

FRONTAGE LEVELS ARE TO BE DETERMINED TO THE BACK OF THE CONSTRUCTED SIDE WALLS OR TO THE TOP OF THE ROOF THURINGS AND ROOF IN EITHER CASE BY THE USE OF THE FOLLOWING FORMULA: $F.L. = R.H. + (H \times S)$

WHERE: F.L. = FRONTAGE LEVEL, F.L. LEVEL OF TOP OF HANGER AND ROAD AND PROTRUSION IN METRES IN EITHER CASE OF ROAD THURINGS AND ROOF IN EITHER CASE.
 R.H. = ROAD THURINGS AND ROOF IN EITHER CASE.
 H = HEIGHT OF HANGER AND ROAD AT THE CORRECT FRONTAGE LEVEL.
 S = TO BE PROVIDED, AT EACH ENTRANCE POINT AT THE SAME GRADE AS THE ROAD OR ROAD.

THE AUTHOR OF THE PLAN IS RESPONSIBLE FOR SHOWING ON THE APPLICATION DRAWINGS THE TOPS OF FOUNDATIONS OF ANY FRONTAGE WORKS AT A MINIMUM DEPTH OF 0.300 METRES BELOW FRONTAGE LEVEL.

BOUNDARY BEACONS
 FAILURE TO EXPOSE THE BOUNDARY BEACONS BEFORE STARTING THIS WORK IS AN OFFENCE.

SUPREMACY AND LAND DEVELOPMENT SECTION
SITE PLAN CHECKED
 22 NOV 1995

AREAS	NO. ADDITIONAL AREA
PROP. ENCLOSED URBANISM	61,488 m ²
EXISTING OUT BUILDING	3,678 m ²
EXTENSIONS TO OUT BUILDING	

- ELECTRICITY SERVICES**
- 1) The location of any electrical services and materials in the site of the proposed works.
 - 2) Departmental requirements regarding electrical services.

GENERAL NOTES

- 1) ALL LEVELS AND DIMENSIONS TO BE CHECKED ON SITE BEFORE ANY MAJOR WORK COMM.
- 2) NO BANK TO BE COVERED FROM CUT MAY 2011 ALL MAY 26.
- 3) ALL WORK TO COMPLY TO N.B.R.
- 4) ROOF: PITCH TO MATCH EXISTING ROOF TILES ON 25x38 BATTENS ON 40mm PLY ON 100mm INSULATION.
- 5) ALL WALLS TO BE FINISHED WITH WHITE WASH.
- 6) BRICKWORK: BOND WITH SOLID JOINTS IN CEMENT MORTAR TO BE PROVIDED IN ALL WALLS AT BOTH WINDOW SILL & WALL/RAIL LEVEL.
- 7) EX. STAIR BRICKED UP.
- 8) EX. G4 CON WALLS EXTENDED TO 1.8m.
- 9) EX. STAIR BRICKED UP WITH NEW REELWAY.
- 10) EX. VERANDAH ENCLOSED.
- 11) EX. WINDOW BRICKED UP WITH NEW REELWAY.
- 12) EX. SLAB & FOUNDATIONS.

WINDOWS: SEC. H/W WINDOWS TO COMPLY WITH PART 2 OF N.B.R.
 PLUMBING & SANITARY: PVC W. PIPES 100mm PIPES TO WC & 100 x 40 W.P. 38mm WIPES TO BATH, BATH, JUBS & SHOWER PROVIDE 1.5L TO ALL BENDS & JUNCTIONS. H.H.S. AS SHOWN.
 AIRBROCK: 2 x 40mm TO EACH INT. WALL OF ALL ROOMS 1 ABOVE ALL INT. DOORS.
 GROUND FLOOR SLAB: 100mm CONG. SLAB REIN. WITH BRG MESH ON CONSOLIDATED POISONED FILL 40mm FLOOR SLAB.

FOUNDATIONS: STRIP CONG. FNDG 400 x 200 BELOW ALL WALLS.
 D.P.T.: ALL D.P.T. TO BE 350 MICRON BLATY PVC SHEETS.
 ALL S.W. TO EXISTING D.P.T.

SHEET 1/1 COPY 2

CITY OF DURBAN
 PLAN NUMBER
 0702-11-95-5

APPROVED: R.A. MOORE
 EXECUTIVE DIRECTOR, PHYSICAL ENVIRONMENT SERVICE UNIT
 1995 12 12

DATE: 1995 12 12

THIS APPROVAL WILL EXPIRE ON ITS FIRST ANNIVERSARY DATE.

GRANTED
 15 DEC 1995

Signature: *[Signature]*

SOAKPITS TO BE 1m³ FOR EVERY 40m² OF ROOFED AND HARDENED AREA

"It should be noted that this plan has been approved on the basis of information thereon."

ALL GLAZING TO COMPLY WITH PART NN2 AND NN3 OF SABS 0470

ROOF STRUCTURE TO BE TO EMPIRICAL RULES OR DESIGNED BY ENGINEER

CITY OF DURBAN
 WATER INSPECTORATE
 APPROVED

APPROVAL OF WATER SUPPLY SYSTEM REQUIRED PRIOR TO OCCUPATION WATER AVAILABLE - YES

AVAILABILITY DATE: P.T.A. CLEARED - YES

DATE: 8/16/95

OWNERS SIGNATURE: *[Signature]*

Prop: ANCILLARY UNIT

ALTERNATIONS & VARIATIONS for P. SAINTEURS

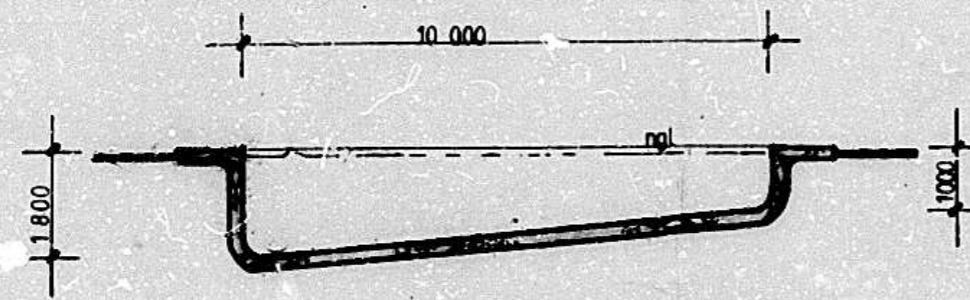
BY: LOT 2427 DURBAN NORTH 21 BALGOWNIE CREES.

