be kept in a good condition. A record must be kept of each inspection, stating the condition of the site and any remedial work that may be necessary on the site.
- Any damage that is done to an existing access road during construction will be rehabilitated to its original state.
- Electricity supply cables to the site will be underground via a trench that is at least 600 mm deep

## Environmental Management Plan For The Construction Of A Base Transceiver Station

- The mast colour is normally white or green, but is not limited to these two colours. Any paintwork must be inspected once a year and be kept in a good condition.
- On termination of use of the facility, all equipment to be dismantled and removed and the site restored to its original state.
- No herbicides or pesticides will be used on site unless administered by a pest control officer.
- The Contractor shall maintain a Site Diary and Instruction Book wherein daily reports of completed work, site visits, delays or inclement weather reports and details of plant and labour resources. Siemens will keep site instructions for scrutiny. Any delay incurred by the Contractor will be immediately reported to Siemens.
- It is the responsibility of the Project Managers to ensure that the environmental mitigating actions as stipulated in this Environmental Management Plan are adhered to.

### **Monitoring of construction phase**

Site inspections to take place during construction and/or once the sites are completed. Site inspections (audits) are controlled via environmental pre- and post-construction checklists that ensures that all minimum requirements. Refer to Annexure 1.

### **3.1.3. Interaction with the Surrounding Landowners**

- The culture and lifestyles of the communities living in close proximity to the site and work sites must be respected.
- Removal (pilfering) of agricultural products (sugar cane, fruit, vegetables, stock, fire wood, poaching, etc.) is prohibited. Receipts must be obtained for any merchandise purchased or received from land owners.
- All complaints must be reported, recorded and investigated.

### **3.1.4. Biological issues and their mitigating actions**

#### **Fauna and Flora**

Endangered and threatened flora must be identified and suitably demarcated to prevent damage. Permits must be obtained from the regional Department of Environment Affairs and Tourism for the felling of protected trees and shrubs.

The BTS site must be suitably fenced to prevent access by any animals.

## **4. DEFINITIONS**

Definitions of specific or special terms used.

## Environmental Management Plan For The Construction Of A Base Transceiver Station

### 5. ABBREVIATIONS AND ACRONYMS

**BTS:** Base Transceiver Station

**construction footprint:** The area of the BTS site including a 2m radius around the site. The BTS site can range from 8m squared to 12m squared.

**environment:** Surroundings in which an organization operates, including air, water, land, natural resources, flora, fauna, humans and their interactions.

**environmental issues (aspect):** Elements of an organization's activities, products or services which can interact with the environment.

**environmental impact:** Any change to the environment, whether adverse or beneficial, wholly or partially resulting from an organization's activities, products or services.

**environmental impact assessment (EIA):** The process of collecting, organizing, analyzing, interpreting and communicating data that is relevant to some decision. It is aimed at identifying impacts that a proposal will have on the environment as well as the impact the environment will have on the project. The result of the EIA is a planning decision to accept the best balanced alternative for a project.

**environmental management programme (EMP) :** A programme that guarantees the desired end state of the environment and describes how activities, that could have a negative impact, will be managed and monitored and impacted areas rehabilitated.

**interested party:** Individuals or groups concerned with or affected by an activity and its consequences. These include the authorities, local communities, investors, work force, customers and consumers, environmental interested groups and the general public.

**mitigate:** The implementation of practical measures to reduce adverse impacts or enhance beneficial impacts of an action.

**monitoring:** An activity which ensures that the requirements of the Environmental Management Programme are met.

**ROD:** Record of Decision

**site:** The area which houses the BTS and the mast. Including a 2m radius around the fence.

**standard working hours:** From 07:00am to 17:00pm

**TSS:** Technical Site Survey

Environmental Management Plan For The Constrction Of A Base Transciever Station

**6. APPROVAL**

Designation	Name	Date	Signature
Author:			
Head of Business Process Management			
Department Process Owner			
Head of Quality Management			
Head of <b>Error! Reference source not found.</b>			

**7. REVISION HISTORY**

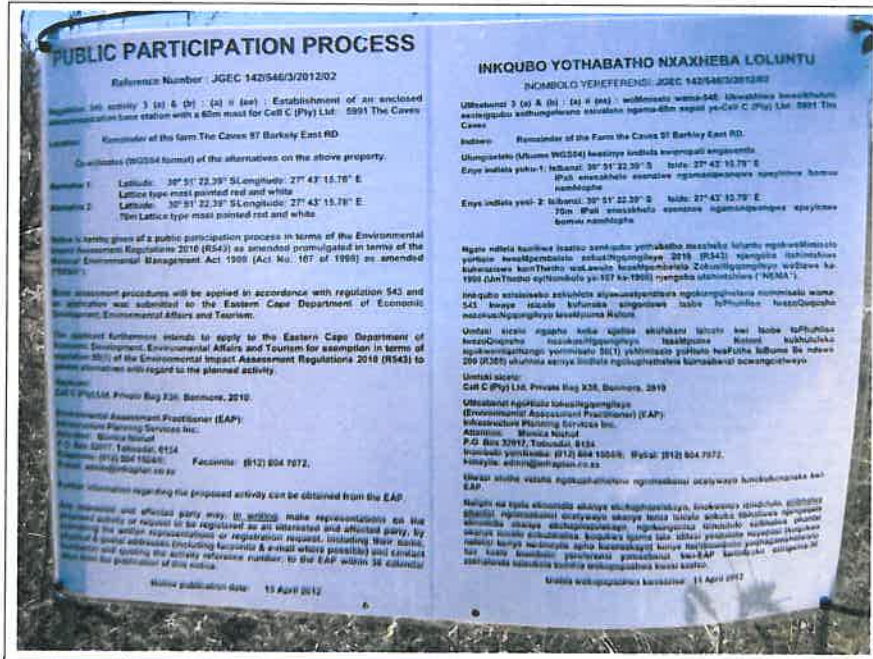
Description of Change or Reason for Update	Rev. #	Date	Name
Initial Issue (draft)	0		

## **Appendix G**

- G1 – Public Participation - Proof of Site Notice**
- G2– Public Participation – Proof of Written Notices to I&AP**
- G3 – Public Participation – Proof of Newspaper Advertisement**
- G4 – Public Participation – Register of I&APs**
- G5- South African Civil Aviation Authority Information**
- G6 – Motivation for exemption from assessing alternatives**

**G1 Proof of Site Notice**

# Proof of Site Notice



**Site Notice 1 affixed at border of property**

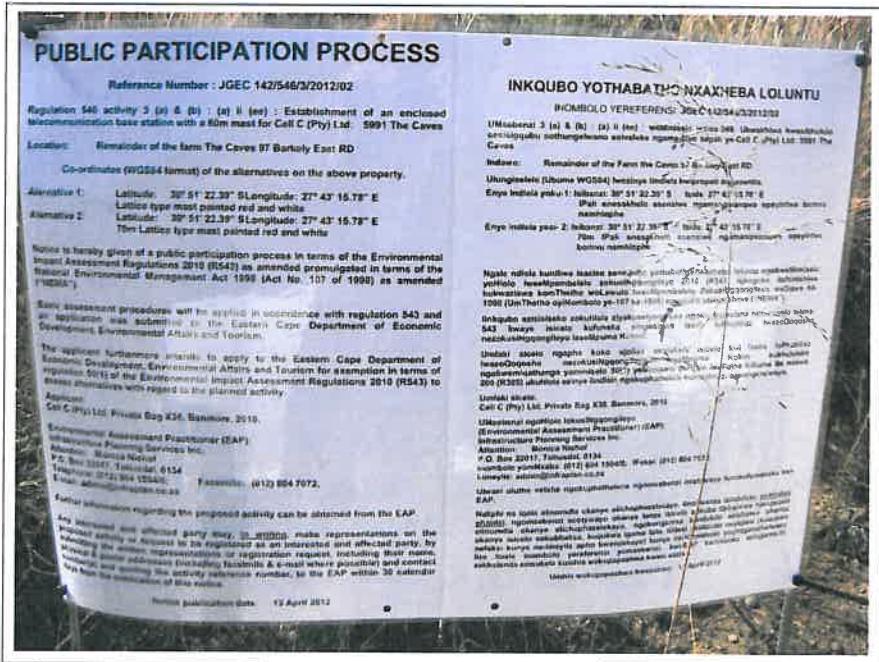


**Site Notice 1 affixed at border of property**

# Proof of Site Notice



Site Notice 1 affixed at border of property



Site Notice 2 affixed at border of property



# Proof of Site Notice



**Site Notice 2 affixed at border of property**



**Site Notice 2 affixed at border of property**

# Proof of Site Notice



Site Notice 3 affixed at border of property



Site Notice 3 affixed at border of property

# Proof of Site Notice



**Site Notice 3 affixed at border of property**

**G2 – Written Notices**

TX Result Report

P 1  
 12/04/2012 12:17  
 Serial No. A02E041005518  
 TC: 875172

Destination	Start Time	Time	Prints	Result	Note
0516030445	04-12 11:56	00:20:03	012/012	OK	

Note TX: Timer TX, POL: Polling, DRG: Original Size Setting, FME: Frame Erase TX, MTK: Mixed Original TX, CALL: Manual IS, CSRC: CSRC, FWD: Forward, PC: PC-Fax, BDC: Double-Sided Binding Direction, SD: Special Original, FCODE: F-Code, RTX: Re-TX, RLY: Relay, NS: Confidential, BUL: Bulletin, SIP: SIP Fax, IPADR: IP Address Fax, I-FAX: Internet Fax

Result OK: Communication OK, S-OK: Stop Communication, PW-OFF: Power Switch OFF, TEL: RX from TEL, NG: Other Error, Cont: Continue, No Ans: No Answer, Refuse: Receipt Refused, Busy: Busy, M-Full: Memory Full, LOVR:Receiving length Over, POVER:Receiving page Over, FIL:File Error, DC:Decode Error, MDN:MDN Response Error, DSN:DSN Response Error.



**INFRASTRUCTURE PLANNING SERVICES**  
 Vukani Infrastructure Planning Services Incorporated  
 414 Ruessie Road, Silvertondale, 0184  
 P O Box 32017, Totuvedai, 0134  
 e-mail: [admin@infoplan.co.zw](mailto:admin@infoplan.co.zw)  
 Reg. No. 2001/014225/21  
 Tel. (012) 804 1504/6  
 Fax (012) 804 7072

Our Reference: 6991 / JGEC 142/646/3/2012/02

Your Reference:

13 April 2012

The Municipal Manager  
 Senqu Local Municipality  
 P O Box 18  
 Lady Grey  
 9755

Attention: Mr M M Yawa  
 Environmental Management Section  
 Fax : 051 – 603 0445

Dear Sir / Madam,

**INTENTION TO SUBMIT AN APPLICATION IN TERMS OF THE NATIONAL ENVIRONMENTAL MANAGEMENT ACT 1996 AS AMENDED ("NEMA") TO THE COMPETENT AUTHORITY FOR LISTED ACTIVITY 3 (A) & (B) : (A) II (EE) IN REGULATION 646: ESTABLISHMENT OF A CELL C (PTY) LTD TELECOMMUNICATION BASE STATION ON THE REMAINDER OF THE FARM THE CAVES 97 BARKLEY EAST RD.**

In terms of the Act and related regulations and guidelines Local Authorities are identified as key interested and affected parties (I&AP).

We request you to evaluate the attached information on the proposed project and provide us with your written comments and/or inputs, if any, by faxing or e-mailing such within 30 days from the date of this notification. It will be assumed that you do not have any comments on the Environmental Application of the proposed project on the expiry of the 30 day response period.

Should you have any further queries please do not hesitate to contact us.

Kind Regards,

*M Niehof*  
 M NIEHOF  
 For: Vukani IPS Inc.

Comments:

---



---



---

Directors: KW Anholts; GA Anholts



# INFRASTRUCTURE PLANNING SERVICES

Vukani Infrastructure Planning Services Incorporated  
414 Rustic Road, Silvertondale, 0184  
PO Box 32017, Totiusdal, 0134  
e-mail: [admin@infraplan.co.za](mailto:admin@infraplan.co.za)

Reg. No. 2001/014235/21  
Tel. (012) 804 1504/6  
Fax (012) 804 7072

Our Reference:  
**5991 / JGEC 142/546/3/2012/02**

Your Reference:

**13 April 2012**

The Municipal Manager  
Senqu Local Municipality  
P O Box 18  
Lady Grey  
9755

Attention: Mr M M Yawa

Environmental Management Section

Fax : 051 – 603 0445

Dear Sir / Madam,

**INTENTION TO SUBMIT AN APPLICATION IN TERMS OF THE NATIONAL ENVIRONMENTAL MANAGEMENT ACT 1998 AS AMENDED ("NEMA") TO THE COMPETENT AUTHORITY FOR LISTED ACTIVITY 3 (A) & (B) : (A) II (EE) IN REGULATION 546: ESTABLISHMENT OF A CELL C (PTY) LTD TELECOMMUNICATION BASE STATION ON THE REMAINDER OF THE FARM THE CAVES 97 BARKLEY EAST RD.**

In terms of the Act and related regulations and guidelines Local Authorities are identified as key interested and affected parties (I&AP).

We request you to evaluate the attached information on the proposed project and provide us with your written comments and/or inputs, if any, by faxing or e-mailing such within 30 days from the date of this notification. It will be assumed that you do not have any comments on the Environmental Application of the proposed project on the expiry of the 30 day response period.

Should you have any further queries please do not hesitate to contact us.

Kind Regards,

**M NIEHOF**

For: Vukani IPS Inc.

**Comments:**

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---

TX Result Report

P 1  
 12/04/2012 11:44  
 Serial No. A02E041005518  
 TC: 875170

Destination	Start Time	Time	Prints	Result	Note
0862393092	04-12 11:09	00:41:01	012/012	OK	

Note TX: Timer TX, POL: Polling, OPS: Original Size Setting, FME: Frame Erase TX,  
 MIX: Mixed Original TX, CALL: Manual TX, CSRC: CSRC, FWD: Forward, PC: PC-Fax,  
 BND: Double-Sided Binding Direction, SP: Special Original, FCODE: F-Code, RTX: Re-TX,  
 RLV: Relay, MB: Confidential, BUL: Bulletin, SIP: SIP Fax, IPADR: IP Address Fax,  
 I-FAX: Internet Fax

Result OK: Communication OK, S-OK: Stop Communication, PW-OFF: Power Switch OFF,  
 TEL: RX from TEL, NG: Other Error, Cont: Continue, No Ans: No Answer,  
 Refuse: Receipt Refused, Busy: Busy, M-Full: Memory Full,  
 LOVR: Receiving length Over, POVER: Receiving page Over, FIL: File Error,  
 DC: Decode Error, MDN: MDN Response Error, DSN: DSN Response Error.



**INFRASTRUCTURE PLANNING SERVICES**

Vukani Infrastructure Planning Services Incorporated  
 444 Runtlo Road, Silvertondale, 0184  
 PO Box 32017, Tlokweng, 0134  
 e-mail: admin@infoplan.co.za

Reg. No. 2001/014322/21  
 Tel (012) 804 1504/6  
 Fax (012) 804 7072

Our Reference: 8991 / JGEC 142 / 548/3/2012/02

Your Reference:

13 April 2012

The Ward Councillor  
 Sonqu Local Municipality  
 P O Box 18  
 Lady Grey  
 8755

Attention: Clr M Meflika  
 Councillor: Ward 18

Fax : 088 238 3092

Dear Councillor,

**INTENTION TO SUBMIT AN APPLICATION IN TERMS OF THE NATIONAL ENVIRONMENTAL MANAGEMENT ACT 1989 AS AMENDED ("NEMA") TO THE COMPETENT AUTHORITY FOR LISTED ACTIVITY 3 (A) & (B) : (A) II (EE) IN REGULATION 548: ESTABLISHMENT OF A CELL C (PTY) LTD TELECOMMUNICATION BASE STATION ON THE REMAINDER OF THE FARM THE CAVES 978 BARKLEY EAST RD.**

In terms of the Act and related regulations and guidelines ward councillors are identified as key interested and affected parties (I&AP).

We request you to evaluate the attached information on the proposed project and provide us with your written comments and/or inputs, if any, by faxing or e-mailing such within 30 days from the date of this notification. It will be assumed that you do not have any comments on the Environmental Application of the proposed project on the expiry of the 30 day response period.

Please forward the attached documentation to the relevant Resident Association or provide us with their contact details.

Should you have any further queries please do not hesitate to contact us.

Kind Regards,

*M NIEHOF*  
 M NIEHOF  
 For: Vukani IPS Inc.

Comments:

---



---



---

Directors: KW Anheisi, GA Anheisi



# INFRASTRUCTURE PLANNING SERVICES

Vukani Infrastructure Planning Services Incorporated  
414 Rustic Road, Silvertondale, 0184  
PO Box 32017, Totiusdal, 0134  
e-mail: [admin@infraplan.co.za](mailto:admin@infraplan.co.za)

Reg. No. 2001/014235/21  
Tel. (012) 804 1504/6  
Fax (012) 804 7072

Our Reference:  
**5991 / JGEC 142 /546/3/2012/02**

Your Reference:

**13 April 2012**

The Ward Councillor  
Senqu Local Municipality  
P O Box 18  
Lady Grey  
9755

Attention: Cllr M Mafiliaka  
Councillor: Ward 16

Fax : **086 239 3092**

Dear Councillor,

**INTENTION TO SUBMIT AN APPLICATION IN TERMS OF THE NATIONAL ENVIRONMENTAL MANAGEMENT ACT 1998 AS AMENDED ("NEMA") TO THE COMPETENT AUTHORITY FOR LISTED ACTIVITY 3 (A) & (B) : (A) II (EE) IN REGULATION 546: ESTABLISHMENT OF A CELL C (PTY) LTD TELECOMMUNICATION BASE STATION ON THE REMAINDER OF THE FARM THE CAVES 978 BARKLEY EAST RD.**

In terms of the Act and related regulations and guidelines ward councillors are identified as key interested and affected parties (I&AP).

We request you to evaluate the attached information on the proposed project and provide us with your written comments and/or inputs, if any, by faxing or e-mailing such within 30 days from the date of this notification. It will be assumed that you do not have any comments on the Environmental Application of the proposed project on the expiry of the 30 day response period.

Please forward the attached documentation to the relevant Resident Association or provide us with their contact details.

Should you have any further queries please do not hesitate to contact us.