BRUCE FERREIRA
 ARCHITECTURAL DESIGNER

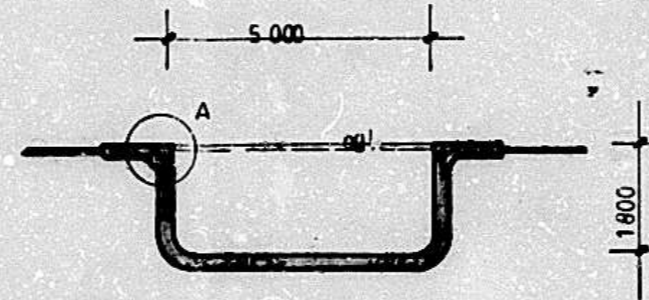
Tel: 34-9973
 14 Medunsi Pk., Durban North, 4051

DATE: 13-11-95
 DRAWN: B.F.F.
 SCALE: 1:100

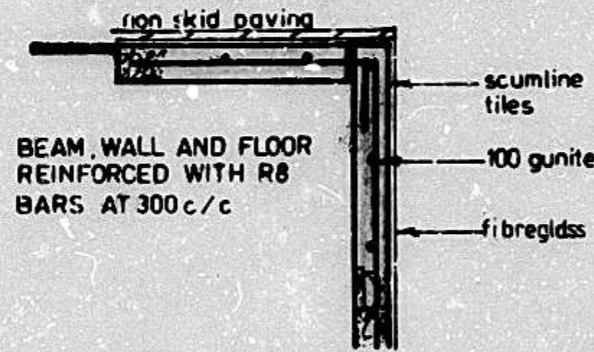
DWG NO: 95/131



SECTION A-A



SECTION B-B



DETAIL 'A'

1. Earth leakage protection to be fitted to elec. supply.
2. Precaution taken against condensation.
3. Pump chamber to have adequate drainage.
4. Electrical apparatus housed, precaution taken against flooding and seepage.

Pool in gunite to be monolithically and pneumatically placed.

Mix 1:4 beam is not integral with pool.

Building to conform with national building reg.

Excess soil spread on site.

Pool area to be fenced in acc. with NBR part D4 (1.2.3)

Waste water via bpt to sewer (O.C.M.U.)

CONSTRUCTION	see detail
POOL SIZE	50m
SURROUND	brick
COPING	brick
FINISH	fibreglass
FILTRATION	'swimline'
LIGHTS	one
STEPS	three

All dimensions as per contract and to be checked on site.

This Approval shall lapse six months after approval date unless the erection of the building in terms of Act 103 of 1977 is commenced.

ENGINEERS DETAILS REQUIRED

"It should be noted that this plan has been approved on the basis of information thereon."

C. J. LE ROUX
TEL 4614194

S. Seelan

areas:

SITE 1045m²
POOL 50m²

description:

NEW POOL FOR C.J. LE ROUX
AT 21 BALGOWNIE CRES.

ERF 2427 DURBAN NORTH

RATE NO. 59417038 000

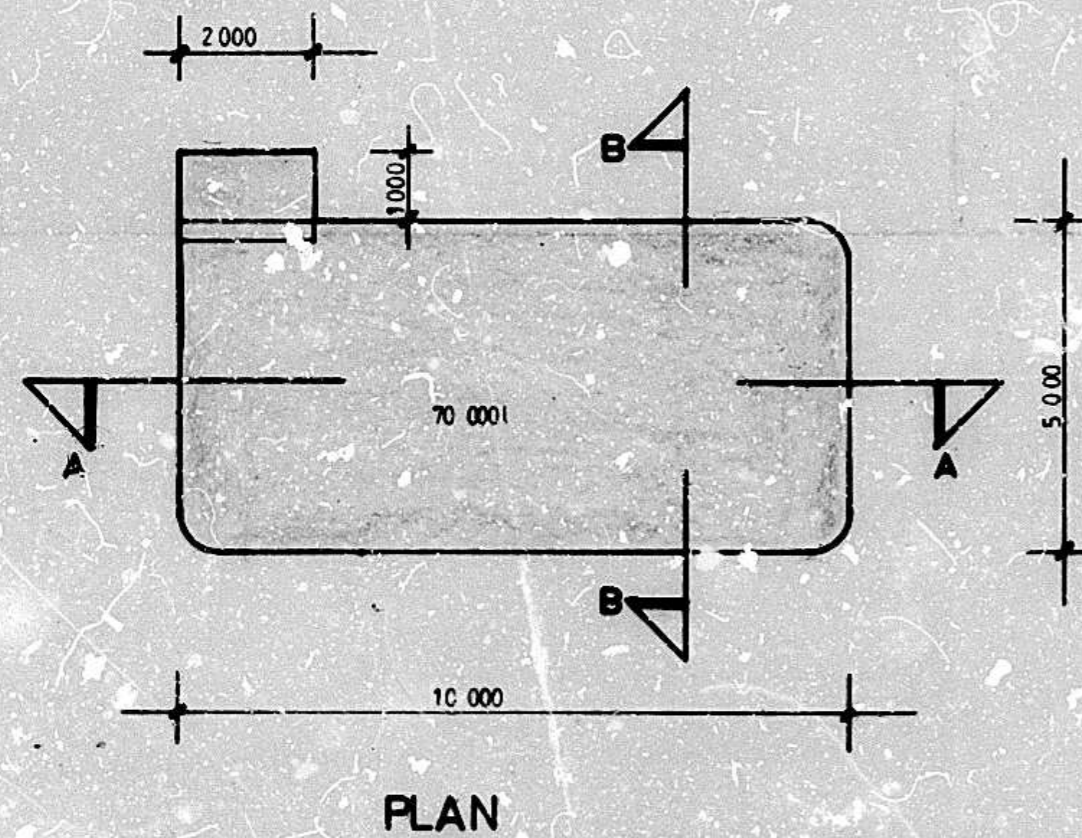
Plan Print

P.O. BOX 261
GALUTTS
3603

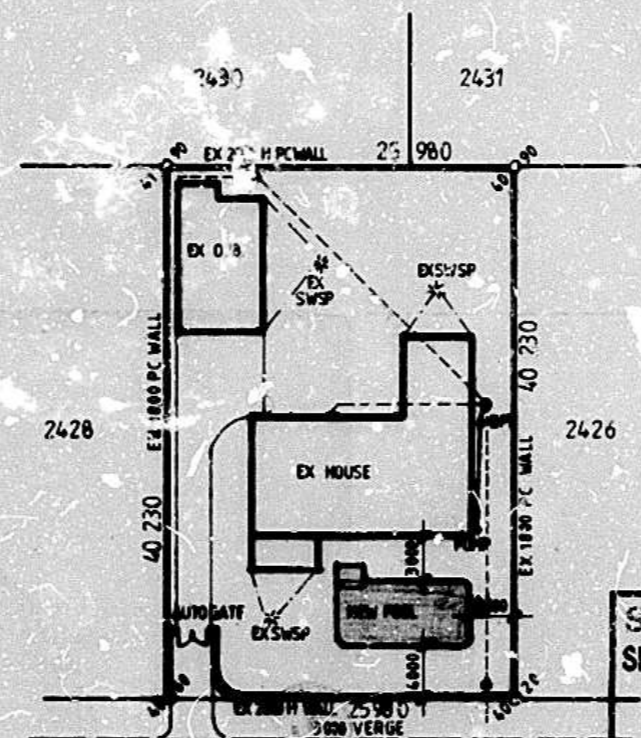
TEL: 7645996
7671776

drawn by: E. HYBURGH
date: SEPT 2002
scale: 1:100 1:500

E. Hyburgh



PLAN



BALGOWNIE CRESCENT

SITE PLAN 1:500

SUBMISSIONS
SITEPLAN CHECKED

2002-09-19

Signature *[Signature]*

SHEET 1/1 COPY

CITY OF DURBAN

PLAN No. 359 09 02

APPROVED: Ms. J SUBBAN
EXECUTIVE DIRECTOR: DEVELOPMENT & PLANNING UNIT
DATE: 20/9/02 PER: *[Signature]*

AS BUILT

Stapleton C
24/3/2004

TELKOM CABLES
THE OWNER IS TO ASCERTAIN THE POSITION OF ALL TELKOM CABLES AND IS LIABLE FOR THE SAFETY THEREOF ARISING OUT OF WORK INDICATED ON THIS APPLICATION

THE POOL TO BE FENCED AS REQUIRED IN TERMS OF D4 (1.2.3) OF THE NATIONAL BUILDING REGULATIONS PRIOR TO THE POOL BEING FILLED WITH WATER

ELECTRICITY SERVICES

Any person undertaking building operations in accordance with this plan is required to ascertain from the Executive Director: Durban Metro Electricity:

- 1) The location of any electrical services and services in the vicinity of the proposed works.
- 2) DME requirements regarding Substation, Meter room, and Cable ducts.

ELECTRICITY SERVICES

Any person undertaking erection of a structure/sign in accordance with this plan is to ensure that:

- 1) The electrical installation complies with the Code of Practice for the wiring of Premises SABS 0142-1987, as amended, and the Occupational Health and Safety Act 1993
- 2) A certificate of Compliance and Application for Permission to Connect is lodged with DME prior to electrical connection to the supply source
- 3) Adequate earthing to the satisfaction of the Director: Transmission, DME is provided.