Kind Regards,

**M NIEHOF**  
For: Vukani IPS Inc.

**Comments:**

---

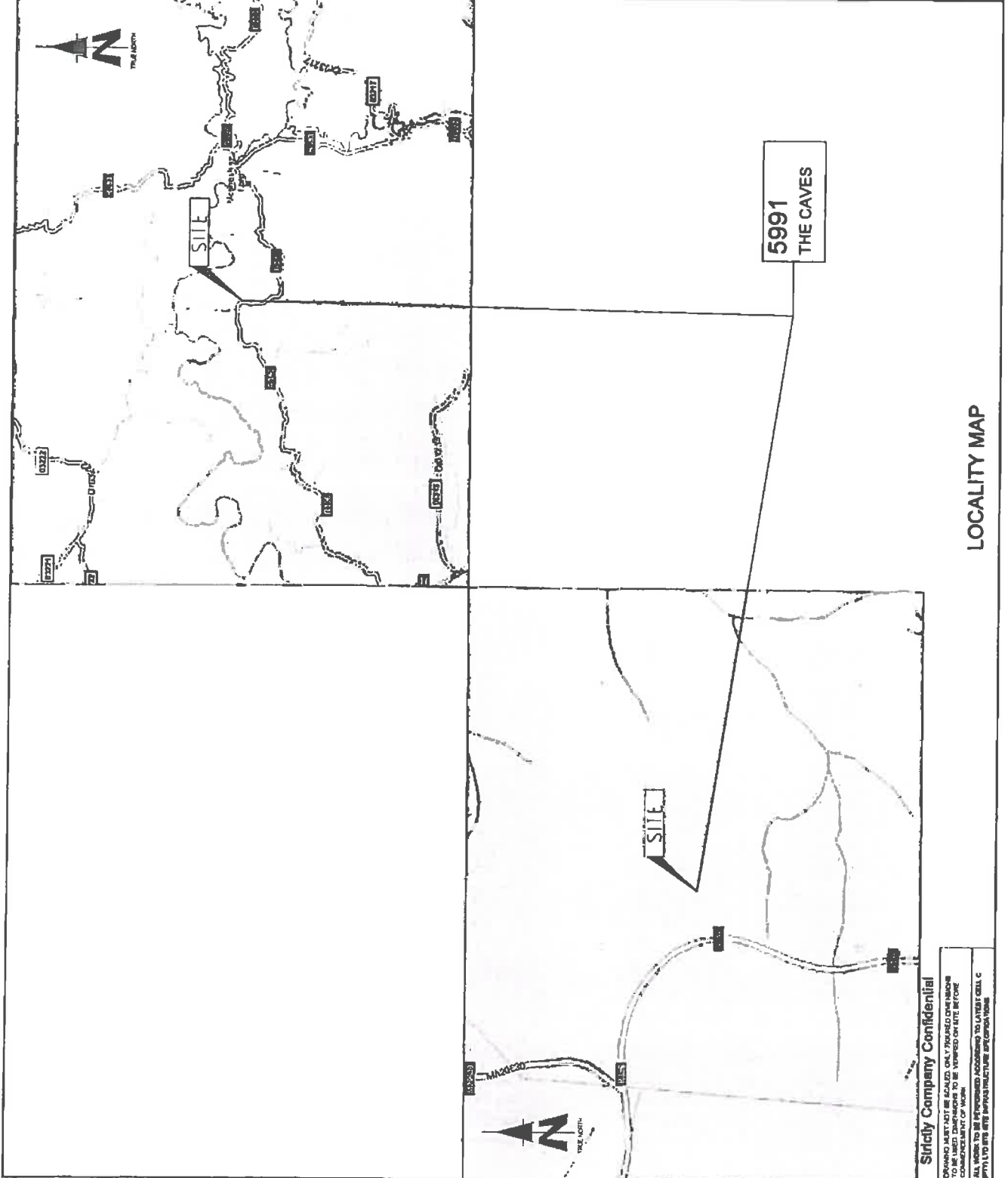
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NO	DATE	DESCRIPTION
0	25/11/2011	FIRST ISSUE
<b>PROJECT</b> NEW 14c4m TELECOMMUNICATION BASE STATION WITH A LATTICE MAST FOR CELL C (PTV) LTD		
<b>DRAWN BY:</b> MELISSA YOUNG		
<b>PROJECT DESCRIPTION:</b> RESEARCHER COASTS OFF THE CAVES 87 BARRELEY EAST RD		
<b>OWNER:</b> PIET & DALENA STEYN FAMILY TRUST		
<b>COORDINATES:</b> LAT -36.83220° S LONG 27.721050° E		
<b>APPROVALS</b>		
<b>CELL C RF PLANNER</b> Signature: _____ Date: _____		
<b>CELL C IMPLEMENTATION</b> Signature: _____ Date: _____		
<b>CELL C REAL ESTATE CO-ORDINATOR</b> Signature: _____ Date: _____		
<b>CELL C ENGINEER</b> Name: _____ Signature: _____ Number: _____		
<b>CELL C</b> THE POWER IS IN YOUR HANDS Mobile CMCs Plot Tel: +27 (0) 321 324 2020 Fax: +27 (0) 324 4241 Email: info@cellc.co.za www.cellc.co.za		
<b>ZTE中兴</b> 183 Henrich Vermeerd Drive Technology Office Park Midrand, Johannesburg Gauteng, South Africa Cape Town 7740		
<b>TORBIROUSE SOLUTIONS</b> 114 Riebeek Street Cape Town 8001 Tel: +27 (0) 21 464 1244 Fax: +27 (0) 21 464 1872 Email: info@torbirouse.co.za www.torbirouse.co.za		
REVISION	SHEET NO	SCALE
0	1 OF 11	1
SITE NO <b>5991</b> THE CAVES		
SITE NAME AND ADDRESS <b>THE CAVES</b> OFF THE R305 TOWARDS THE MRAAI RIVER BRIDGE EASTERN CAPE		

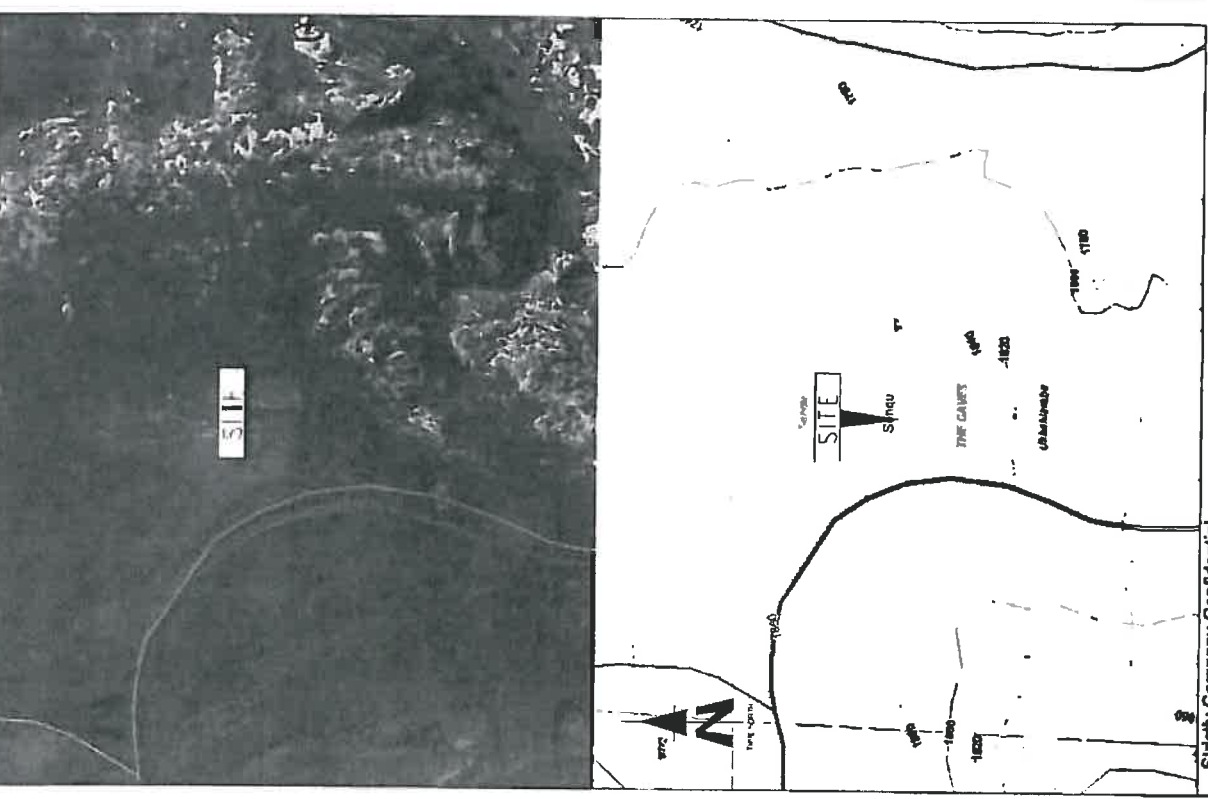
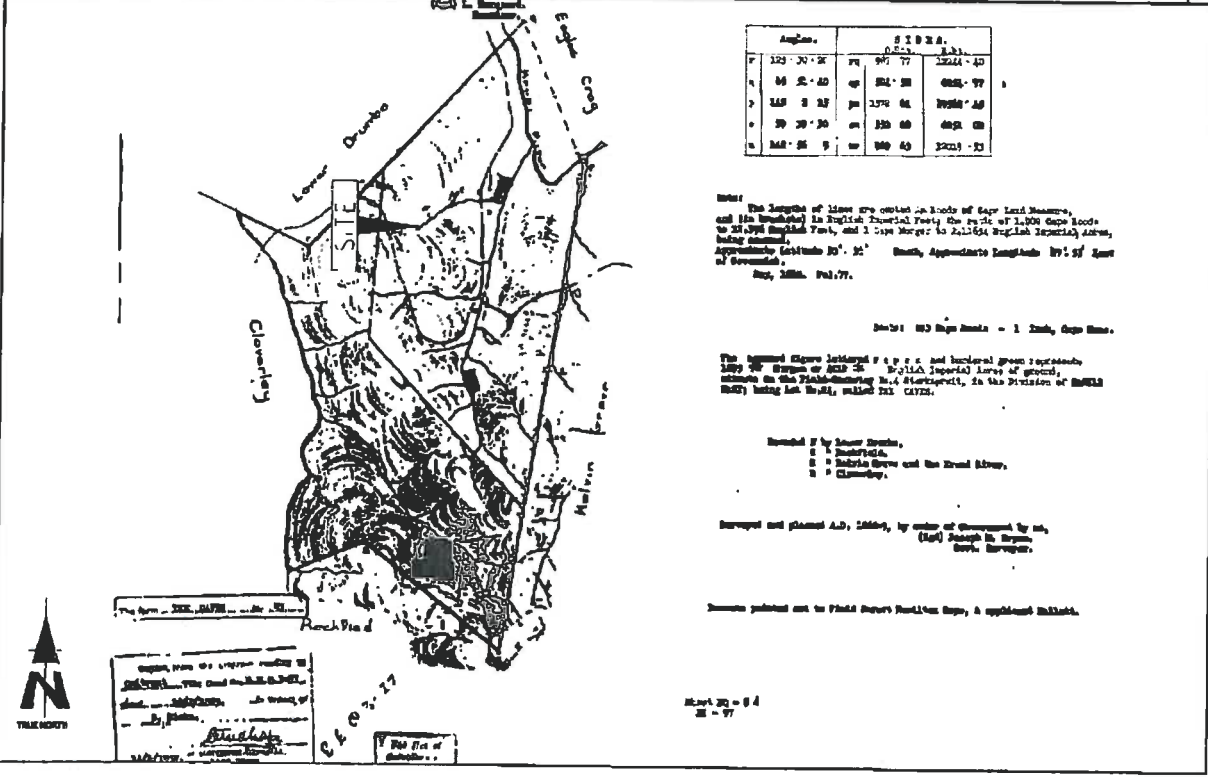


**Strictly Company Confidential**

DRAWING MUST NOT BE SCALED. ONLY DIMENSIONS SHOWN TO BE USED. DIMENSIONS TO BE VERIFIED ON SITE BEFORE COMMENCEMENT OF WORK.

ALL WORK TO BE APPROVED ACCORDING TO LATEST CELL C PTV LTD SITE INFRASTRUCTURE SPECIFICATIONS.

NO	DATE	DESCRIPTION
0	26/10/2011	FIRST ISSUE
<b>PROJECT</b>		
NEW 14614th TELECOMMUNICATION BASESTATION WITH A LATTICE MAST FOR CELL C (PTV) LTD		
GRANBY MELISSA YOUNG		
PROPERTY DESCRIPTION THE FARMS OF THE PAIN THE CAVES 87 BARNELEY EAST RD		
OWNER PIET & DALENA STEYN FAMILY TRUST		
<b>COORDINATES</b>		
LAT -30 65220" S		
LONG 27 23150" E		
<b>APPROVALS:</b>		
CELL C RF PLANNER Signature _____ Date _____		
CELL C IMPLEMENTATION Signature _____ Date _____		
CELL C REAL ESTATE COORDINATOR Signature _____ Date _____		
<b>CELL C ENGINEER</b>		
Name _____		
Signature _____		
Number _____		
<b>CELLO™</b>		
THE POWER IS IN YOUR HANDS		
100 BARRAGE ROAD SANDHURST, KZN 4131		
Human Office Ph: 31-327-870-800 Fax: 31-327-870-801		
Mobile Office Ph: 31-327-870-800 Fax: 31-327-870-801		
E-MAIL: info@cello.co.za		
<b>ZTE中兴</b>		
123 Beachwood Drive The Woodlands, Johannesburg Private Bag 196 Cape Town 7800		
411 Church Road Sandhurst, KZN 4131 Tel: 31-327-870-800 Fax: 31-327-870-801		
SHEET NO / ISSUE		
0 / 1		
SCALE		
N/A		
<b>SITE NO</b>		
3971		
<b>SITE NAME AND ADDRESS</b>		
THE CAVES OFF THE ROAD TO THE PAIN THE CAVES EASTERN CAPE		



**CADASTRAL INFO**

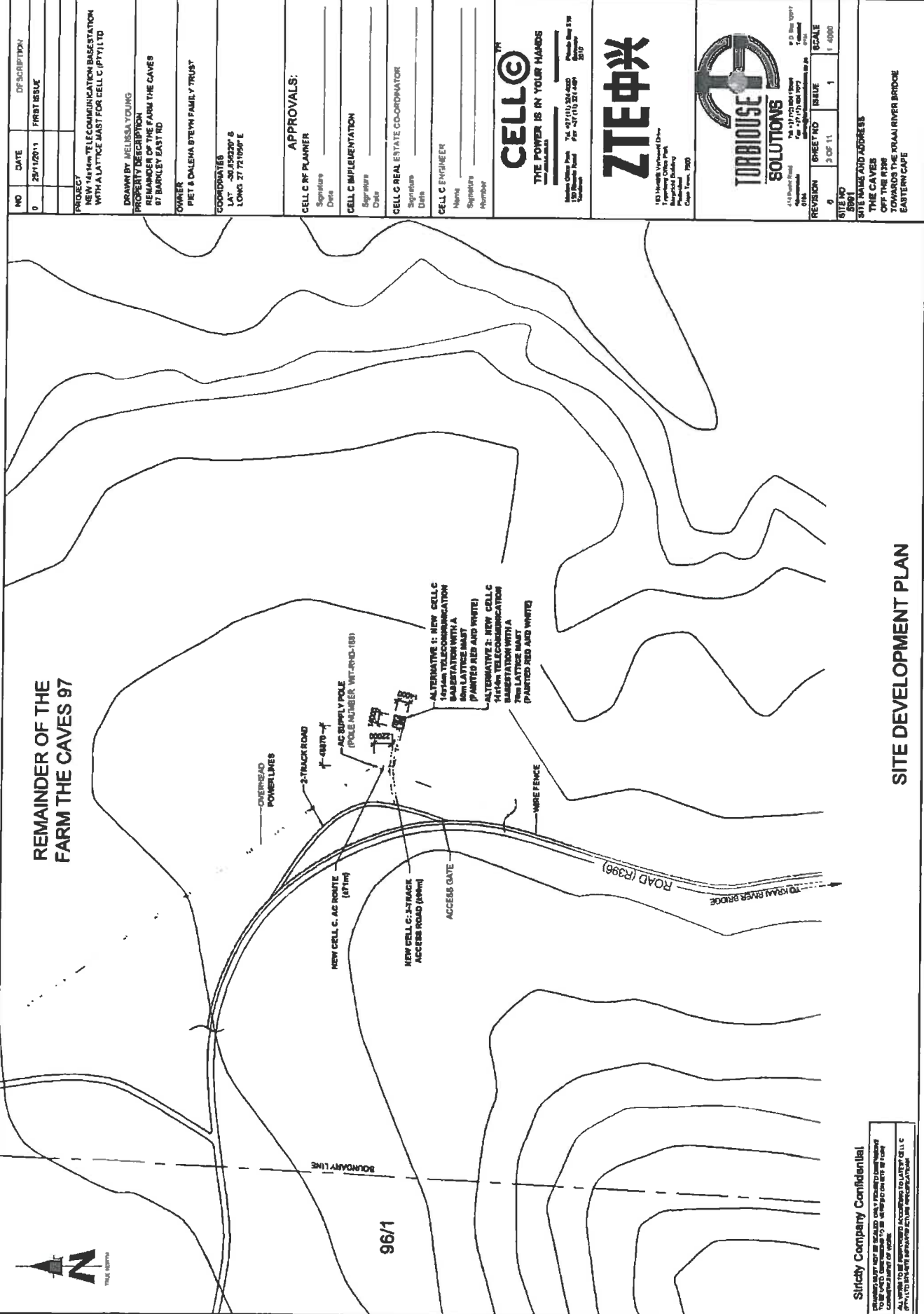
Sirclidy Company Confidential

PROPERTY MAPS MAY BE ISSUED ONLY TO THE CLIENTS WHOSE INTERESTS TO BE SERVED. INFORMATION TO BE VIEWED ON SITE BEFORE COMMENCEMENT OF WORK.

ALL WORK TO BE PERFORMED ACCORDING TO LATEST CELL C (PTV) LTD SITE SITE INSTALLATION SPECIFICATIONS.



96/1



NO	DATE	DESCRIPTION
0	25/11/2011	FIRST ISSUE

**PROJECT**  
 NEW 145m TELECOMMUNICATION BASESTATION WITH GUN-LATTICE MAST FOR CELL C (PTV) LTD

**DRAWN BY:** MELISSA YOUNG  
**PROPERTY DESCRIPTION:**  
 REMAINDER OF THE FARM THE CAVES  
 97 BARKLEY EAST RD

**OWNER:**  
 PIET & DALENA STEYN FAMILY TRUST

**COORDINATES**  
 LAT: -30.435220° S  
 LONG: 27.721099° E

**APPROVALS:**

**CELL C RF PLANNER:**  
 Signature: \_\_\_\_\_  
 Date: \_\_\_\_\_

**CELL C IMPLEMENTATION:**  
 Signature: \_\_\_\_\_  
 Date: \_\_\_\_\_

**CELL C REAL ESTATE COORDINATOR:**  
 Signature: \_\_\_\_\_  
 Date: \_\_\_\_\_

**CELL C ENGINEER:**  
 Name: \_\_\_\_\_  
 Signature: \_\_\_\_\_  
 Number: \_\_\_\_\_

**CELLC™**  
 THE POWER IS IN YOUR HANDS

Mobile Office Phone: 91 527 111 234 4320  
 Mobile Office Fax: 91 527 111 234 4320  
 Mobile Office Email: info@cellic.co.za

**ZTE中兴**

143 Kingshills Woodward Drive  
 Parklands, Johannesburg  
 2012

**TORBIROUSE SOLUTIONS**

414 Beaufort Road  
 Eastwood, Johannesburg  
 2006

© D. Bos 1997  
 No. 197 (P.O. Box) 1088  
 G.P. Post Office, Johannesburg  
 2010

REVISION	SHEET NO	SHEET	SCALE
0	2 OF 11	1	1:4000

**SITE NAME AND ADDRESS:**  
 THE CAVES  
 97 BARKLEY EAST RD  
 TOWARDS THE GRAY RIVER BRIDGE  
 EASTERN CAPE

**SITE DEVELOPMENT PLAN**

**Siricity Company Confidential**

THIS DOCUMENT IS THE PROPERTY OF SIRIRITY COMPANY AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

All works to be implemented according to layout of I.L.C. (Pvt) Ltd site development plan.