GENERAL NOTES
 BRICKWORK TO BE PROVIDED
 AT WINDOW LEVEL AND WALL PLATE
 LEVEL
 TIES TO BE PROVIDED - 5 PER M²

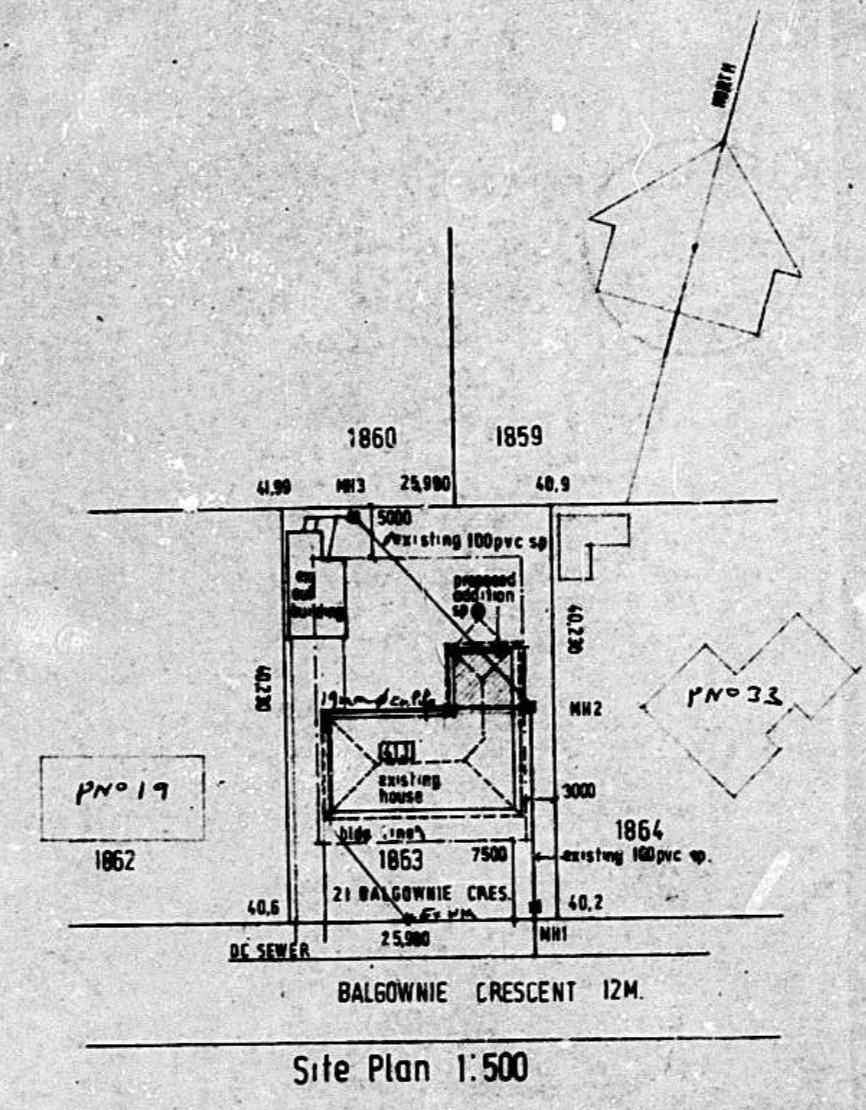
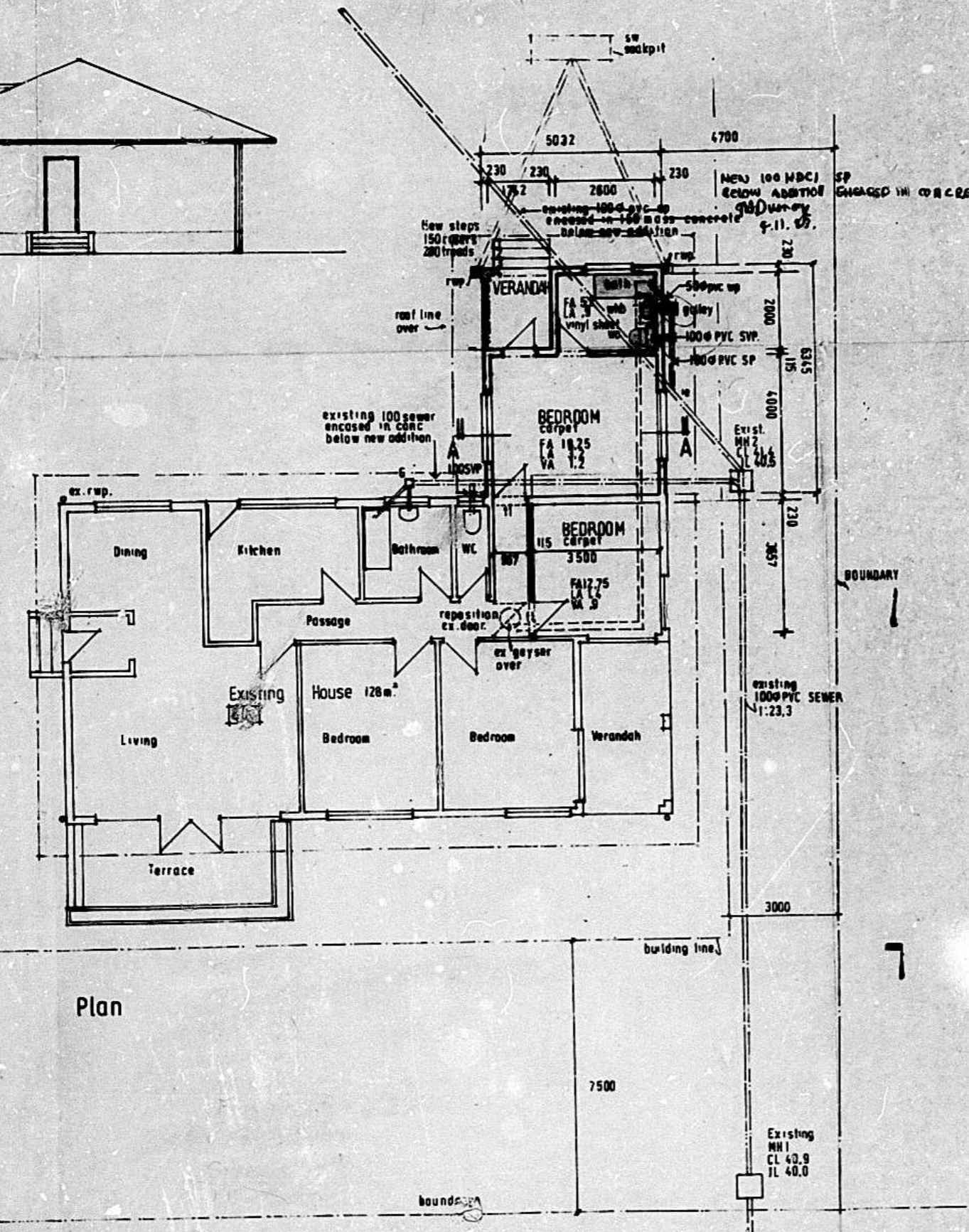
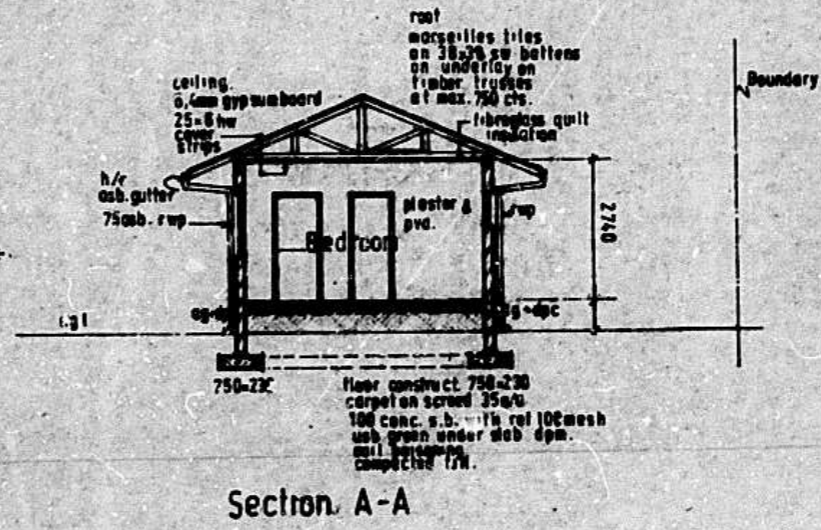
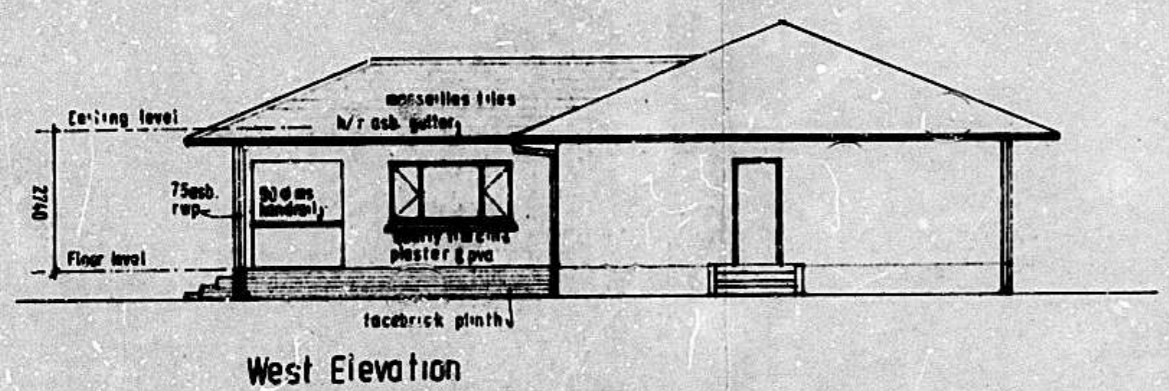
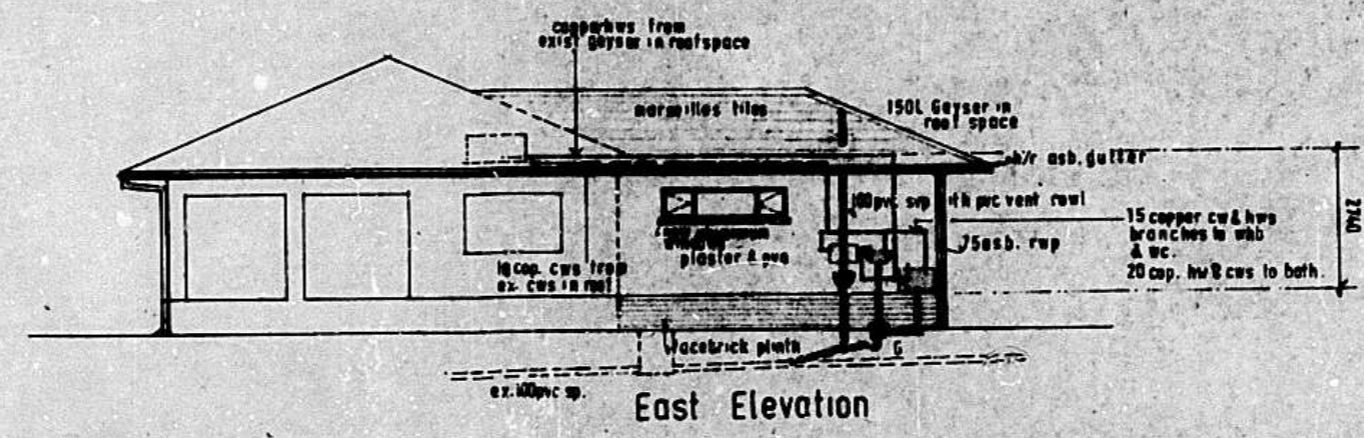
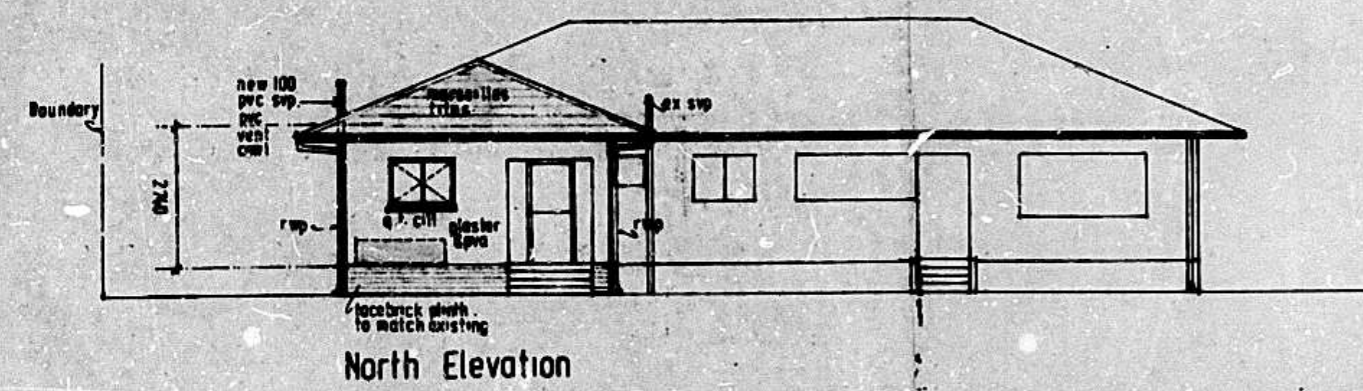
ADDITIONAL AREA	BEDROOM	18.28
	BATHROOM	5.2
	VERANDAH	2.06
	TOTAL	25.54 m²