NO	DATE	DESCRIPTION
0	25/11/2011	FIRST ISSUE

**PROJECT**  
NEW 140mm TELECOMMUNICATION BASE STATION WITH A LATTICE MAST FOR CELL C (PTV) LTD

**DRAWN BY** MELISSA YOUNG

**PROPERTY DESCRIPTION**  
REMAINDER OF THE FARM THE CAVES  
97 BARRELEY EAST RID

**OWNER**  
PIET & DALENA STEYN FAMILY TRUST

**COORDINATES**  
LAT: 30 46 23.9" S  
LONG: 27 27 10.9" E

**APPROVALS:**

**CELL C RF PLANNER**  
Signature: \_\_\_\_\_  
Date: \_\_\_\_\_

**CELL C IMPLEMENTATION**  
Signature: \_\_\_\_\_  
Date: \_\_\_\_\_

**CELL C REAL ESTATE CO-ORDINATION**  
Signature: \_\_\_\_\_  
Date: \_\_\_\_\_

**CELL C ENGINEER**  
Name: \_\_\_\_\_  
Signal size: \_\_\_\_\_  
Number: \_\_\_\_\_

**CELLO**  
THE POWER IS IN YOUR HANDS

111 South Street  
P.O. Box 100  
Pretoria 0001  
Tel: +27 (0) 11 254 4521  
Fax: +27 (0) 11 254 4521

**ZTE中兴**

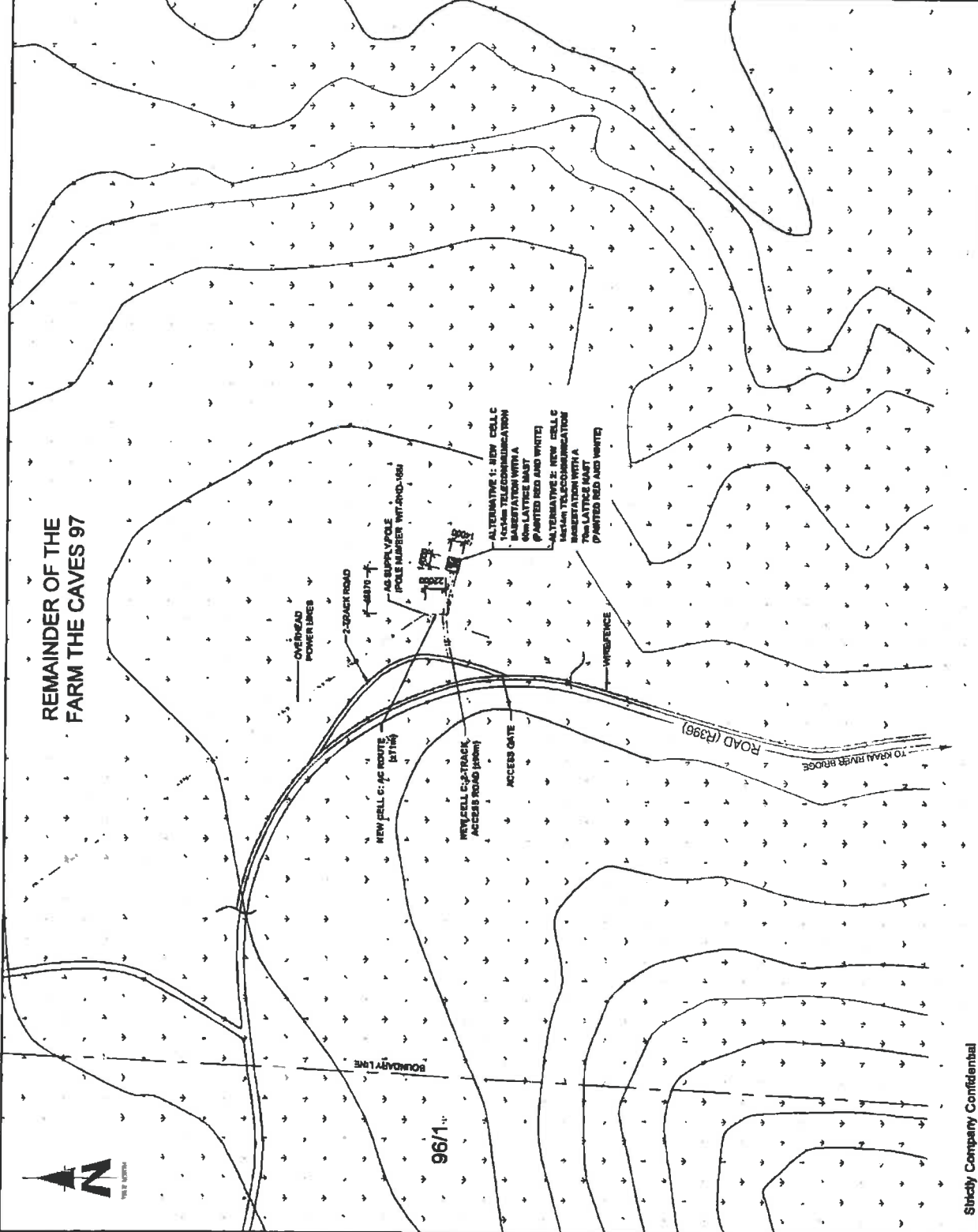
111 South Street  
P.O. Box 100  
Pretoria 0001  
Tel: +27 (0) 11 254 4521  
Fax: +27 (0) 11 254 4521

**TORBUOUSE SOLUTIONS**

111 South Street  
P.O. Box 100  
Pretoria 0001  
Tel: +27 (0) 11 254 4521  
Fax: +27 (0) 11 254 4521

REVISION: 0  
SHEET NO: 4 OF 11  
SCALE: 1:4000

SITE NO: 8891  
SITE NAME AND ADDRESS: THE CAVES  
OFF THE R398  
TOWARDS THE NDAAI RIVER BRIDGE  
EASTERN CAPE



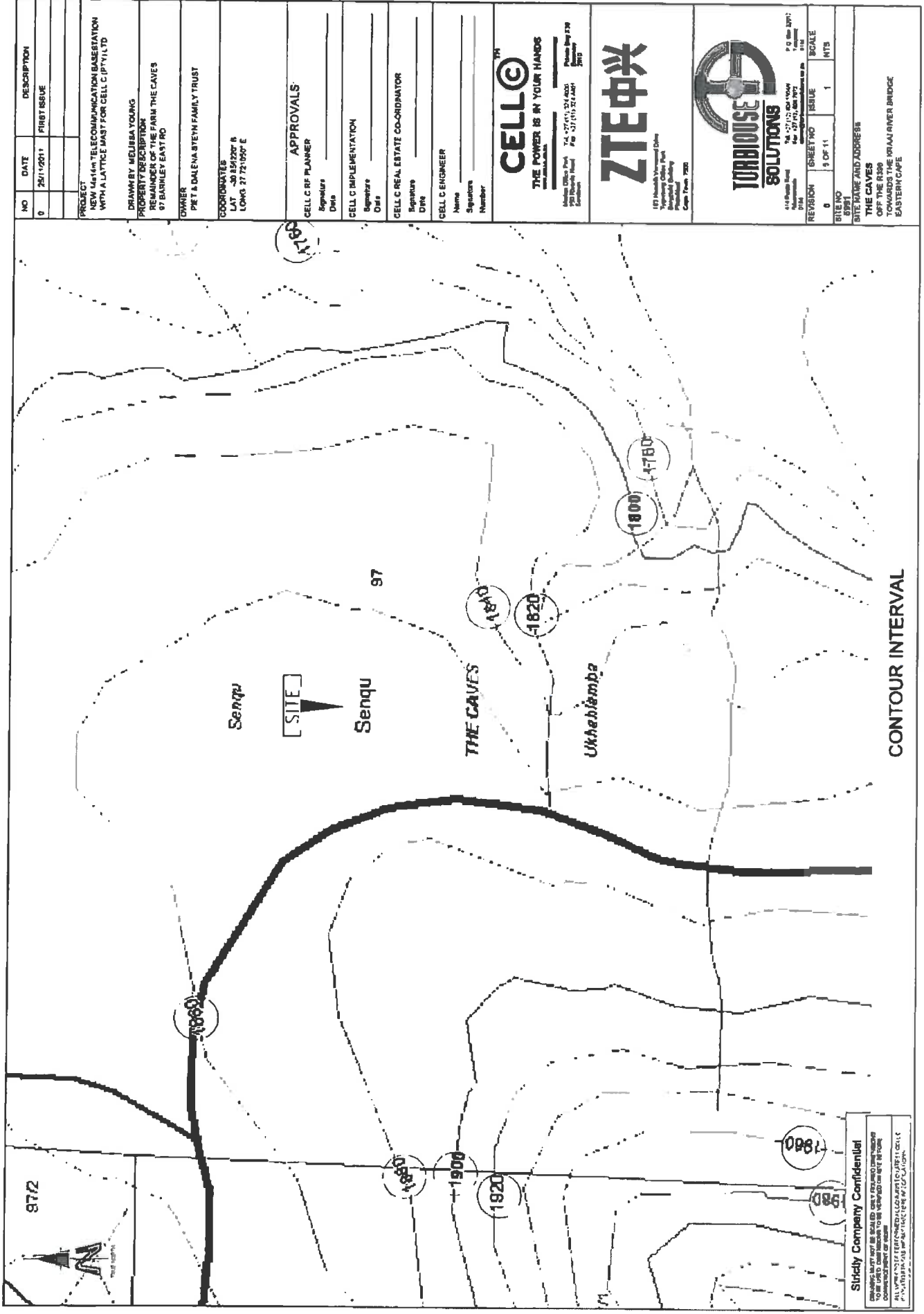
**LEGEND**

AGRICULTURAL	1
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**CURRENT LAND USE**

Strictly Confidential

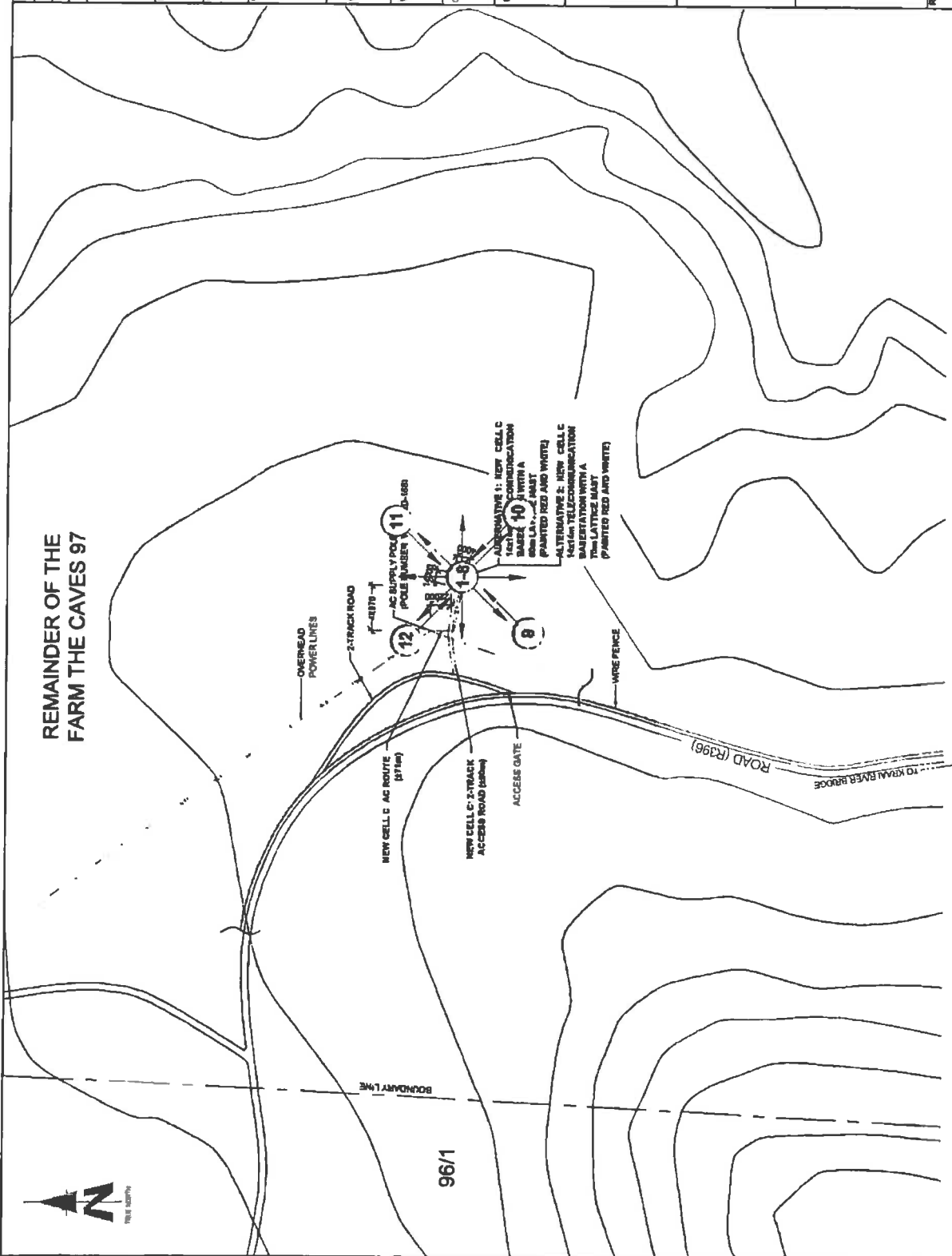
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NO	DATE	DESCRIPTION	
0	26/11/2011	FIRST ISSUE	
<b>PROJECT</b> NEW 4G/LTE TELECOMMUNICATIONS BASE STATION WITH A LATTICE MAST FOR CELL C (P)NY/LTD			
<b>DRAWN BY</b> MELISSA YOUNG <b>PROPERTY DESCRIPTION</b> REMAINDER OF THE FARM THE CAVES 97 BARNLEY EAST RD			
<b>OWNER</b> PET & DALENA STEYN FAMILY TRUST			
<b>COORDINATES</b> LAT -30.15222° S LONGS 27.721050° E			
<b>APPROVALS</b> CELL C RF PLANNER Signature: _____ Date: _____			
CELL C IMPLEMENTATION Signature: _____ Date: _____			
CELL C REAL ESTATE CO-ORDINATOR Signature: _____ Date: _____			
CELL C ENGINEER Name: _____ Signature: _____ Number: _____			
<b>CELL C<sup>TM</sup></b> <b>THE POWER IS IN YOUR HANDS</b> Mobile Office P.O. Box 237, 111, 21, 4001 198 (Rivonia) Road, P.O. Box 237, 111, 21, 4001 Sandton, Johannesburg South Africa Cell C Trade Mark © 2011			
<b>ZTE中兴</b> 100 Havelock Avenue, 10th Floor York Street, Sandton, Johannesburg Sandton, Johannesburg South Africa Cell C Trade Mark © 2011			
<b>TORRIBIOUS SOLUTIONS</b> 1145 Havelock Avenue, 10th Floor York Street, Sandton, Johannesburg Sandton, Johannesburg South Africa Cell C Trade Mark © 2011			
REVISION	SHEET NO	ISSUE	SCALE
0	9	OF 11	1
SITE NO		NTS	
6991			
<b>SITE NAME AND ADDRESS</b> THE CAVES OFF THE R390 TOWARDS THE NTAI RIVER BRIDGE EASTERN CAPE			

CONTOUR INTERVAL

**Strictly Company Confidential**  
 DRAWINGS MUST BE SEALED AND A FREQUENTLY CHECKED TO BE USED. ANY REVISIONS TO BE RECORDED ON THE SET OF PLOTTED DRAWINGS TO BE RECORDED ON THE SET OF PLOTTED DRAWINGS.  
 ALL WORK MUST BE APPROVED BY THE PROJECT ENGINEER.  
 PROJECT: 6991 - THE CAVES  
 DRAWING NO: 6991-01



NO.	DATE	DESCRIPTION
0	26/1/2011	FIRST ISSUE

**PROJECT**  
 NEW 754MHz TELECOMMUNICATION BASERATION WITH A LATTICE MAST FOR CELL C (PTY) LTD

**DRAWN BY** MELISSA YOUNG  
**PROPERTY DESCRIPTION**  
 REMAINDER OF THE FARM THE CAVES  
 97 BARBLEY EAST RD

**OWNER**  
 PIET & DALENA STEYN FAMILY TRUST

**COORDINATES**  
 LAT: -30 56 52 20" S  
 LONG: 27 29 09 50" E

**APPROVALS:**  
 CELL C RF PLANNER  
 Signature: \_\_\_\_\_  
 Date: \_\_\_\_\_

CELL C IMPLEMENTATION  
 Signature: \_\_\_\_\_  
 Date: \_\_\_\_\_

CELL C REAL ESTATE CO-ORDINATOR  
 Signature: \_\_\_\_\_  
 Date: \_\_\_\_\_

**CELL C ENGINEER**  
 Name: \_\_\_\_\_  
 Signature: \_\_\_\_\_  
 Number: \_\_\_\_\_

**CELLC**<sup>TM</sup>  
**THE POWER IS IN YOUR HANDS**  
123 Southview Road  
 Midrand, Gauteng  
 P.O. Box 1001  
 1711 Midrand  
 Tel: 011 711 734 4001  
 Fax: 011 711 734 4001  
 Email: info@celloc.co.za  
 Website: www.celloc.co.za

**ZTE中兴**  
183 Southview Road  
 Midrand, Gauteng  
 P.O. Box 1001  
 1711 Midrand  
 Tel: 011 711 734 4001  
 Fax: 011 711 734 4001  
 Email: info@zte.com.cn  
 Website: www.zte.com.cn

**TURBHOUSE SOLUTIONS**  
141 Southview Road  
 Midrand, Gauteng  
 P.O. Box 1001  
 1711 Midrand  
 Tel: 011 711 734 4001  
 Fax: 011 711 734 4001  
 Email: info@turhouse.com  
 Website: www.turhouse.com

REVISION    SHEET NO.    SCALE  
 0            0 OF 11            1 : 1 4000

SITE NO  
 8941

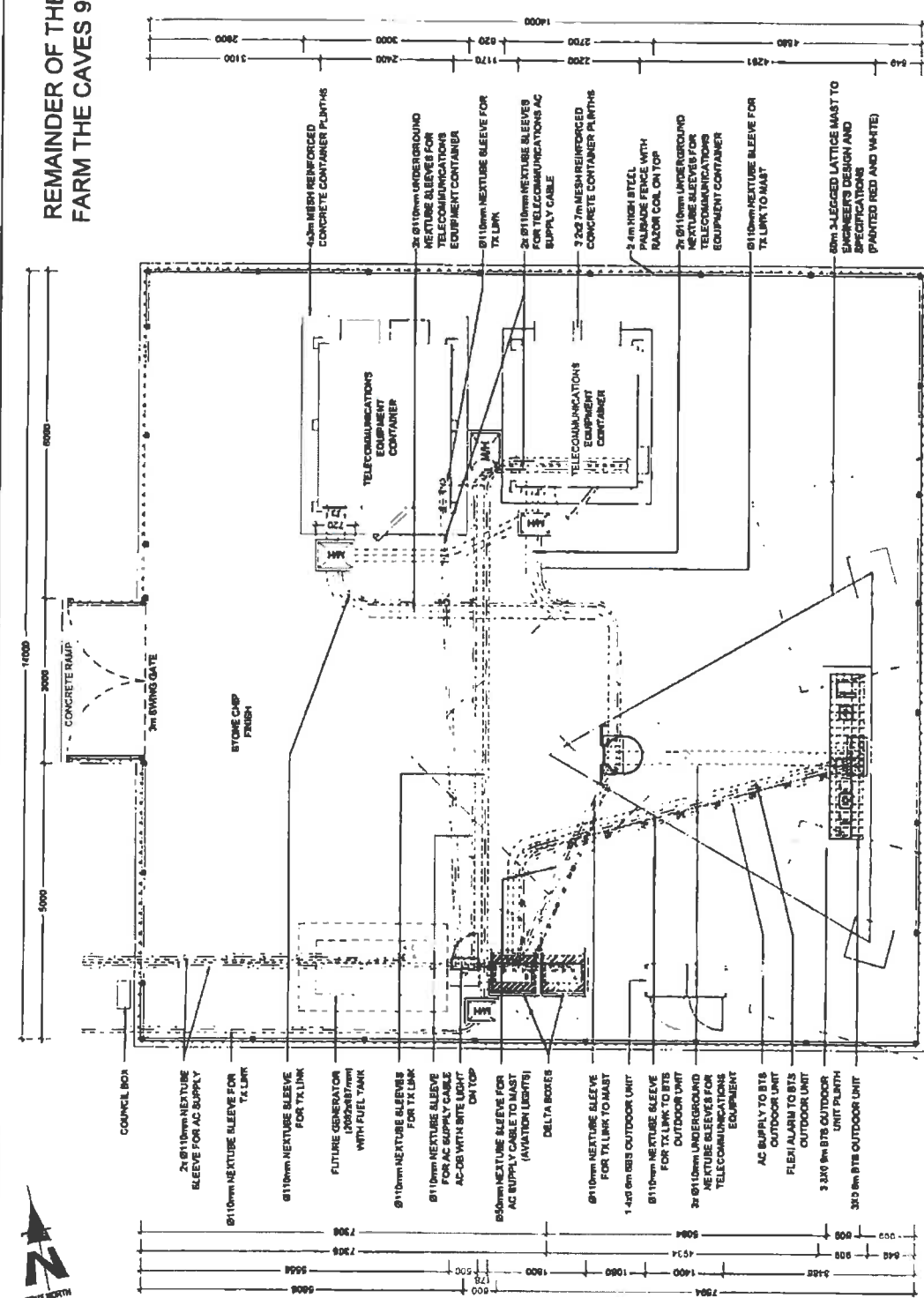
**SITE NAME AND ADDRESS**  
**THE CAVES**  
**OFF THE R396**  
**TOWARDS THE KRAN RIVER BRIDGE**  
**EASTERN CAPE**