Any person undertaking building operations in accordance with this plan is required to ascertain from the City Electrical Engineer the location of underground cables in the vicinity of the proposed works prior to the commencement thereof.

ORIGINAL AS BUILT

TOWN PLANNING BRANCH
 APPROVED
 DATE 18 AUG 1983
 Signature: *[Signature]*

IMPORTANT
 APPLICATION FOR REFUND OF PORTION OF BUILDING FEES ON ABANDONED PLANS MUST BE RECEIVED BY THE CITY ENGINEER'S DEPARTMENT NOT LATER THAN THIRTY (30) DAYS AFTER THE EXPIRY DATE OF APPROVAL OF THIS PLAN.



PROPOSED ALTERATION AND ADDITION FOR MR. P. SAUNDERS ON LOT 1863 OF 15 VICTORIA COUNTY 21 BALGOWNIE CRESCENT.

DRAWN: J.A. BUENAGE - B. ARCH
 DATE: 15.7.82
 SCALE: 1:100, 1:500

GENERAL NOTES
 BICKFORM TO BE PROVIDED
 AT WINDOW LEVEL AND WALL PLATE
 LEVEL
 FINES TO BE PROVIDED - E PER M²

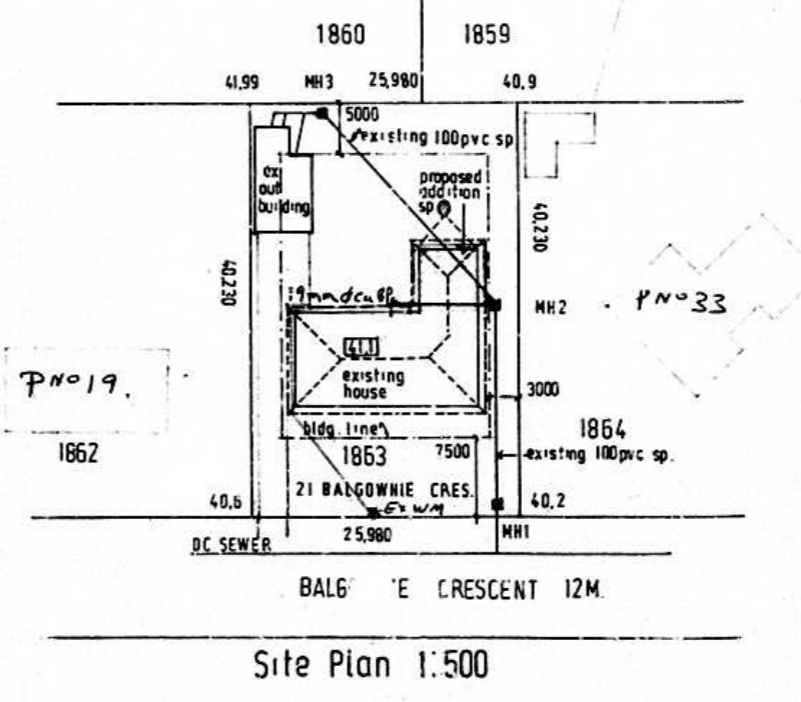
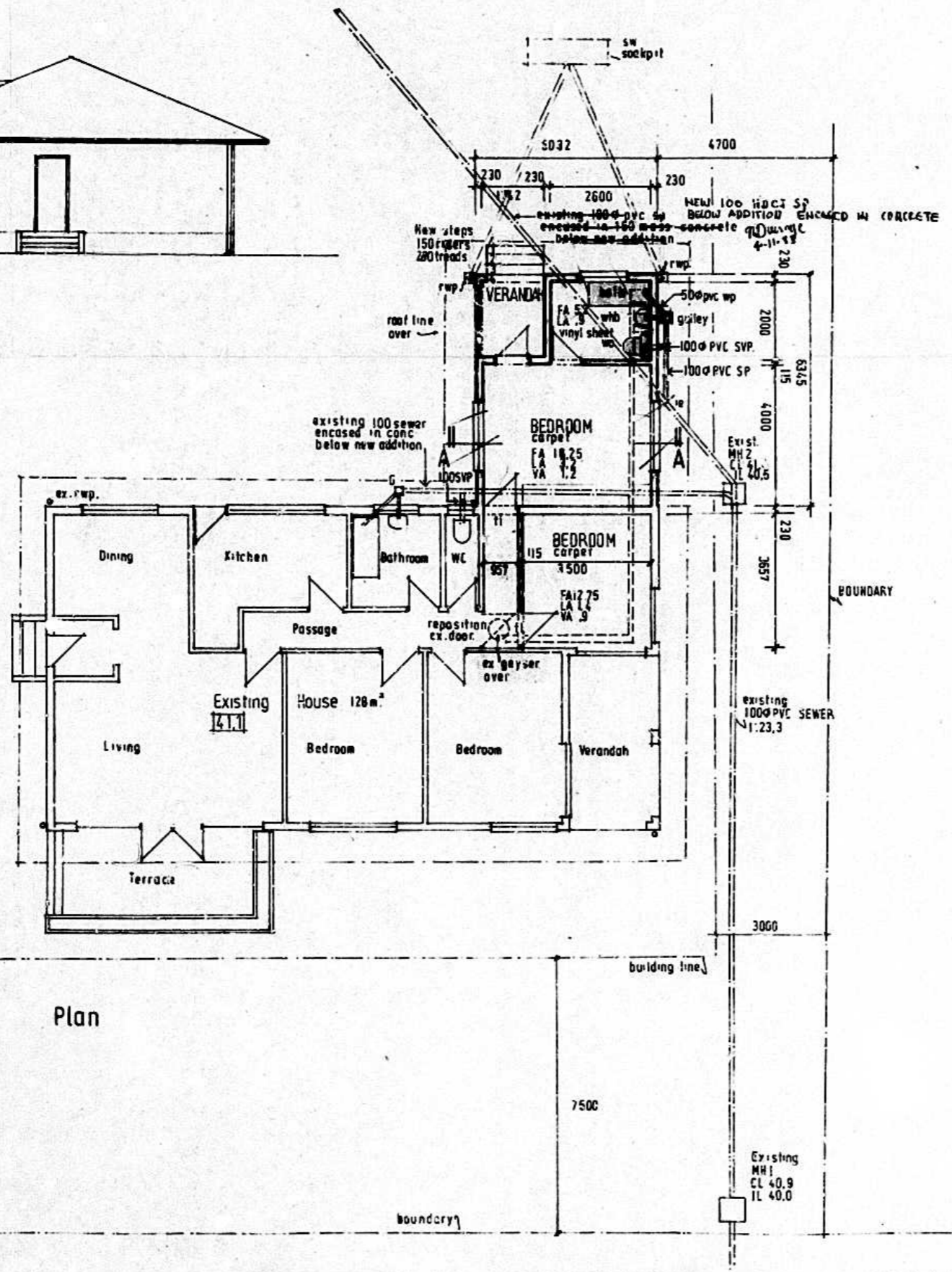
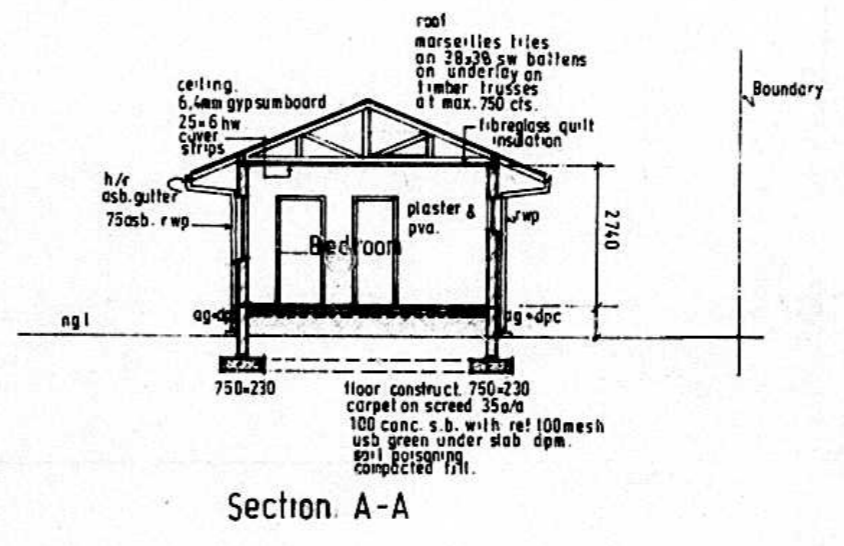
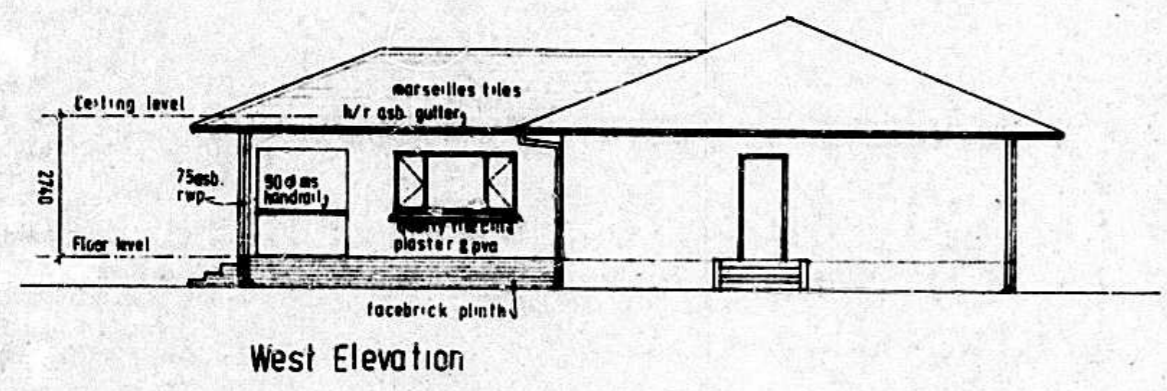
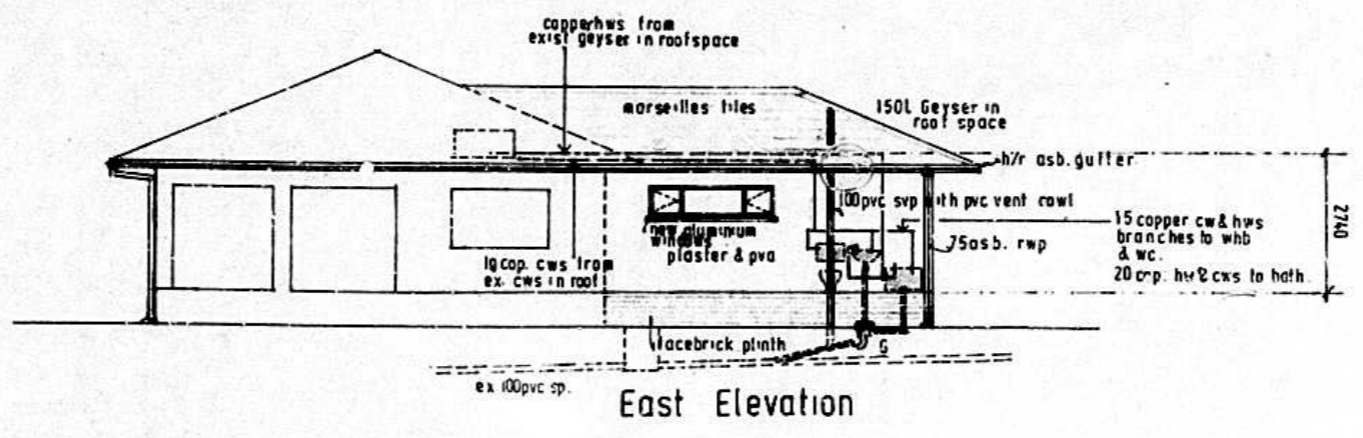
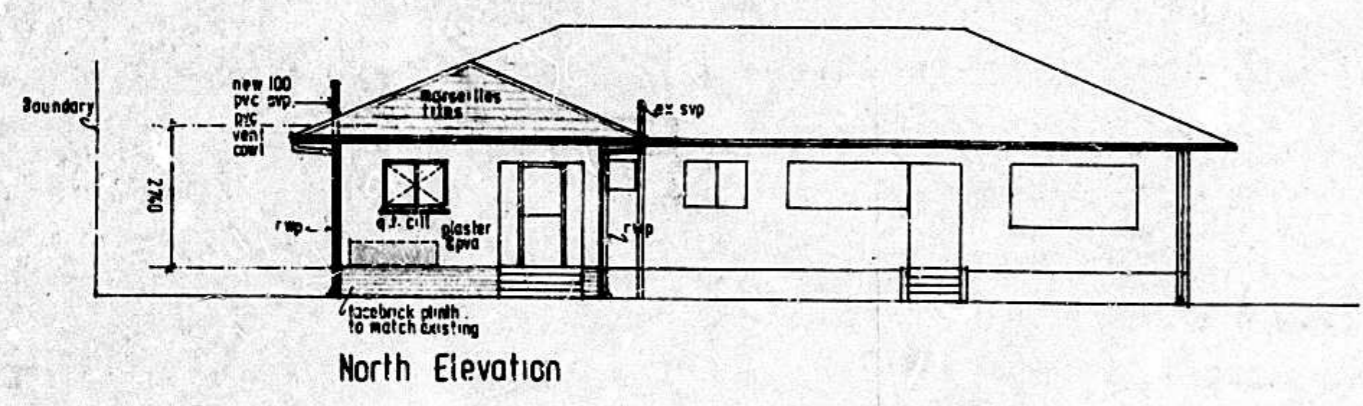
ADDITIONAL AREA	BEDROOM	18.28
	BATHROOM	5.2
	VERANDAH	2.06
	TOTAL	25.54 m²