SITE PHOTOGRAPHS ALT 1 & 2

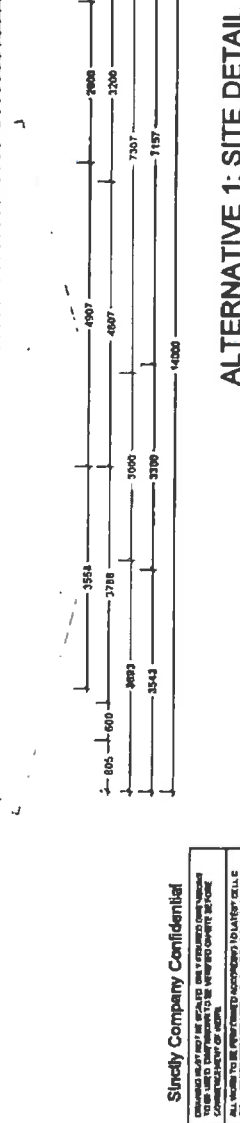
Sindy Company Confidential  
 THIS DOCUMENT IS UNCLASSIFIED  
 TO BE USED ONLY FOR THE PURPOSES  
 SPECIFIED IN THE ORIGINAL DOCUMENT  
 ANY OTHER USE IS PROHIBITED  
 DATE: 2011-01-26



REMAINDER OF THE FARM THE CAVES 97



NO	DATE	DESCRIPTION	
0	25/11/2011	FIRST ISSUE	
PROJECT			
NEW 144MHz TELECOMMUNICATION BASE STATION WITH A LATTICE MAST FOR CELL C (P) (V) LTD			
DRAWN BY MELISSA YOUNG			
PROPERTY DESCRIPTION			
REMAINDER OF THE FARM THE CAVES 97 BASHLEY EAST RD			
OWNER			
PIET & DALENA STEYN FAMILY TRUST			
COORDINATES			
LAT. -30.85220° S			
LONG 27.77050° E			
APPROVALS			
CELL C RF PLANNER			
Signature			
Date			
CELL C IMPLEMENTATION			
Signature			
Date			
CELL C REAL ESTATE CO-ORDINATOR			
Signature			
Date			
CELL C ENGINEER			
Signature			
Number			
 THE POWER IS IN YOUR HANDS 167 VICTORIA ST. Midon City Park Tel: 021 (11) 834 000 Fax: 021 (11) 341 401 Private Bag 278 Midon City Eastern Cape 6000			
 147 Howard Street Cape Town 7 Cape Town Office Park 7527 Sandown Johannesburg 15184 Pretoria Johannesburg Cape Town 7800			
 P.O. Box 19791 114 Bule Park Road Sandown 2013			
REVISION	SHEET NO	ISSUE	SCALE
0	7 OF 11	1	1 : 75
SITE NO SITE NAME AND ADDRESS THE CAVES REMAINDER OF THE FARM THE CAVES 97 BASHLEY EAST RD TOWARDS THE HRAAI RIVER BRIDGE. EASTERN CAPE			



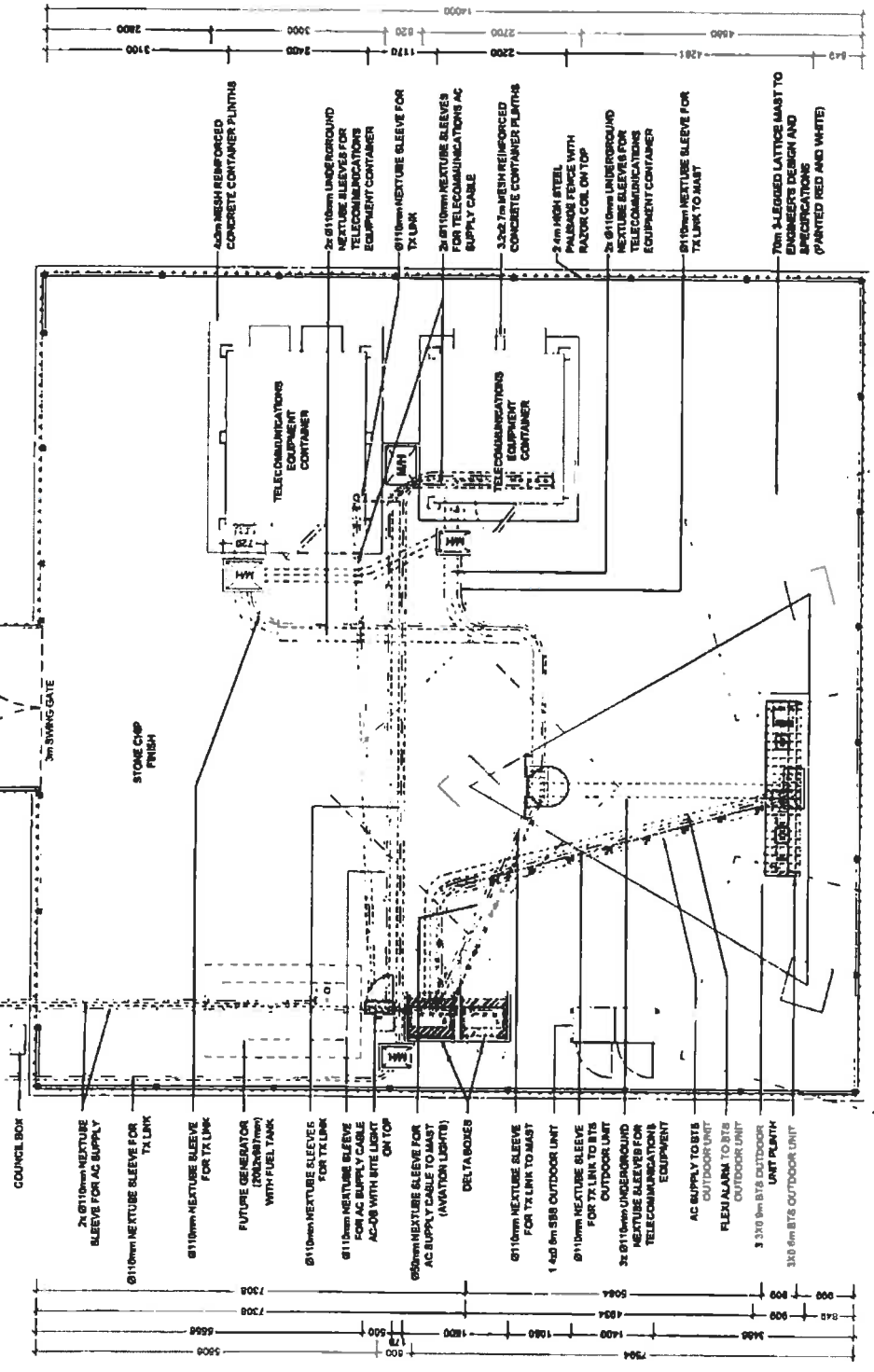
ALTERNATIVE 1: SITE DETAIL

Sindrey Company Confidential

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## REMAINDER OF THE FARM THE CAVES 97



ALTERNATIVE 2: SITE DETAIL

NO.	DATE	DESCRIPTION
0	20/1/2011	FIRST ISSUE

PROJECT	
NEW 4x4mm TELECOMMUNICATION BASESTATION WITH A LATTICE MAST FOR CELL C (PTV), LTD	

DRAWN BY: MELISSA YOUNG	
PRIORITY DESCRIPTION REMAINDER OF THE FARM THE CAVES 97 BARRELEY EAST RD	

OWNER	
MRY & DALENA STEYN FAMILY TRUST	

COORDINATES	
LAT -30 59 27.0" S	
LONG 27 12 05.0" E	

APPROVALS	
CELL C RF PLANNER	
Signature	Date
CELL C IMPLEMENTATION	
Signature	Date
CELL C REAL ESTATE CO-ORDINATOR	
Signature	Date
CELL C ENGINEER	
Name	Signature
Number	

<b>CELLC</b> <sup>TM</sup>	
THE POWER IS IN YOUR HANDS	
Melissa Young 3001 Woodville Road Woodville, SA 5011 Tel: +61 (0) 84 020 420 Fax: +61 (0) 84 020 421	Phone: 84 020 4200

<b>ZTE中兴</b>	
ZTE Australia Pty Ltd 107 Australia Boulevard Springvale, VIC 3171 Cable: 7000 7888	

<b>TORHOUSE SOLUTIONS</b>	
P.O. Box 20017 74-77 Fitz Roy Street Fitzroy, VIC 3068 Tel: +61 (0) 3 9417 1972 Fax: +61 (0) 3 9417 1970	

REVISED	SHEET NO	SCALE
D	8 OF 11	1:75

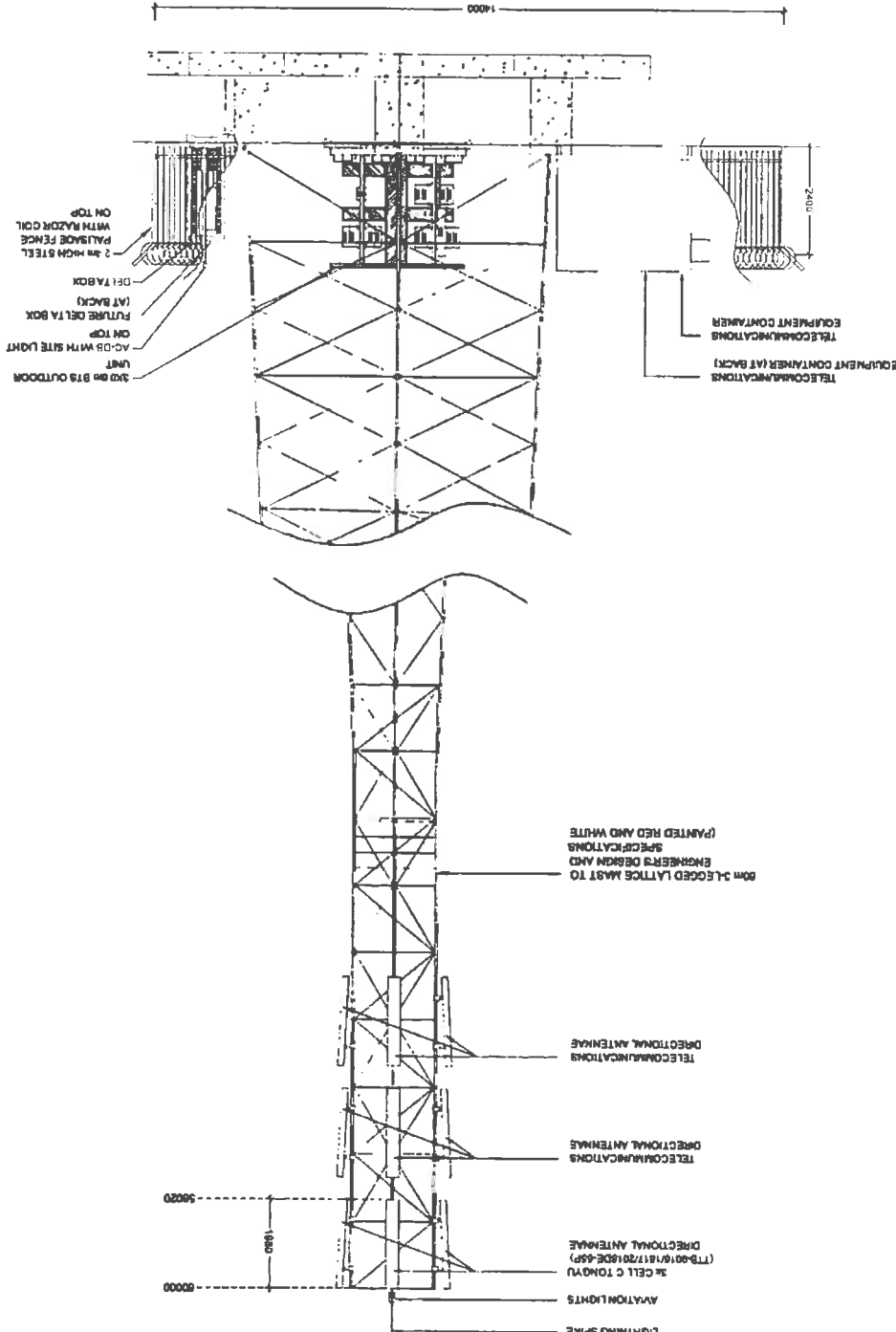
SITE NAME AND ADDRESS	
REMAINDER OF THE FARM THE CAVES TOWARDS THE NEARBY RIVER BRIDGE EASTERN CAPE	

Sirtcity Company Confidential  
 This drawing is not to scale to any extent and is intended for use as a guide only. It is not to be relied on for the purpose of construction. All work to be carried out shall be in accordance with the specifications and drawings.



**CELL C ANTENNAE KEY**

SECTOR	AZIMUTH	ANTENNA	HEIGHT - BOTTOM (ft)	MECH. TILT	ELEC. TILT	FEEDER SIZE	FEEDER LENGTH (ft)
1	17°	TONGYU (TTB-0018/1817/20180E-4SP)	56			7/8"	± 83
2	137°	TONGYU (TTB-0018/1817/20180E-4SP)	56			7/8"	± 83
3	187°	TONGYU (TTB-0018/1817/20180E-4SP)	56			7/8"	± 83



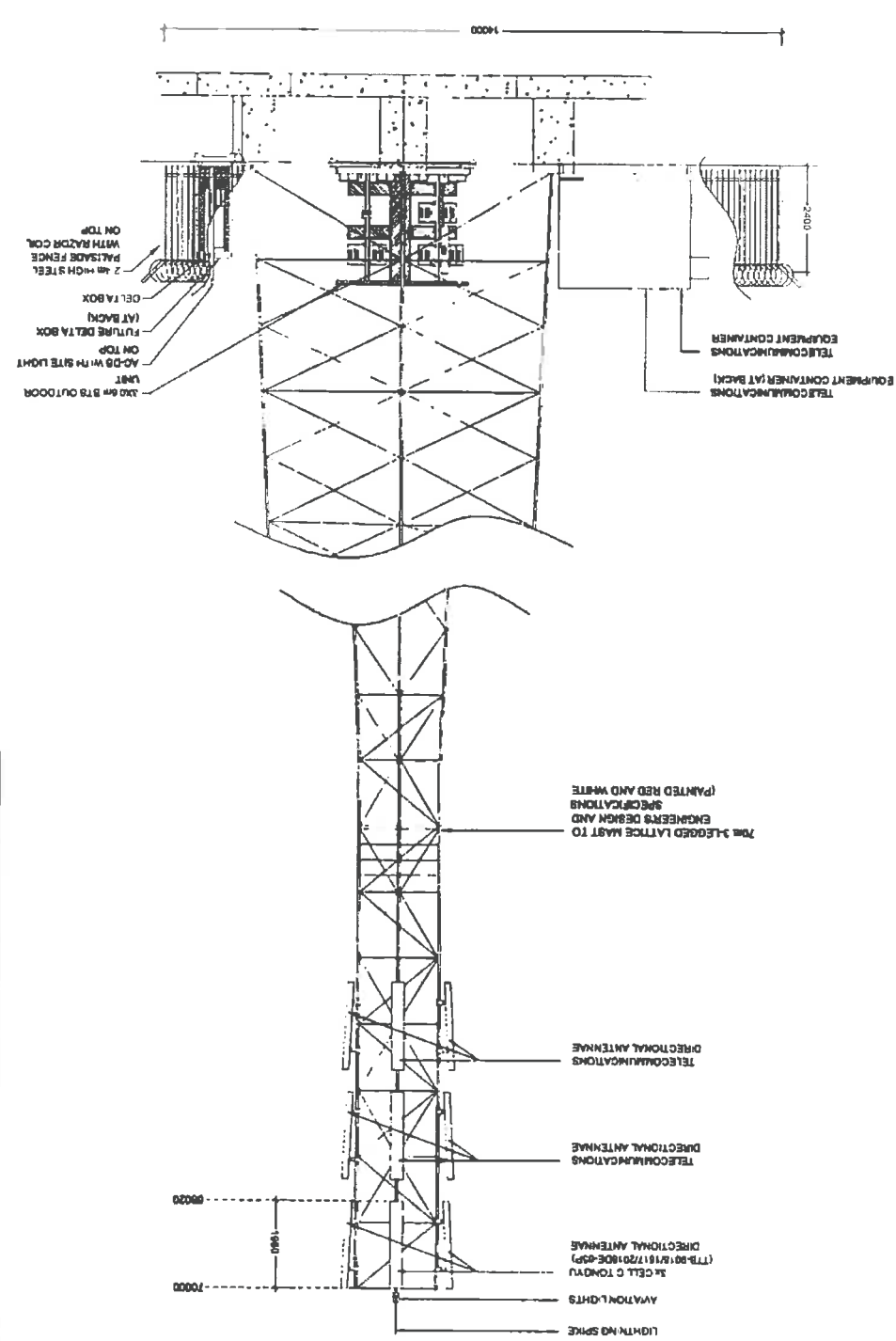
NO	DATE	DESCRIPTION	
0	25/1/2011	FIRST ISSUE	
PROJECT			
NEW 4x4m TELECOMMUNICATION BASESTATION WITH LATTICE MAST FOR CELL C (PTV) LTD			
DRAWN BY MELISSA YOUNG			
PROPERTY DESCRIPTION			
REMAINDER OF THE FARM THE CAVES 97 BARNLEY EAST RD			
OWNER			
PIET & DALENA STEYN FAMILY TRUST			
COORDINATES			
LAT: 30 85220' S			
LONG: 27 21050' E			
APPROVALS			
CELL C RF PLANNER			
Signature _____			
Date _____			
CELL C IMPLEMENTATION			
Signature _____			
Date _____			
CELL C REAL ESTATE COORDINATOR			
Signature _____			
Date _____			
CELL C ENGINEER			
Name _____			
Signature _____			
Number _____			
<p>THE POWER IS IN YOUR HANDS</p> <p>177 Housley Way, Suite 1000 Folsom, CA 95630 Tel: 916 439 2000 Fax: 916 439 2001 www.cello.com</p>			
<p>177 Housley Way, Suite 1000 Folsom, CA 95630 Tel: 916 439 2000 Fax: 916 439 2001 www.zte.com</p>			
<p>146000 Road Folsom, CA 95630 Tel: 916 439 2000 Fax: 916 439 2001 www.torblouse.com</p>			
REVISION	SHEET NO	ISSUE	SCALE
0	8 OF 11	1	1:100
SITE NO			
SITE NAME AND ADDRESS			
THE CAVES			
OFF THE RM			
TOWARDS THE MURAI RIVER BRIDGE.			
EASTERN CAPE			

ALTERNATIVE 1: EAST ELEVATION

Sindly Company Confidential  
 Drawings are not to be used for any purpose other than that intended without the written consent of Sindly Company.  
 All work to be performed according to latest C.E.C. (P) 11, 12 and 13 specifications and specifications.

**CELL C ANTENNAE KEY**

SECTOR	AZIMUTH	ANTENNA	HEIGHT - BOTTOM (ft)	MESH TILT	BLK. TILT	FEEDER SIZE	FEEDER LENGTH (ft)
1	17°	TONGYU (TTB-90181720180E-65P)	68			7/8"	2.73
2	137°	TONGYU (TTB-90181720180E-65P)	68			7/8"	2.73
3	157°	TONGYU (TTB-90181720180E-65P)	68			7/8"	2.73



NO	DATE	DESCRIPTION
0	25/1/2011	FIRST ISSUE
PROJECT		
NEW 145km TELECOMMUNICATION BASE STATION WITH LATTICE MAST FOR CELL C (PVT) LTD		
DRAWN BY MELISSA YOUNG		
PROPERTY DESCRIPTION REMAINDER OF THE FARM THE CAVES 97 BARNLEY EAST RD		
OWNER PIET & DALENA STEYN FAMILY TRUST		
COORDINATES LAT: 30.85220° S LONG: 27.71050° E		
APPROVALS:		
CELL C RF PLANNER	Signature	Date
CELL C IMPLEMENTATION	Signature	Date
CELL C REAL ESTATE CO-ORDINATOR	Signature	Date
CELL C ENGINEER	Signature	Date
Name	Signature	Number

**CELLO**<sup>TM</sup>  
THE POWER IS IN YOUR HANDS  
100 Housheer Memorial Drive  
P.O. Box 1700  
1457171 001 York  
1457171 001 York  
1457171 001 York  
1457171 001 York

**ZTE**  
100 Housheer Memorial Drive  
P.O. Box 1700  
1457171 001 York  
1457171 001 York  
1457171 001 York  
1457171 001 York

**TORRIHOUSE SOLUTIONS**  
100 Housheer Memorial Drive  
P.O. Box 1700  
1457171 001 York  
1457171 001 York  
1457171 001 York  
1457171 001 York

REVISION	SHEET NO	ISSUE	SCALE
0	10	01	1
SITE NO 8881			
SITE NAME AND ADDRESS THE CAVES OFF THE R308 TOWARDS THE KRAAI RIVER BRIDGE, EASTERN CAPE			

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UNCLASSIFIED TO: COMPANY'S ARCHIVE; DATE: 24/01/2011

**ALTERNATIVE 2: EAST ELEVATION**

NO	DATE	DESCRIPTION
0	25/11/2011	FIRST ISSUE

**PROJECT**  
 NEW 1414m TELECOMMUNICATION BASE STATION  
 WITH A LATTICE MAST FOR CELL C (PTV) LTD

**DRAWN BY** MELISSA YOUNG  
**PROPERTY DESCRIPTION**  
 REMAINDER OF THE FARM THE CAVES  
 97 BARNLEY EAST RD

**OWNER**  
 PRTY & DALENA STEYN FAMILY TRUST

**COORDINATES**  
 LAT -30.856220° S  
 LONG 27.731050° E

**APPROVALS**  
**CELL C RF PLANNER**  
 Signature \_\_\_\_\_  
 Date \_\_\_\_\_

**CELL C IMPLEMENTATION**  
 Signature \_\_\_\_\_  
 Date \_\_\_\_\_

**CELL C REAL ESTATE CO-ORDINATOR**  
 Signature \_\_\_\_\_  
 Date \_\_\_\_\_

**CELL C ENGINEER**  
 Name \_\_\_\_\_  
 Signature \_\_\_\_\_  
 Number \_\_\_\_\_

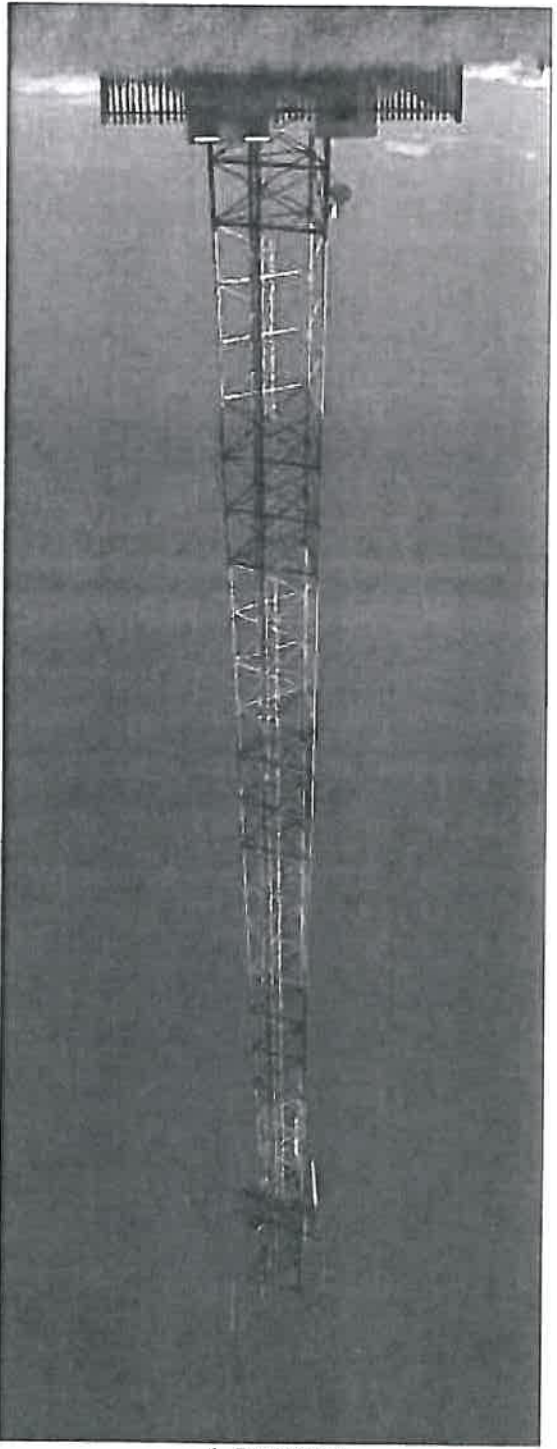
**CELLO™**  
**THE POWER IS IN YOUR HANDS**  
 100 Amps Wireless Data  
 100 Mbps Data Tel. 07110 204 400  
 100 MHz Power Tel. 07110 204 400  
 100 MHz Power Fax 07110 204 400  
 100 MHz Power P.O. Box 120  
 100 MHz Power  
 100 MHz Power

**ZTE®**  
 100 Amps Wireless Data  
 100 Mbps Data Tel. 07110 204 400  
 100 MHz Power Tel. 07110 204 400  
 100 MHz Power Fax 07110 204 400  
 100 MHz Power P.O. Box 120  
 100 MHz Power  
 100 MHz Power

**TURBHOUSE SOLUTIONS**  
 100 Amps Wireless Data  
 100 Mbps Data Tel. 07110 204 400  
 100 MHz Power Tel. 07110 204 400  
 100 MHz Power Fax 07110 204 400  
 100 MHz Power P.O. Box 120  
 100 MHz Power  
 100 MHz Power

REVISION	SHEET NO	ISSUE	SCALE	MTS
0	11	OF 11	1	1

**SITE NO**  
 8593  
**SITE NAME AND ADDRESS**  
 THE CAVES  
 OFF THE R106  
 TOWARDS THE PRAAI RIVER BRIDGE,  
 EASTERN CAPE



TYPICAL 3-LEGGED LATTICE MAST  
 (PAINTED RED & WHITE)

ALTERNATIVE 1 & 2

**Sindly Company Confidential**  
 DRAWN BY: MELISSA YOUNG  
 CHECKED BY: MELISSA YOUNG  
 APPROVED BY: MELISSA YOUNG  
 DATE: 25/11/2011  
 PROJECT: NEW 1414m TELECOMMUNICATION BASE STATION WITH A LATTICE MAST FOR CELL C (PTV) LTD

**FACILITY ILLUSTRATION**

TX Result Report

P 1  
 12/04/2012 11:52  
 Serial No. A02E041005518  
 TC: 875171

Destination	Start Time	Time	Prints	Result	Note
0459793028	04-12 11:48	00:04:07	012/012	OK	

Note TX: Timer TX, POL: Polling, ORG: Original Size Setting, FME: Frame Erase TX,  
 MOK: Mixed Original TX, CALL: Manual To, CSAC: CSAC, FWD: Forward, PC: PC-Fax,  
 BPO: Double-Sided Binding Direction, SS: Special Original, FCODE: F-Code, RTX: Re-TX,  
 RL: Relay, RCF: Confidential, BUL: Bulletin, SIP: SIP Fax, IPADR: IP Address Fax,  
 I-FAX: Internet Fax

Result OK: Communication OK, S-OK: Stop Communication, PW-OFF: Power Switch OFF,  
 TEL: RX from TEL, NG: Other Error, Cont: Continue, No Ans: No Answer,  
 Refuse: Receipt Refused, Busy: Busy, M-Full: Memory Full,  
 LOVR: Receiving length Over, POVER: Receiving page Over, FIL: File Error,  
 DC: Decode Error, MDN: MDN Response Error, DSN: DSN Response Error.



**INFRASTRUCTURE PLANNING SERVICES**  
 Vukani Infrastructure Planning Services Incorporated Reg. No. 2001/014255/21  
 414 Rustic Road, Silvertondale, 0184 Tel. (012) 604 1504/6  
 PO Box 92017, Tlovedal, 0134 Fax (012) 604 7072  
 e-mail: admin@infoplan.co.za

Our Reference: 5991 / JOEC 142/548/3/2012/02

Your Reference:

13 April 2012

The Municipal Manager  
 Ukhahlamba District Municipality  
 Private Bag x102  
 Barkley East  
 9788

Attention: Mr Z Williams  
 Environmental Management Section  
 Fax : 045 – 979 3020

Dear Sir / Madam,

**INTENTION TO SUBMIT AN APPLICATION IN TERMS OF THE NATIONAL ENVIRONMENTAL MANAGEMENT ACT 1989 AS AMENDED ("NEMA") TO THE COMPETENT AUTHORITY FOR LISTED ACTIVITY 3 (A) & (B) : (A) II (EE) IN REGULATION 546: ESTABLISHMENT OF A CELL C (PTY) LTD TELECOMMUNICATION BASE STATION ON THE REMAINDER OF THE FARM THE CAVES 97 BARKLEY EAST RD.**

In terms of the Act and related regulations and guidelines Local Authorities are identified as key interested and affected parties (I&AP).

We request you to evaluate the attached information on the proposed project and provide us with your written comments and/or inputs, if any, by faxing or e-mailing such within 30 days from the date of this notification. It will be assumed that you do not have any comments on the Environmental Application of the proposed project on the expiry of the 30 day response period.

Should you have any further queries please do not hesitate to contact us.

Kind Regards,

*M NIEHOF*  
 M NIEHOF  
 For: Vukani IPS Inc.

Comments:

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Directors: KW Anheita; GA Anheita



# INFRASTRUCTURE PLANNING SERVICES

Vukani Infrastructure Planning Services Incorporated  
414 Rustic Road, Silvertondale, 0184  
PO Box 32017, Totiusdal, 0134  
e-mail: [admin@infraplan.co.za](mailto:admin@infraplan.co.za)

Reg. No. 2001/014235/21  
Tel. (012) 804 1504/6  
Fax (012) 804 7072

Our Reference:  
**5991 / JGEC 142/546/3/2012/02**

Your Reference:

**13 April 2012**

The Municipal Manager  
Ukhahlamba District Municipality  
Private Bag x102  
Barkley East  
9786

Attention: Mr Z Williams

Environmental Management Section

Fax : 045 – 979 3028

Dear Sir / Madam,

**INTENTION TO SUBMIT AN APPLICATION IN TERMS OF THE NATIONAL ENVIRONMENTAL MANAGEMENT ACT 1998 AS AMENDED ("NEMA") TO THE COMPETENT AUTHORITY FOR LISTED ACTIVITY 3 (A) & (B) : (A) II (EE) IN REGULATION 546: ESTABLISHMENT OF A CELL C (PTY) LTD TELECOMMUNICATION BASE STATION ON THE REMAINDER OF THE FARM THE CAVES 97 BARKLEY EAST RD.**

In terms of the Act and related regulations and guidelines Local Authorities are identified as key interested and affected parties (I&AP).

We request you to evaluate the attached information on the proposed project and provide us with your written comments and/or inputs, if any, by faxing or e-mailing such within 30 days from the date of this notification. It will be assumed that you do not have any comments on the Environmental Application of the proposed project on the expiry of the 30 day response period.

Should you have any further queries please do not hesitate to contact us.

Kind Regards,

*M Niehof*  
**M NIEHOF**  
For: Vukani IPS Inc.

**Comments:**

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## PUBLIC PARTICIPATION PROCESS

REFERENCE NUMBER: JGEC 142/546/3/2012/02

Regulation 546 activity 3: Establishment of an enclosed telecommunication base station with a 60m mast for Cell C (Pty) Ltd: 5991 The Caves

Location: Remainder of the Farm The Caves 97 Barkley East RD

Co-ordinates (WGS84 format) of the alternatives on the above property.

Alternative 1: Latitude: 30° 51' 22.39" S Longitude: 27° 43' 15.78" E

Latitude type mast painted red and white

Alternative 2: Latitude: 30° 51' 22.39" S Longitude: 27° 43' 15.78" E

70m Lattice type mast painted red and white

Notice is hereby given of a public participation process in terms of the Environmental Impact Assessment Regulations 2010 (R543) as amended promulgated in terms of the National Environmental Management Act 1998 (Act No. 107 of 1998) as amended ("NEMA").

Basic assessment procedures will be applied in accordance with regulation 543 and an application is to be submitted to the Eastern Cape Department of Economic Development, Environmental Affairs and Tourism.

The applicant furthermore intends to apply to the Eastern Cape Department of Economic Development, Environmental Affairs and Tourism for exemption in terms of regulation 50(1) of the Environmental Impact Assessment Regulations 2010 (R543) to assess alternatives with regard to the planned activity.

Applicant:

Cell C (Pty) Ltd, Private Bag X36, Benmore, 2010.

Environmental Assessment Practitioner (EAP):

Infrastructure Planning Services Inc., P.O. Box 32017, Tolusdal, 0134

Attention: Monica Ntshof

Telephone: (012) 804 1504/6; Facsimile: (012) 804 7072

E-mail: admin@infraplan.co.za

Further information regarding the proposed activity can be obtained from the EAP.

Any interested and affected party may, in writing, make representations on the proposed activity or request to be registered as an interested and affected party, by submitting the written representations or registration request, including their name, physical & postal addresses (including facsimile & e-mail where possible) and contact number(s) and quoting the activity reference number, to the EAP within 30 calendar days from the publication of this notice.

Notice publication date: 13 April 2012

## INKQUBO YOTHABATHO NXAXHEBA LOLUNTU

INOMBOLO YEREFERENSI: JGEC 142/546/3/2012/02

Umsibenzel 3 woMnambelo wama-546: Ukwakhiwa kwesikhululo eesitigqubu soluhungelwano eshetsho ngama-60m sepali ye-Cell C (Pty) Ltd: 5991 The Caves

Indawo: Remainder of the Farm The Caves 97 Barkley East RD

Ulungiselelo (Ubume WGS84) kwizinye iindlela kwipropati engasentla.

Enye indlela yoku-1: Isibanzi: 30° 51' 22.39" S Iside: 27° 43' 15.78" E

IPali enesakhelo esenzwe ngamanqwanqwa epyintwe bomvu namhlope

Enye indlela yoku-2: Isibanzi: 30° 51' 22.39" S Iside: 27° 43' 15.78" E

70m IPali enesakhelo esenzwe ngamanqwanqwa epyintwe bomvu namhlope

Ngelixa ndlela kunikwa isiziso senkqubo yothabatho naxheba loluntu ngokwemimiselo yoHlobo lweSipambalelo zokusingqongileyo 2010 (R543) njengoko lishintshiwe kukwaziiswa komThetho woLawulo lweSipambalelo Zokusingqongileyo weSizwe ka-1998 (UmThetho oyiNombolo ye-107 ka-1998) njengoko utshintshiwe ("NEMA").

Iinkqubo ezilalelako zokuhlola ziyakusetyenzelwa ngokungqhelelana nomimiselo wama-543 kwaye isicelo kufuneka shingeniwe (esibe loPhuhliso lwezoQoqosho nezokusingqongileyo laseMpuma Keleni).

Umfield alicalo ngapha koko ujalisa ehuftakani licalo kwi isaba loPhuhliso lwezoQoqosho nezokusingqongileyo laseMpuma Keleni kukhufuleko ngokwemimiselo yoHlobo lweSipambalelo zokusingqongileyo yoHlobo lweFuthe loBume Ba ndawo 200 (R368) ukuhlola ezinye iindlela ngokuphathelela kumsebenzi ocwangcisiweyo.

Umfield alicalo:

Cell C (Pty) Ltd, Private Bag X36, Benmore, 2010.

Umsibenzel ngoHlobo lokuSinqongileyo

(Environmental Assessment Practitioner) (EAP):

Infrastructure Planning Services Inc.

Attention: Monica Ntshof

P.O. Box 32017, Tolusdal, 0134




INombolo yoMnambelo: (012) 804 1504/6; IFaki: (012) 804 7072,

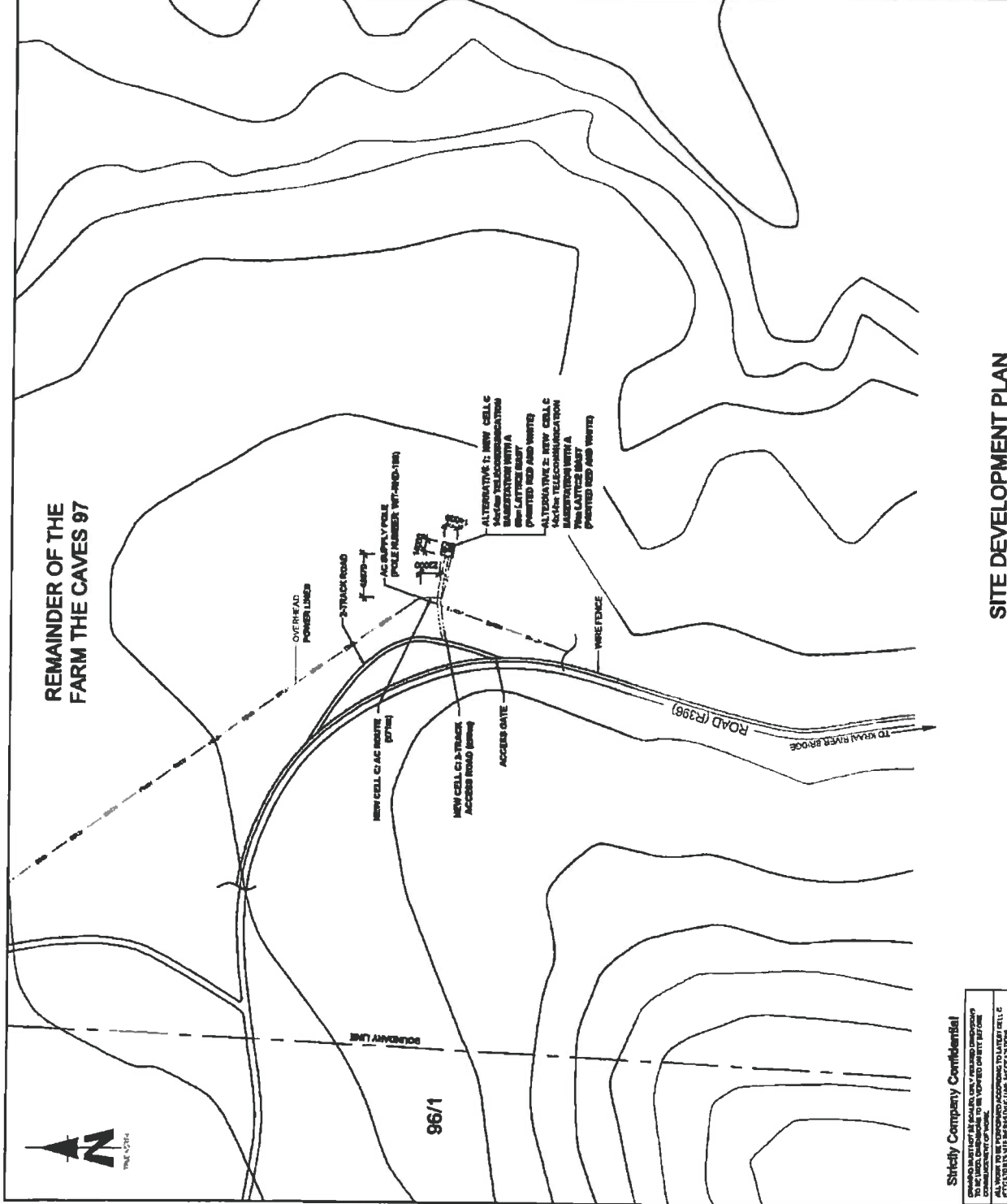
I-imeyili: admin@infraplan.co.za

Ukwazi okanye vekiwe ngokuphathelelana ngomsebenzi osetywayo kunokufuneka kwi- EAP.

Naliphi na iqela alinomdla okanye elichaphazelekayo, linqweneza izindululo, ezibhalwe shabaleni, ngomsebenzi osetywayo okanye ienzo isicelo sokuba libhalwe njengeqela alinomdla okanye elichaphazelekayo, ngokungenisa izindululo ezibhalwe phantle okanye isicelo sokubhalwa, kuquka igama lelo, idilesi yeelalabo neyeposi (kuquka nefakeli kunye ne-imeyili epha kwenzakayo) kunye ne(i)Nombolo yochagamshelwano lize lizele inombolo yerferensi yomsebenzi, kwi-EAP kwintsuku ezingama-30 zokhalanda ezisuka kumhla wokupapashwa kwesi siziso.

Umhla wokupapashwa kwesiziso: 13 April 2010


NO.	DATE	DESCRIPTION
0	20110211	PRINT SCALE
<b>PROJECT</b>		
NEW 4G LTE TELECOMMUNICATION BASESTATION WITH A LATTICE MAST FOR CELL C (PTV) LTD		
<b>DRAWN BY</b> MELISSA YOUNG		
REMAINDER OF THE FARM THE CAVES PROPERTY DESCRIPTION		
BY SUDLEY EAST RD		
<b>OWNER</b>		
PIET & DALIA STEYN FAMILY TRUST		
<b>COORDINATES</b>		
LAT: 34.542689° S		
LONG: 27.721607° E		
<b>APPROVALS:</b>		
<b>CELL C REP PLANNER</b>		
Signature: _____		
Date: _____		
<b>CELL C IMPLEMENTATION</b>		
Signature: _____		
Date: _____		
<b>CELL C REAL ESTATE CO-ORDINATOR</b>		
Signature: _____		
Date: _____		
<b>CELL C ENGINEER</b>		
Name: _____		
Signature: _____		
Number: _____		
 <p><b>CELLO</b> THE POWER IS IN YOUR HANDS</p> <p><small>101 Helderberg Street, Cape Town, South Africa Tel: +27 (0) 21 467 4600 Fax: +27 (0) 21 254 4047 www.cello.co.za</small></p>		
 <p><b>ZTE</b></p> <p><small>401 Hudson Street, Suite 200, New York, NY 10014 Tel: (212) 880-1234 Fax: (212) 880-5678 www.zte.com</small></p>		
 <p><b>TURBO SOLUTIONS</b></p> <p><small>111 Broadway, Suite 1000, New York, NY 10038 Tel: (212) 486-8800 Fax: (212) 486-8801 www.turbosolutions.com</small></p>		
<b>REVISIONS</b>		
NO.	DESCRIPTION	DATE
0	ISSUE 1	11/02/11
<b>DATE NO.</b>		
08/02/11		
<b>PROJECT NO.</b>		
THE CAVES		
SITE NO.		
11/02/11		
<b>CLIENT</b>		
THE CAVES		
111 Broadway, Suite 1000, New York, NY 10038		
Tel: (212) 486-8800		
Fax: (212) 486-8801		
www.turbosolutions.com		

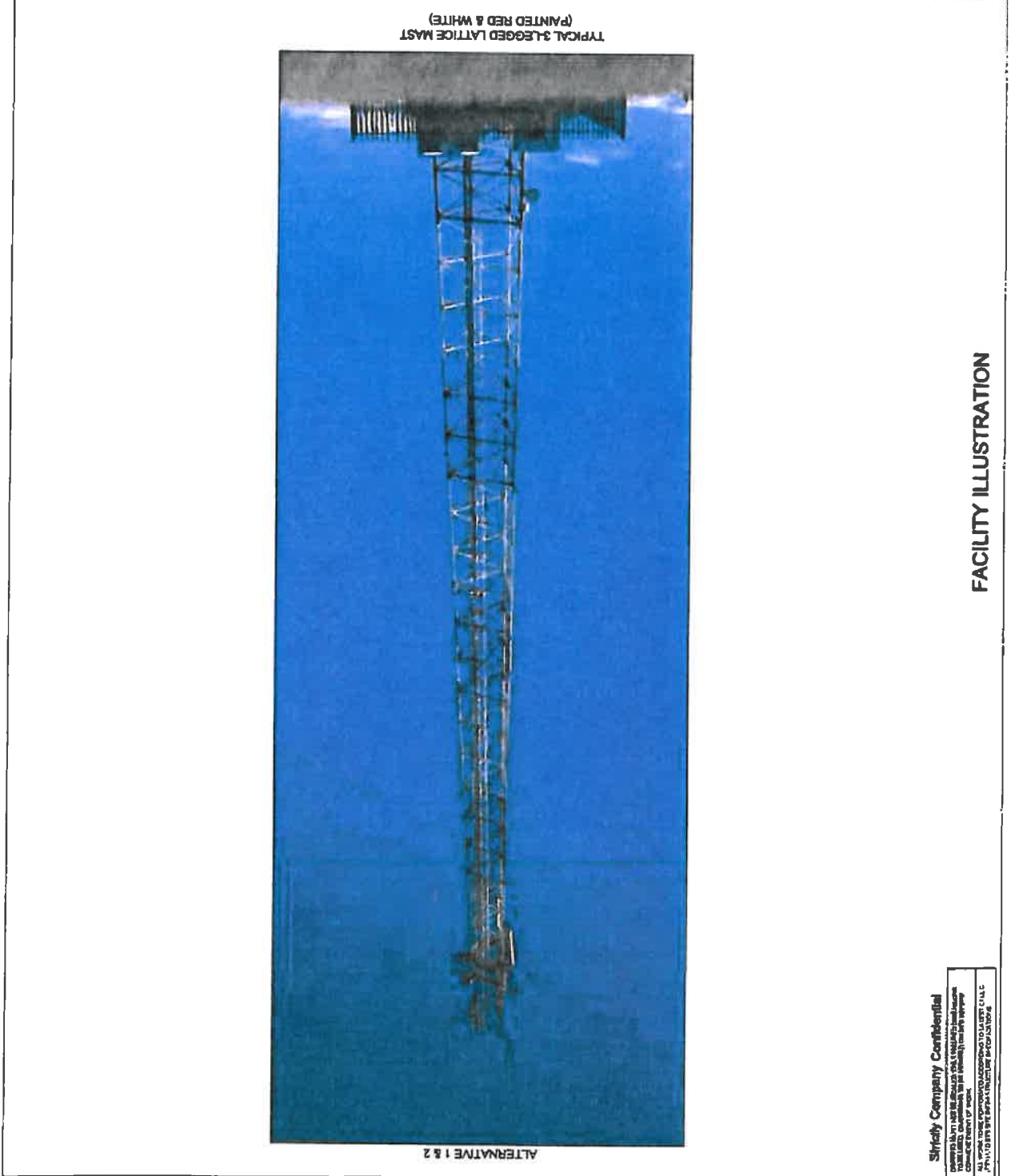


**SITE DEVELOPMENT PLAN**

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NO.	DATE	DESCRIPTION		
0	20/1/2011	PRIAT ISSUE		
<b>PROJECT</b>				
NEW 1414m TELECOMMUNICATION INFRASTRUCTURE WITH A LATTICE MAST FOR CELL C (PTV) 12D				
<b>DESIGNER</b>				
DRAWHY: MELISSA YOUNG				
<b>PROJECT DESCRIPTION</b>				
RELANDING OF THE PIER FROM THE GAVES AT SANDLEY EAST RD				
<b>OWNER</b>				
PREY & DALENA STEVEN FAMILY TRUST				
<b>COORDINATOR</b>				
LAT: -48.146220° S				
LONG: 27.731000° E				
<b>APPROVALS:</b>				
<b>CELL C RF PLANNER:</b>				
Signature: _____				
Date: _____				
<b>CELL C IMPLEMENTATION</b>				
Signature: _____				
Date: _____				
<b>CELL C REAL ESTATE CO-ORDINATOR:</b>				
Signature: _____				
Date: _____				
<b>CELL C ENGINEER</b>				
Name: _____				
Signature: _____				
Number: _____				
<b>CELLO<sup>TM</sup></b>				
THE POWER IS IN YOUR HANDS				
				
101 Liverpool Street Melbourne, Victoria 3000 Australia Phone: +61 3 9292 1234 Fax: +61 3 9292 1234 Email: info@cello.com.au				
<b>ZTE中兴</b>				
191 Liverpool Street Melbourne, Victoria 3000 Australia Phone: +61 3 9292 1234 Fax: +61 3 9292 1234 Email: info@zte.com.au				
<b>TURBHOUSE SOLUTIONS</b>				
114 South Street Melbourne, Victoria 3000 Australia Phone: +61 3 9292 1234 Fax: +61 3 9292 1234 Email: info@turbhouse.com.au				
REVISION:	SHEET NO	ISSUE	SCALE	MTR
0	01	OF 11	1	
<b>REVISIONS</b>				
<b>SITE NAME AND ADDRESS</b>				
THE GAVES OFF THE RINK, TOWARDS THE KRAAI RIVER BRIDGE, EASTERN GAVE				



FACILITY ILLUSTRATION

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 Confidentiality of Information is a key principle of the Cello Group's business.



**REGISTERED LETTER**

**GEREGISTREERDE BRIEF**

(with an insurance option/ met 'n verskeringsopsie)

5991



Full tracking and tracing/Volledige volg en spoor

Addressed to/Geadresseer aan

South African Heritage Resources Agency

P.O. Box 4637

Cape Town

Postcode  
Poststads

8001

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Use words with the fitting and precise brief as to the amount of the postage and the words 'with an insurance option' or 'with an insurance option' must be written on the letter. Die woorde met die gepaste en presiese brief moet gebruik word vir die bedrag van die posgeld en die woorde 'met 'n verskeringsopsie' of 'met 'n verskeringsopsie' moet op die brief geskryf word.

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Initial of accepting officer  
Paraaf van aanvaar-beampte

Datumstempel



# INFRASTRUCTURE PLANNING SERVICES

Vukani Infrastructure Planning Services Incorporated

Reg. No. 2001/014235/21

414 Rustic Road, Silvertondale, 0184

PO Box 32017, Totlusdal, 0134

Tel. (012) 804 1504/6

e-mail: [admin@infraplan.co.za](mailto:admin@infraplan.co.za)

Fax (012) 804 7072

Our Reference:

5991 / JGEC 142/546/3/2012/02

Your Reference:

13 April 2012

South African Heritage Resources Agency  
P O Box 4637  
Cape Town  
8000

**BY REGISTERED MAIL:**

Dear Sir / Madam

**INTENTION TO SUBMIT AN APPLICATION IN TERMS OF THE NATIONAL ENVIRONMENTAL MANAGEMENT ACT 1998 AS AMENDED ("NEMA") TO THE COMPETENT AUTHORITY FOR LISTED ACTIVITY 3 (a) & (b) : (a) ii (ee) IN REGULATION 546: ESTABLISHMENT OF A CELL C (PTY) LTD TELECOMMUNICATION BASE STATION ON THE REMAINDER OF THE FARM THE CAVES 97 BARKLEY EAST RD.**

We are acting on behalf of Cell C (Pty) Ltd in order to apply to the Eastern Cape Department of Economic Development and Environmental Affairs and Tourism to establish a telecommunication base station on The remainder of the Farm The Caves 97 Barkley East RD.

Attached hereto find the following for your information:

1. Public Participation Notice
2. Site Development Plan
3. Facility Illustration

Should you have any further queries, please do not hesitate to contact us.

Yours faithfully,

**M NIEHOF**

For: Vukani IPS Inc.

## PUBLIC PARTICIPATION PROCESS

REFERENCE NUMBER: JGEC 142/546/3/2012/02

Regulation 546 activity 3: Establishment of an enclosed telecommunication base station with a 60m mast for Cell C (Pty) Ltd: 5991 The Caves

Location: Remainder of the Farm The Caves 97 Barkley East RD

Co-ordinates (WGS84 format) of the alternatives on the above property.

Alternative 1: Latitude: 30° 51' 22.39" S Longitude: 27° 43' 15.78" E

Lattice type mast painted red and white

Alternative 2: Latitude: 30° 51' 22.39" S Longitude: 27° 43' 15.78" E

70m Lattice type mast painted red and white

Notice is hereby given of a public participation process in terms of the Environmental Impact Assessment Regulations 2010 (R543) as amended promulgated in terms of the National Environmental Management Act 1998 (Act No. 107 of 1998) as amended ("NEMA").

Basic assessment procedures will be applied in accordance with regulation 543 and an application is to be submitted to the Eastern Cape Department of Economic Development, Environmental Affairs and Tourism.

The applicant furthermore intends to apply to the Eastern Cape Department of Economic Development, Environmental Affairs and Tourism for exemption in terms of regulation 50(1) of the Environmental Impact Assessment Regulations 2010 (R543) to assess alternatives with regard to the planned activity.

### Applicant:

Cell C (Pty) Ltd, Private Bag X36, Benmore, 2010.

Environmental Assessment Practitioner (EAP):

Infrastructure Planning Services Inc., P.O. Box 32017, Tokusdal, 0134

Attention: Monica Niehof

Telephone: (012) 804 1504/6; Facsimile: (012) 804 7072

E-mail: admin@infraplan.co.za

Further information regarding the proposed activity can be obtained from the EAP.

Any interested and affected party may, in writing, make representations on the proposed activity or request to be registered as an interested and affected party, by submitting the written representations or registration request, including their name, physical & postal addresses (including facsimile & e-mail where possible) and contact number(s) and quoting the activity reference number, to the EAP within 30 calendar days from the publication of this notice.

Notice publication date:

13 April 2012

## INKQUBO YOTHABATHO NXAXHEBA LOLUNTU

INOMBOLO YEREFERENSI: JGEC 142/546/3/2012/02

UMsebenzi 3 woMimiselo wama-546: Ukwakhiwa kwesikhululo sesisigqubu soluhungelwano esivaleke ngama-60m sepepi ye-Cell C (Pty) Ltd: 5991 The Caves

Indawo: Remainder of the Farm The Caves 97 Barkley East RD

Ulungiselelo (Ubume WGS84) lwezinye iindlela kwipropati engasentla.

Enye indlela yoku- 1: Isibanzi: 30° 51' 22.39" S Iside: 27° 43' 15.78" E

IPail enesakheho esenziwe ngamanqanqwa epeyintwe bomvu namhlophe

Enye indlela yase- 2: Isibanzi: 30° 51' 22.39" S Iside: 27° 43' 15.78" E

70m IPail enesakheho esenziwe ngamanqanqwa epeyintwe bomvu namhlophe

Ngale ndlela kumikwe leziso sentqubo yothabatho nxaxheba loluntu ngokweMimiselo yoHlobo lweMimiselo zokusingqongileyo 2010 (R543) njengoko itshintshiwe kukwaziswa komThetho woLawulo lweMimiselo Zokusingqongileyo weSizwe ka-1998 (UmThetho oyiNombolo ye-107 ka-1998) njengoko utshintshiwe ("NEMA").

Iinkqubo eziliseko zokuhlola ziyakusetyenziswa ngokungqinelana nomimiselo wama-543 kwaye isicelo kufuneka singeniswe isebe loPhuhliso lwezoQoqosho nezokusingqongileyo laseMpuma Koloni.

Umfeld sicele ngaphe koko ujlise ekufakeni isicelo kwi isebe loPhuhliso lwezoQoqosho nezokusingqongileyo laseMpuma Koloni kukhululeko ngokwemiqathango yomimiselo 50(1) yeMimiselo yoHlobo lweFuthe loBurns Be ndawo 200 (R385) ukuhlola ezinye iindlela ngokuphathelile kumsebenzi ocwangcisiwayo.

### Umfaki sicele:

Cell C (Pty) Ltd, Private Bag X36, Benmore, 2010.

UMsebenzi ngoHlobo lokusingqongileyo

(Environmental Assessment Practitioner) (EAP):

Infrastructure Planning Services Inc.

Attention: Monica Niehof

P.O. Box 32017, Tokusdal, 0134

Inombolo yomNxeba: (012) 804 1504/6;

I-meyile: admin@infraplan.co.za

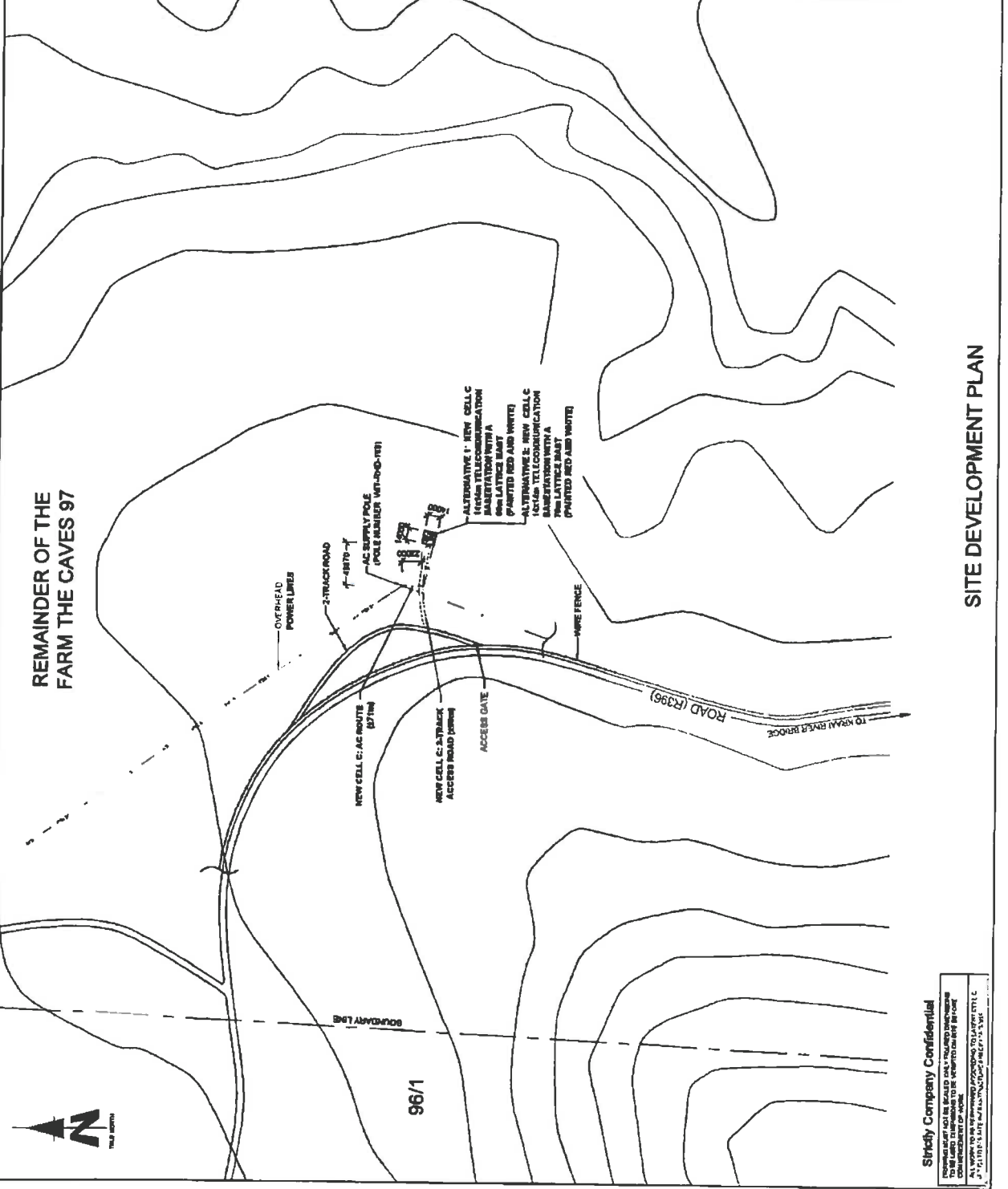
Uwazi olutho velishe ngokuphathelene ngomsebenzi ocatywayo lunokufumaneka kwi- EAP.

Naliphi na iqela elifomdla okanye elichaphazelekayo, linokwenza izindululo, ezibhalwe phezulu, ngomsebenzi ocatywayo okanye lenze isicelo sokuba libhaliswe njengeqela elifomdla okanye elichaphazelekayo, ngokungenisa izindululo ezibhalwe phantsi okanye isicelo sokuthalisa, kuxukwa igama lalo, idilesi yesitalato neyeposi (kuxukwa nefaksi kunye ne-imeyile apho kwenzekayo) kunye ne(i)nombo loqhagamshelwano lize lixelele inombolo yereferensi yomsebenzi, kwi-EAP kwiintsuku ezingama-30 zekhalenda ezisukela kumhla wokupapashwa kwesi saziiso.

Umhla wokupapashwa kwesaziiso:

13 April 2010

NO	DATE	DESCRIPTION	
0	25/11/2011	FIRST ISSUE	
<b>PROPERTY</b> NEW 181414M TELECOMMUNICATION BASE STATION WITH A LATTICE MAST FOR CELL C (PTV) LTD			
<b>DEVELOPER</b> MELISSA YOUNG			
<b>PROPERTY DESCRIPTION</b> REMAINDER OF THE FARM THE CAVES 87 BARKLEY EAST RD			
<b>OWNER</b> PIET & DALENA STEYN FAMILY TRUST			
<b>COORDINATES</b> LAT -30 154229' S LONG 27 711059' E			
<b>APPROVALS:</b> <b>CELL C RF PLANNER</b> Signature: _____ Date: _____			
<b>CELL C IMPLEMENTATION</b> Signature: _____ Date: _____			
<b>CELL C REAL ESTATE COORDINATOR</b> Signature: _____ Date: _____			
<b>CELL C ENGINEER</b> Name: _____ Signature: _____ Number: _____			
<b>CELL C</b> <b>THE POWER IS IN YOUR HANDS</b> 111 South Street, Suite 100, Cape Town, South Africa Tel: +27 (0) 21 424 0000 Fax: +27 (0) 21 424 0001 www.cellc.co.za			
<b>ZTE中兴</b> 111 South Street, Suite 100, Cape Town, South Africa Tel: +27 (0) 21 424 0000 Fax: +27 (0) 21 424 0001 www.zte.com.cn			
<b>TORBILOUSE SOLUTIONS</b> 111 South Street, Suite 100, Cape Town, South Africa Tel: +27 (0) 21 424 0000 Fax: +27 (0) 21 424 0001 www.torbilouse.com			
REVISION	SHEET NO	TOTAL SHEETS	SCALE
0	3 OF 11	1	1:4000
<b>DATE AND ADDRESS</b> THE CAVES OFF THE FARM TOWARDS THE PRAAN RIVER BRIDGE EASTERN CAPE			



**SITE DEVELOPMENT PLAN**

Strictly Company Confidential  
 This drawing shall be read only in conjunction with the contract documents and shall not be used for any other purpose without the written consent of the engineer.  
 J. T. STEYN & ASSOCIATES (Pty) Ltd  
 ENGINEERS

NO.	DATE	DESCRIPTION
0	25/1/2011	FIRST ISSUE

**PROJECT**  
 NEW 18x18m TELECOMMUNICATION BASE STATION WITH A LATTICE MAST FOR CELL C (PTY) LTD

**OWNER**  
 GRANBY MELISSA YOUNG  
 17 BARKLEY EAST RD  
 BARKLEY EAST RD  
 BARKLEY EAST RD

**OWNER**  
 PIET & DALENA STEYN FAMILY TRUST

**COORDINATES**  
 LAT - 30 565200 S  
 LONG 37 218200 E

**APPROVALS:**

**CELL C RF PLANNER**  
 Signature \_\_\_\_\_  
 Date \_\_\_\_\_

**CELL C IMPLEMENTATION**  
 Signature \_\_\_\_\_  
 Date \_\_\_\_\_

**CELL C REAL ESTATE CO-ORDINATOR**  
 Signature \_\_\_\_\_  
 Date \_\_\_\_\_

**CELL C ENGINEER**  
 Name \_\_\_\_\_  
 Signature \_\_\_\_\_  
 Number \_\_\_\_\_

**CELL C**  
 THE POWER IS IN YOUR HANDS

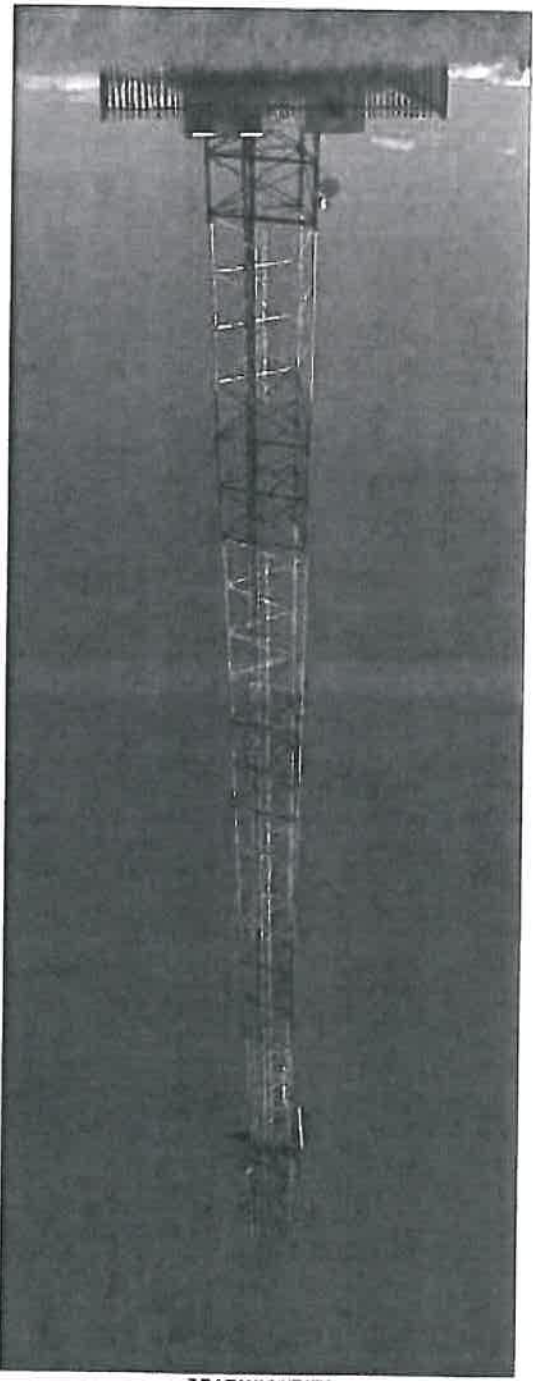
Mobile Office Dept 74 2711134 020  
 100 Main Road, P.O. Box 100  
 100 Main Road, P.O. Box 100  
 100 Main Road, P.O. Box 100



REVISION 0 SHEET NO 11 OF 11 RISK 1 SCALE HTS

**SITE NAME AND ADDRESS**  
 THE CAVES  
 OFF THE HWY  
 TOWARDS THE KRAAI RIVER BRIDGE  
 EASTERN CAPE

ALTERNATIVE 1 & 2  
 TYPICAL 3-LEGGED LATTICE MAST  
 (PAINTED RED & WHITE)



FACILITY ILLUSTRATION

Strictly Confidential

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5991

# List of REGISTERED LETTERS

## Lys van GEREGISTREERDE BRIEWE

(with an insurance option/met 'n versekeringsopsie)



Post Office

Full tracking and tracing/Volledige volg en spoor

Name and address of sender: Infrastructure Planning Services.  
 Naam en adres van afsender: P.O. Box 69017 Totiusdal 0134.  
Tel: (012) 804-1504/6

Enquiries/Navrae  
 Toll-free number  
 Toevry nommer  
**0800 111 502**

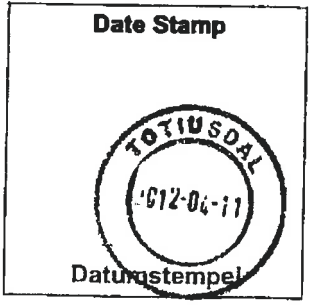
No	Name and address of addressee Naam en adres van geadresseerde	Insured amount Versekerde bedrag	Insurance fee Versekeringsgeld	Postage Posgeld	Service fee Diensgeld	Affix Track and Trace customer copy Plak Volg-en-Spoor-kliëntafskrif	
1	Mr. J.M. Du Toit P.O. Box 64 Barkley East 9786	Farm	36.8			REGISTERED LETTER (with a domestic insurance option) ShareCall 0800 111 502 www.sapo.co.za RD 747 987 435 ZA CUSTOMER COPY 301028R	
2	Mr. B.G. Lombard P.O. Box 267 Olival North 9750	Pen M Farm	98			REGISTERED LETTER (with a domestic insurance option) ShareCall 0800 111 502 www.sapo.co.za RD 747 987 427 ZA CUSTOMER COPY 301028R	
3	Mr. P.H. Steyn P.O. Box 23 Barkley East 9786	Pen M Farm	97			REGISTERED LETTER (with a domestic insurance option) ShareCall 0800 111 502 www.sapo.co.za RD 747 987 413 ZA CUSTOMER COPY 301028R	
4	Mr. J.M. Nel P.O. Box 13 Barkley East 9786	RE Farm 79				REGISTERED LETTER (with a domestic insurance option) ShareCall 0800 111 502 www.sapo.co.za RD 747 987 395 ZA CUSTOMER COPY 301028R	
5	Mr. P. Baldsmith P.O. Box 301 Barkley East 9786	RE Farm 96 Lower Drumbo RD & pen 2 farm 97				REGISTERED LETTER (with a domestic insurance option) ShareCall 0800 111 502 www.sapo.co.za RD 747 987 400 ZA CUSTOMER COPY 301028R	
6	Piet & Doreen Steyn Family Trust P.O. Box 23 Barkley East 9786	RE farm 97				CUSTOMER COPY 301028R REGISTERED LETTER (with a domestic insurance option) ShareCall 0800 111 502 www.sapo.co.za RD 747 987 387 ZA	
7	Municipal Manager Ukhahlamba District Municipality, Private Bag 102 Barkley East 9786.	RE Pen 1 farm 96 Lower Drumbo RD				CUSTOMER COPY 301028R REGISTERED LETTER (with a domestic insurance option) ShareCall 0800 111 502 www.sapo.co.za RD 747 987 373 ZA CUSTOMER COPY 301028R	
8							
9							
10							
Number of letters posted Getal briewe gepos		Total Totaal		R	R	R	R

Signature of client  
 Handtekening van kliënt *[Signature]*

Signature of accepting officer  
 Handtekening van aanneembeampte

The value of the contents of these letters is as indicated and compensation is not payable for a letter received unconditionally. Compensation is limited to R100,00. No compensation is payable without documentary proof. Optional insurance of up to R2 000,00 is available and applies to domestic registered letters only.

Die waarde van die inhoud van hierdie briewe is soos aangedui en vergoeding sal nie betaal word vir 'n brief wat sonder voorbehoud ontvang word nie. Vergoeding is beperk tot R100,00. Geen vergoeding is sonder dokumentêre bewys betaalbaar nie. Opsionele versekering van tot R2 000,00 is beskikbaar en is slegs op binnelandse geregistreerde briewe van toepassing.





# INFRASTRUCTURE PLANNING SERVICES

Vukani Infrastructure Planning Services Incorporated

Reg. No. 2001/014235/21

414 Rustic Road, Silvertondale, 0184

Tel. (012) 804 1504/6

PO Box 32017, Totiusdal, 0134

Fax (012) 804 7072

e-mail: [admin@infraplan.co.za](mailto:admin@infraplan.co.za)

Our Reference:  
5991 / JGEC 142/546/3/2012/02

Your Reference:

13 April 2012

**Owner of the farm 368 Barkley East RD**  
Mr. J.M Du Toit  
P.O Box 64  
**BARKLEY EAST**  
9786

**BY REGISTERED MAIL:**

Dear Sir / Madam

**INTENTION TO SUBMIT AN APPLICATION IN TERMS OF THE NATIONAL ENVIRONMENTAL MANAGEMENT ACT 1998 AS AMENDED ("NEMA") TO THE COMPETENT AUTHORITY FOR LISTED ACTIVITY 3 (a) & (b) : (a) ii (ee) IN REGULATION 546: ESTABLISHMENT OF A CELL C (PTY) LTD TELECOMMUNICATION BASE STATION ON THE REMAINDER OF THE FARM THE CAVES 97 BARKLEY EAST RD.**

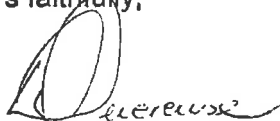
We are acting on behalf of Cell C (Pty) Ltd in order to apply to the Eastern Cape Department of Economic Development and Environmental Affairs and Tourism to establish a telecommunication base station on The remainder of the Farm The Caves 97 Barkley East RD.

Attached hereto find the following for your information:

1. Public Participation Notice
2. Site Development Plan
3. Facility Illustration

Should you have any further queries, please do not hesitate to contact us.

Yours faithfully,

*pp* 

**M NIEHOF**  
For: Vukani IPS Inc.



# INFRASTRUCTURE PLANNING SERVICES

Vukani Infrastructure Planning Services Incorporated  
414 Rustic Road, Silvertondale, 0184  
PO Box 32017, Totiusdal, 0134  
e-mail: [admin@infreplan.co.za](mailto:admin@infreplan.co.za)

Reg. No. 2001/014235/21  
Tel. (012) 804 1504/6  
Fax (012) 804 7072

Our Reference:

5991 / JGEC 142/546/3/2012/02

Your Reference:

13 April 2012

**Owner Portion 1 of the farm 98 Kelvingrove RD**  
Mr. B.G Lombaard  
P.O Box 267  
ALIWAL NORTH  
9750

**BY REGISTERED MAIL:**

Dear Sir / Madam

**INTENTION TO SUBMIT AN APPLICATION IN TERMS OF THE NATIONAL ENVIRONMENTAL MANAGEMENT ACT 1998 AS AMENDED ("NEMA") TO THE COMPETENT AUTHORITY FOR LISTED ACTIVITY 3 (a) & (b) : (a) ii (ee) IN REGULATION 546: ESTABLISHMENT OF A CELL C (PTY) LTD TELECOMMUNICATION BASE STATION ON THE REMAINDER OF THE FARM THE CAVES 97 BARKLEY EAST RD.**

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Yours faithfully,

*P.P* 

**M NIEHOF**  
For: Vukani IPS Inc.

Directors: KW Anholts; GA Anholts





# INFRASTRUCTURE PLANNING SERVICES

Vukani Infrastructure Planning Services Incorporated

Reg. No. 2001/014235/21

414 Rustic Road, Silvertondale, 0184

PO Box 32017, Totiusdal, 0134

Tel. (012) 804 1504/6

e-mail: [admin@infraplan.co.za](mailto:admin@infraplan.co.za)

Fax (012) 804 7072

Our Reference:

5991 / JGEC 142/546/3/2012/02

Your Reference:

13 April 2012

**Owner Portion 4 of the farm 97 The Caves RD**  
Mr. P.H Steyn  
P.O Box 23  
**BARKLEY EAST**  
9786

**BY REGISTERED MAIL:**

Dear Sir / Madam

**INTENTION TO SUBMIT AN APPLICATION IN TERMS OF THE NATIONAL ENVIRONMENTAL MANAGEMENT ACT 1998 AS AMENDED ("NEMA") TO THE COMPETENT AUTHORITY FOR LISTED ACTIVITY 3 (a) & (b) : (a) ii (ee) IN REGULATION 546: ESTABLISHMENT OF A CELL C (PTY) LTD TELECOMMUNICATION BASE STATION ON THE REMAINDER OF THE FARM THE CAVES 97 BARKLEY EAST RD.**

We are acting on behalf of Cell C (Pty) Ltd in order to apply to the Eastern Cape Department of Economic Development and Environmental Affairs and Tourism to establish a telecommunication base station on The remainder of the Farm The Caves 97 Barkley East RD.

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2. Site Development Plan
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Should you have any further queries, please do not hesitate to contact us.

Yours faithfully,

*P.P. M. Niehof*

**M NIEHOF**  
For: Vukani IPS Inc.

Directors: KW Anholts; GA Anholts



# INFRASTRUCTURE PLANNING SERVICES

Vukani Infrastructure Planning Services Incorporated  
414 Rustic Road, Silvertendale, 0184  
PO Box 32017, Totiusdal, 0134  
e-mail: [admin@infraplan.co.za](mailto:admin@infraplan.co.za)

Reg. No. 2001/014235/21  
Tel. (012) 804 1504/6  
Fax (012) 804 7072

Our Reference:

5991 / JGEC 142/546/3/2012/02

Your Reference:

13 April 2012

**Owner Remaining Extent of the farm 79 Eaglescrag RD**

Mr. J.M Nel  
P.O Box 13  
**BARKLEY EAST**  
9786

**BY REGISTERED MAIL:**

Dear Sir / Madam

**INTENTION TO SUBMIT AN APPLICATION IN TERMS OF THE NATIONAL ENVIRONMENTAL MANAGEMENT ACT 1998 AS AMENDED ("NEMA") TO THE COMPETENT AUTHORITY FOR LISTED ACTIVITY 3 (a) & (b) : (a) II (ee) IN REGULATION 546: ESTABLISHMENT OF A CELL C (PTY) LTD TELECOMMUNICATION BASE STATION ON THE REMAINDER OF THE FARM THE CAVES 97 BARKLEY EAST RD.**

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Yours faithfully,

*p.p. M. Niehof*

**M NIEHOF**  
For: Vukani IPS Inc.

Directors: KW Anholts; GA Anholts



# INFRASTRUCTURE PLANNING SERVICES

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e-mail: [admin@infraplan.co.za](mailto:admin@infraplan.co.za)

Fax (012) 804 7072

Our Reference:

5991 / JGEC 142/546/3/2012/02

Your Reference:

13 April 2012

**Owner Remaining Extent of the farm 96 Lower Drumbo RD  
And Portion 2 of the farm 97 The Caves RD**

Mr. P. Goldsmith

P.O Box 301

**BARKLEY EAST**

9786

**BY REGISTERED MAIL:**

Dear Sir / Madam

**INTENTION TO SUBMIT AN APPLICATION IN TERMS OF THE NATIONAL ENVIRONMENTAL MANAGEMENT ACT 1998 AS AMENDED ("NEMA") TO THE COMPETENT AUTHORITY FOR LISTED ACTIVITY 3 (a) & (b) : (a) ii (ee) IN REGULATION 546: ESTABLISHMENT OF A CELL C (PTY) LTD TELECOMMUNICATION BASE STATION ON THE REMAINDER OF THE FARM THE CAVES 97 BARKLEY EAST RD.**

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Yours faithfully,

p.p. 

**M NIEHOF**

For: Vukani IPS Inc.

Directors: KW Anholts; GA Anholts



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Fax (012) 804 7072

Our Reference:

5991 / JGEC 142/546/3/2012/02

Your Reference:

13 April 2012

**Owner Remaining Extent of the farm 97The Caves RD**  
**Piet & Dalena Steyn Family Trust**  
**P.O Box 23**  
**BARKLEY EAST**  
**9786**

**BY REGISTERED MAIL:**

Dear Sir / Madam

**INTENTION TO SUBMIT AN APPLICATION IN TERMS OF THE NATIONAL ENVIRONMENTAL MANAGEMENT ACT 1998 AS AMENDED ("NEMA") TO THE COMPETENT AUTHORITY FOR LISTED ACTIVITY 3 (a) & (b) : (a) ii (ee) IN REGULATION 546: ESTABLISHMENT OF A CELL C (PTY) LTD TELECOMMUNICATION BASE STATION ON THE REMAINDER OF THE FARM THE CAVES 97 BARKLEY EAST RD.**

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Yours faithfully,

*P.P. M Niehof*

**M NIEHOF**

For: Vukani IPS Inc.

Directors: KW Anholts; GA Anholts



# INFRASTRUCTURE PLANNING SERVICES

Vukani Infrastructure Planning Services Incorporated

Reg. No. 2001/014235/21

414 Rustic Road, Silvertordale, 0184

PO Box 32017, Totiusdal, 0134

Tel. (012) 804 1504/6

e-mail: [admin@infreplan.co.za](mailto:admin@infreplan.co.za)

Fax (012) 804 7072

Our Reference:

5991 / JGEC 142/546/3/2012/02

Your Reference:

13 April 2012

**Owner Remaining Extent of Portion 1 of the farm 96 Lower Drumbo RD**

The Municipal Manager

Ukhahlamba District Municipality

Private Bag X102

**BARKLEY EAST**

9786

**BY REGISTERED MAIL:**

Dear Sir / Madam

**INTENTION TO SUBMIT AN APPLICATION IN TERMS OF THE NATIONAL ENVIRONMENTAL MANAGEMENT ACT 1998 AS AMENDED ("NEMA") TO THE COMPETENT AUTHORITY FOR LISTED ACTIVITY 3 (a) & (b) : (a) ii (ee) IN REGULATION 546: ESTABLISHMENT OF A CELL C (PTY) LTD TELECOMMUNICATION BASE STATION ON THE REMAINDER OF THE FARM THE CAVES 97 BARKLEY EAST RD.**

We are acting on behalf of Cell C (Pty) Ltd in order to apply to the Eastern Cape Department of Economic Development and Environmental Affairs and Tourism to establish a telecommunication base station on The remainder of the Farm The Caves 97 Barkley East RD.

Attached hereto find the following for your information:

1. Public Participation Notice
2. Site Development Plan
3. Facility Illustration

Should you have any further queries, please do not hesitate to contact us.

Yours faithfully,

*P.P. M. Niehof*

**M NIEHOF**

For: Vukani IPS Inc.

Directors: KW Anholts; GA Anholts

**G3 – Proof of Newspaper Advertisement**



**G4 – Register of I&APs**



## Interested & Affected Parties Register / Comments and Responses Report

Site number: 5991  
 Site Name: The Caves  
 EIA reference no.: JGEC 142/546/3/2012/02

<b>Interested and Affected Parties Register</b>					<b>Comments and Responses Report</b>			
No.	Date	Name	Address	Contact detail	Reacted to:	Record of initial I&AP registration	Issues raised / Comments received	EAP Response
1	13/04/2012	The Municipal Manager, Senqu Local Municipality, Mr. MM Yawa, Environmental Management Section	PO Box 18, Lady Grey, 9755	Tel: (051) 603 0019 Fax: (051) 603 0445	NA	Auto I&AP	No comments received	A Draft Basic Assessment Report and a Final Basic Assessment Report was sent. No comments received.
2	13/04/2012	The Ward Councillor, Ward 16, Cnr M. Matliaka	PO Box 18, Lady Grey, 9755	Tel: (051) 603 0019 Fax: 086 238 3092	NA	Auto I&AP	No comments received	A Draft Basic Assessment Report and a Final Basic Assessment Report was sent. No comments received.
3	13/04/2012	The Municipal Manager, Ukhahlamba District Municipality, (Joe Gqabi District Municipality) Mr. Z. Williams, Environmental Management Section	Private Bag x102, Barkley East, 9786	Tel: (045) 979 3000 Fax: (045) 979 3028	NA	Auto I&AP	No comments received	A Draft Basic Assessment Report and a Final Basic Assessment Report was sent. No comments received.
4	13/04/2012	South African Heritage Resources Agency (SAHRA)	PO Box 4637, Cape Town, 8000	Tel: (021) 462 4502 Fax: (021) 462 4509	NA	Auto I&AP	No comments received	A Draft Basic Assessment Report and a Final Basic Assessment Report was sent. No comments received.
5	13/04/2012	SACAA	Private Bag x73, Halfway House 1685	Tel: (011) 545 1000 Fax: (011) 545 1451	NA	Auto I&AP	No approval received yet	Submitted application

**G5 – Civil Aviation Authority Information**

**SOUTH AFRICAN**



**CIVIL AVIATION  
AUTHORITY**

**Physical Address:**  
Rabeya Lekwentzen  
Tour Class  
Waterfall Park  
Bekoor Street  
Midrand

**Postal Address:**  
Private Bag 273  
Halfway House  
1685

**Telephone Number:**  
+27 11 545 1000

**Fax Number:**  
+27 11 545 1465

**E-mail address:**  
mail@caa.co.za

**Website address:**  
www.caa.co.za

**Enquiry's: Lizell Ströb**  
[strohl@caa.co.za](mailto:strohl@caa.co.za)  
Tel. 011 545 1232  
Fax. 011 545 1451

23 April 2007

**Turbine Solutions**  
P O Box 32017  
Totodsdal  
0134

**To: Mr Wim Anholts**

**Communication structure,**

**Day and night markings apply to all structures exceeding 45m above the ground in South Africa by default (refer SA-CAR Part 139.01.33),**

**Paint markings (Day markings) shall be in compliance with ICAO Annex 14 chapter 6 and shall consist of seven painted bands, each one seventh of the length of the structure, and shall consist of bands of International Orange (or Post Office red) alternated by brilliant white, starting and ending in orange/red, to a maximum length of 30 meters per band (i.e. a 210m mast). Thereafter it becomes 9 bands, each one ninth of the length of the mast up to 270m, 11 bands up to 330m etc.**

**Lights (Night marking) to be used shall consist of a pair of steady burning approved red aeronautical obstruction lights of at least 32 candela each at the highest practical point of the structure. This may be substituted by a medium intensity Type B flashing red light (20 – 60 flashes per minute), of 2000 candela ( $\pm 25\%$ ) intensity in accordance with ICAO Annex 14 table 6-3.**

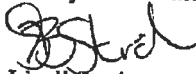
**Intermediate lights shall be placed at a position midway between the top of the structure and the ground and shall consist of at least three steady burning red aeronautical obstruction lights of at least 32 candela each, on the same vertical plane and spaced not more than 120 degree horizontally. At least two lights shall be visible through any azimuth of 360 degree and no light shall be spaced more than 30m apart, on the horizontal plane of any structure. Multiple lights may be required to satisfy this requirement. The vertical spacing of lights shall be as far as practical be evenly spaced and shall not exceed 45m between vertical levels.**

**Board Members: Mr D Moorosi (Chairman), Mr J Morrison, Ms M Magasa, Ms B Mohlala, Maj Gen T Ntsibande, Mr Z Myeza (CEO)**

**Note-**

***Structures of 45 to 90m heights shall have dual lights on top and not less than a set of three lights at the intermediate level.***

Kindly contact the writer if more information is required.



Lizell Stroh

**AERODROME SAFETY OVERSIGHT**

**Board Members: Mr D Moorosi (Chairman), Mr J Morrison, Ms M Magasa, Ms B Mohlala, Maj Gen T Ntsibande, Mr Z Myeza (CEO)**

**G6 – Motivation for exemption from assessing alternatives**



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Our Reference:

Your Reference:

**5991 The Caves**

**JGEC 142/546/3/2012/02**

**21 May 2012**

Eastern Cape Department of Economic Development,  
Environmental Affairs and Tourism  
Joe Gqabi (Ukahlamba) District  
10 Smith Street  
Aliwal North  
9750

Attention: Ms. Andiswa Qinisile

Dear Madam,

**MOTIVATION FOR EXEMPTION FROM ASSESSING ALTERNATIVES IN TERMS OF THE NATIONAL ENVIRONMENTAL MANAGEMENT ACT 1998 (“NEMA”) AS AMENDED TO THE COMPETENT AUTHORITY FOR LISTED ACTIVITY 3 IN REGULATION 546: ESTABLISHMENT OF A CELL C (PTY) LTD TELECOMMUNICATION MAST ON THE REMAINDER OF THE FARM THE CAVES 97 BARKLEY EAST RD**

In terms of Chapter 5 of the EIA Regulations, August 2010 as amended we hereby apply for exemption from assessing alternatives in this application.

**Motivation:**

**(a) The property on which or location where it is proposed to undertake the activity:**

The property where the establishment is proposed was identified by the radio planners of Cell C as the best position to place the mast to achieve coverage objectives for the area on the Cell C network.

**Other site alternatives reviewed for feasibility:**

1. Sharing:

Investigation of sharing existing infrastructure:

The specific site requirements needed by Cell C are:

- Physical space for two sets of antennae, two microwave dishes and 14 feeder cables;
- Wind load capacity for above mentioned equipment;
- Minimum height of 60m; and
- Space and load capacity for future upgrading or advances in technology.

No existing facility or infrastructure within range that can fulfil the required capacity in terms of the coverage objectives.

2. Most other possible areas / sites on the same property would have more or less the same environmental impacts as the proposed site as they have similar environmental features and qualities i.e. biological sensitivity, viewpoints and physical incline.
3. The neighbouring properties were not regarded as feasible site alternatives due to more limitations on the network coverage.

**(b) The type of activity to be undertaken:**

There are no type alternatives available or feasible to replace the establishment of telecommunication masts.

**(c) The design or layout of the activity:**

The proposed design of the activity is a 60m high lattice telecommunication mast. The 60m height is required to reach the network coverage on the Cell C network. The lattice type mast is the only design alternative that provides the required equipment capacity and wind-load capacity. Should other operators wish to share this mast in future more weight would be added to the mast. A monopole type mast is not considered a feasible option for this specific development because of more restrictions with regard to the equipment and wind-load capacity. Further disadvantage of a monopole type mast is increased visibility due to the more solid type structure against the sky background. The SACAA (South African Civil Aviation Authority) prescribed day and night markings for all masts higher than 45m, meaning the mast has to be painted red and white with red lights on top for maximum visibility to prevent aircraft accidents. Therefore, no other colour alternatives are considered to be feasible due to the red and white colour requirement of the SACAA.

**(d) The operational aspects of the activity:**

- Increased electricity consumption on the existing supply grid: The infrastructure is designed to operate on economical electricity consumption. A generator will be installed as a backup

electricity supply in the event of a power failure. There are no feasible alternatives available to replace electrical power supply.

- Noise generation by air conditioning units and by backup generator if electricity supply fails: The air conditioning units and backup generator operate at very low and well accepted noise levels. There are no feasible alternatives to replace the air conditioning units or the backup generator.
- Non-ionising electromagnetic fields on allocated frequency: The electromagnetic fields are well below the accepted level to prevent any damage to living organisms (within International Commission on Non-ionising Radiation Protection, ICNIRP, and World Health Organisation, WHO, guidelines) and are restricted within the allocated frequency. There are no feasible alternatives to obtain the required network coverage within the allocated frequency.
- Increase in potential air traffic obstacles: Lower mast options are not feasible alternatives to reach the required network coverage as this would require multiple mast applications to reach the same network coverage with increased environmental impact on the footprint area of several masts as well as increased visual impact on each separate mast development.
- Visual impact of the 60m lattice mast painted red & white on short, medium and long distance observation: Other design, height or colour alternatives are not feasible as prescribed above.

We trust that the above motivation is sufficient to consider and approve this application for exemption.

Kind Regards,



**MC Niehof**

For: Vukani IPS inc



**Addendum A:  
Proof of submission to State Departments & I & AP's**

<b>REGISTERED LETTER</b> 5991 <b>GEREGISTREERDE BRIEF</b> (with an insurance option/met 'n versekeringsopsie)				Postage paid R _____ c Service fee / Diensgeld R _____ c Insurance / Versekering R _____ c Total / Totaal R _____ c	
<b>Full tracking and tracing/Volledige volg en spoor</b>					
Addressed to/Geadresseer aan Wani Councilor Mr. C. M. Motlaka Ward 16 Senqu Local Municipality P.O. Box 18 Lady Grey 97155 Postcode/Postkode			Insured value of contents Versekerde waarde van inhoud R _____ c		
The value of the contents of this letter is as indicated and compensation is not payable for a letter received unconditionally. Compensation is limited to R100.00. No compensation is payable without documentary proof. Optional insurance up to R2 000.00 is available and applies to domestic registered letters only. Die waarde van die inhoud van hierdie brief is soos aangedui en vergoeding sal nie betaal word vir 'n brief wat sonder voorbehoud ontvang word nie. Vergoeding is beperk tot R100.00. Geen vergoeding is sonder dokumentêre bewys betaalbaar nie. Opsionele versekering tot R2 000.00 is beskikbaar en is slegs op binnelandse geregistreerde briewe van toepassing.			Enquiries/Navrae Toll-free number Tolvry nommer 0800 111 502 ORDINARY PARCEL ShareCall 0860 111 502 www.sapo.co.za <b>PE 619 151 848 ZA</b> CUSTOMER COPY 301016		
			Plak Volg-en-Spoor Klantafskrif		Paraal van saame-beeample Datumstempel

<b>REGISTERED LETTER</b> 5991 <b>GEREGISTREERDE BRIEF</b> (with an insurance option/met 'n versekeringsopsie)				Postage paid R _____ c Service fee / Diensgeld R _____ c Insurance / Versekering R _____ c Total / Totaal R _____ c	
<b>Full tracking and tracing/Volledige volg en spoor</b>					
Addressed to/Geadresseer aan Municipal Manager Mr. Z Williams Ukhahlamba Local Municipality Private Bag 102 Baka, East 97816 Postcode/Postkode			Insured value of contents Versekerde waarde van inhoud R _____ c		
The value of the contents of this letter is as indicated and compensation is not payable for a letter received unconditionally. Compensation is limited to R100.00. No compensation is payable without documentary proof. Optional insurance up to R2 000.00 is available and applies to domestic registered letters only. Die waarde van die inhoud van hierdie brief is soos aangedui en vergoeding sal nie betaal word vir 'n brief wat sonder voorbehoud ontvang word nie. Vergoeding is beperk tot R100.00. Geen vergoeding is sonder dokumentêre bewys betaalbaar nie. Opsionele versekering tot R2 000.00 is beskikbaar en is slegs op binnelandse geregistreerde briewe van toepassing.			Enquiries/Navrae Toll-free number Tolvry nommer 0800 111 502 ORDINARY PARCEL ShareCall 0860 111 502 www.sapo.co.za <b>PE 619 151 825 ZA</b> CUSTOMER COPY 301016		
			Plak Volg-en-Spoor Klantafskrif		Paraal van saame-beeample Datumstempel

<b>REGISTERED LETTER</b> 5991 <b>GEREGISTREERDE BRIEF</b> (with an insurance option/met 'n versekeringsopsie)				Postage paid R _____ c Service fee / Diensgeld R _____ c Insurance / Versekering R _____ c Total / Totaal R _____ c	
<b>Full tracking and tracing/Volledige volg en spoor</b>					
Addressed to/Geadresseer aan SAHRA Mr. P. Hine P.O. Box 4637 Cape Town 8000 Postcode/Postkode			Insured value of contents Versekerde waarde van inhoud R _____ c		
The value of the contents of this letter is as indicated and compensation is not payable for a letter received unconditionally. Compensation is limited to R100.00. No compensation is payable without documentary proof. Optional insurance up to R2 000.00 is available and applies to domestic registered letters only. Die waarde van die inhoud van hierdie brief is soos aangedui en vergoeding sal nie betaal word vir 'n brief wat sonder voorbehoud ontvang word nie. Vergoeding is beperk tot R100.00. Geen vergoeding is sonder dokumentêre bewys betaalbaar nie. Opsionele versekering tot R2 000.00 is beskikbaar en is slegs op binnelandse geregistreerde briewe van toepassing.			Enquiries/Navrae Toll-free number Tolvry nommer 0800 111 502 ORDINARY PARCEL ShareCall 0860 111 502 www.sapo.co.za <b>PE 619 151 803 ZA</b> CUSTOMER COPY 301016		
			Plak Volg-en-Spoor Klantafskrif		Paraal van saame-beeample Datumstempel

<b>REGISTERED LETTER</b> 5991 <b>GEREGISTREERDE BRIEF</b> (with an insurance option/met 'n versekeringsopsie)				Postage paid R _____ c Service fee / Diensgeld R _____ c Insurance / Versekering R _____ c Total / Totaal R _____ c	
<b>Full tracking and tracing/Volledige volg en spoor</b>					
Addressed to/Geadresseer aan Mr. M. M. Yanga Municipal Manager Senqu Local Municipality P.O. Box 15 Lady Grey 97155 Postcode/Postkode			Insured value of contents Versekerde waarde van inhoud R _____ c		
The value of the contents of this letter is as indicated and compensation is not payable for a letter received unconditionally. Compensation is limited to R100.00. No compensation is payable without documentary proof. Optional insurance up to R2 000.00 is available and applies to domestic registered letters only. Die waarde van die inhoud van hierdie brief is soos aangedui en vergoeding sal nie betaal word vir 'n brief wat sonder voorbehoud ontvang word nie. Vergoeding is beperk tot R100.00. Geen vergoeding is sonder dokumentêre bewys betaalbaar nie. Opsionele versekering tot R2 000.00 is beskikbaar en is slegs op binnelandse geregistreerde briewe van toepassing.			Enquiries/Navrae Toll-free number Tolvry nommer 0800 111 502 ORDINARY PARCEL ShareCall 0860 111 502 www.sapo.co.za <b>PE 619 151 817 ZA</b> CUSTOMER COPY 301016		
			Plak Volg-en-Spoor Klantafskrif		Paraal van saame-beeample Datumstempel



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e-mail: [admin@infraplan.co.za](mailto:admin@infraplan.co.za)

Tel. (012) 804 1504/6

Fax (012) 804 7072

Our Reference:  
**5991 The Caves**

Your Reference:  
**JGEC 142/546/3/2012/02**

**23 May 2012**

South African Heritage Resources Agency  
P O Box 4637  
Cape Town  
8000

Attention: Mr. P.Hine

## **Via Registered Mail**

Dear Sir,

**DRAFT BASIC ASSESSMENT REPORT FOR AN APPLICATION IN TERMS OF THE NATIONAL ENVIRONMENTAL MANAGEMENT ACT 1998 ("NEMA") AS AMENDED TO THE COMPETENT AUTHORITY FOR LISTED ACTIVITY 3 IN REGULATION 546: ESTABLISHMENT OF A CELL C (PTY) LTD TELECOMMUNICATION MAST ON THE FARM DASSIESFONTEIN 86, GRAAFF-REINET RD**

Kindly receive the draft Basic Assessment Report for the above mentioned application.

We request you to evaluate the attached report on the proposed project and provide us and the Mpumalanga Department of Economic Development, Environment and Tourism with your written comments and/or inputs, if any by faxing or e-mailing such within 40 days from the date of this letter. It will be assumed that you do not have any comments on the Basic Assessment Report of the proposed project on the expiry of the 40 day response period.

Should you have any further queries please do not hesitate to contact us.

Kind Regards,

**Monica Niehof**  
For: Vukani IPS inc.

**Comments:**

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Directors: KW Anholts; GA Anholts



# INFRASTRUCTURE PLANNING SERVICES

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Tel. (012) 804 1504/6

Fax (012) 804 7072

Our Reference:  
**5991 The Caves**

Your Reference:  
**JGEC 142/546/3/2012/02**

**23 May 2012**

The Municipal Manager  
Ukhahlamba District Municipality  
Private Bag x102  
Barkley East  
9786

Attention: Mr Z Williams  
Environmental Management Section

## Via Registered Mail

Dear Sir,

**DRAFT BASIC ASSESSMENT REPORT FOR AN APPLICATION IN TERMS OF THE NATIONAL ENVIRONMENTAL MANAGEMENT ACT 1998 ("NEMA") AS AMENDED TO THE COMPETENT AUTHORITY FOR LISTED ACTIVITY 3 IN REGULATION 546: ESTABLISHMENT OF A CELL C (PTY) LTD TELECOMMUNICATION MAST ON THE FARM DASSIESFONTEIN 86, GRAAFF-REINET RD**

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**Monica Niehof**  
For: Vukani IPS inc.

**Comments:**

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**Directors: KW Anholts; GA Anholts**



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Our Reference:  
**5991 The Caves**

Your Reference:  
**JGEC 142/546/3/2012/02**

**23 May 2012**

The Ward Councillor  
Senqu Local Municipality  
P O Box 18  
Lady Grey  
9755

Attention: Cnr M Mafiliaka  
Councillor: Ward 16

## **Via Registered Mail**

Dear Sir,

**DRAFT BASIC ASSESSMENT REPORT FOR AN APPLICATION IN TERMS OF THE NATIONAL ENVIRONMENTAL MANAGEMENT ACT 1998 ("NEMA") AS AMENDED TO THE COMPETENT AUTHORITY FOR LISTED ACTIVITY 3 IN REGULATION 546: ESTABLISHMENT OF A CELL C (PTY) LTD TELECOMMUNICATION MAST ON THE FARM DASSIESFONTEIN 86, GRAAFF-REINET RD**

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Kind Regards,

**Monica Niehof**  
For: Vukani IPS inc.

**Comments:**

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Directors: KW Anholts; GA Anholts



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Our Reference:

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Your Reference:

**JGEC 142/546/3/2012/02**

**13 April 2012**

The Municipal Manager  
Senqu Local Municipality  
P O Box 18  
Lady Grey  
9755

Attention: Mr M M Yawa  
Environmental Management Section

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**Monica Niehof**  
For: Vukani IPS inc.

**Comments:**

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Directors: KW Anholts; GA Anholts