Any person undertaking building operations in accordance with this plan is required to ascertain from the City Electrical Engineer the location of underground cables in the vicinity of the proposed works prior to the commencement thereof.



ALL SOAK PITS 4 M FROM BUILDINGS, BOUNDARIES AND/OR DRAINAGE SERVICES

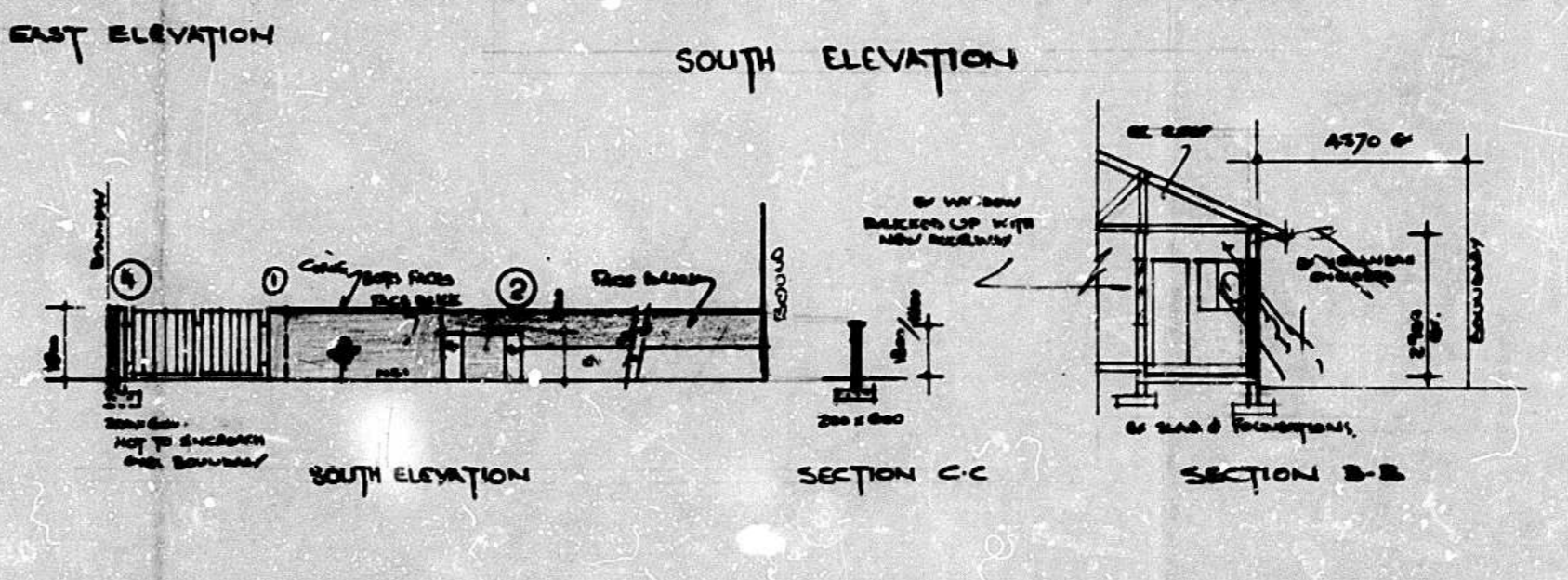
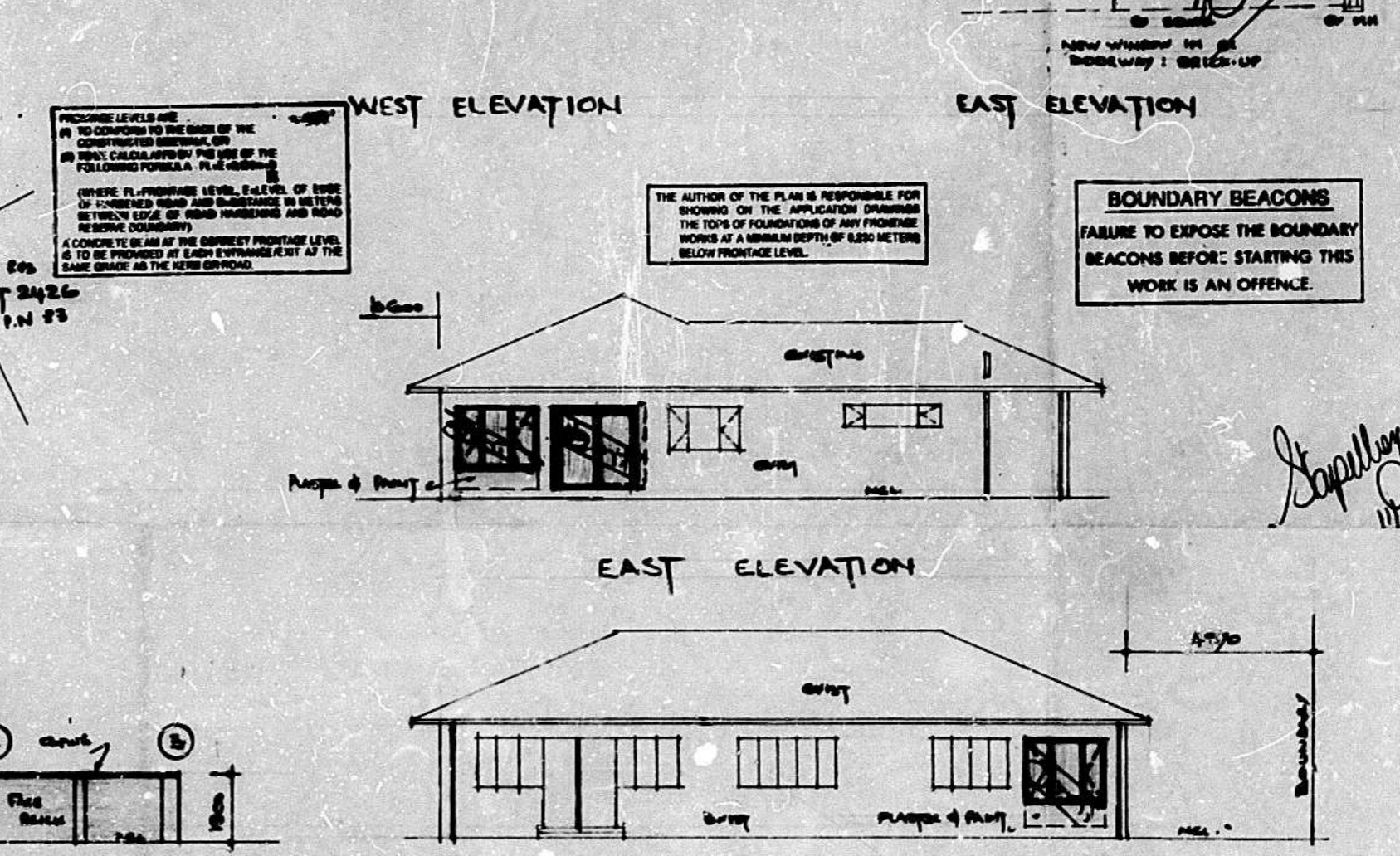
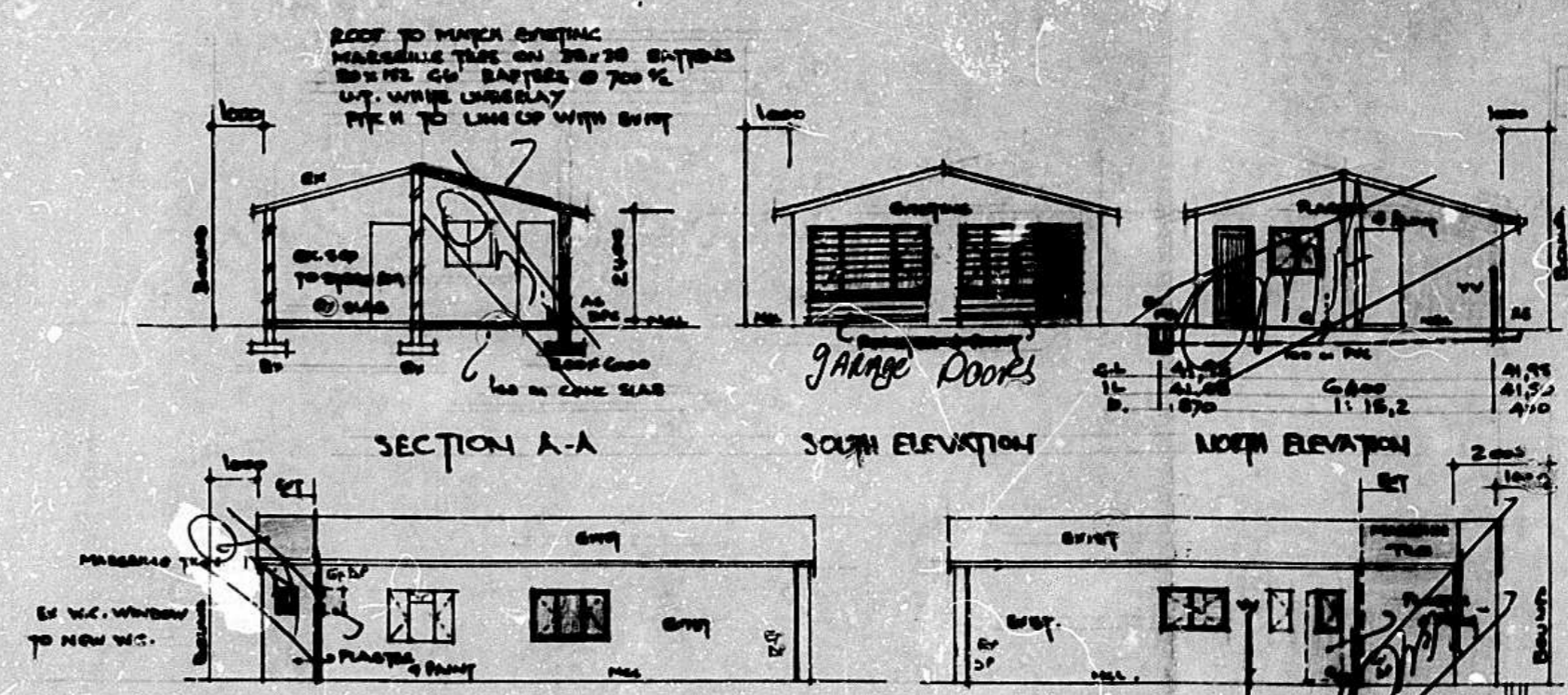
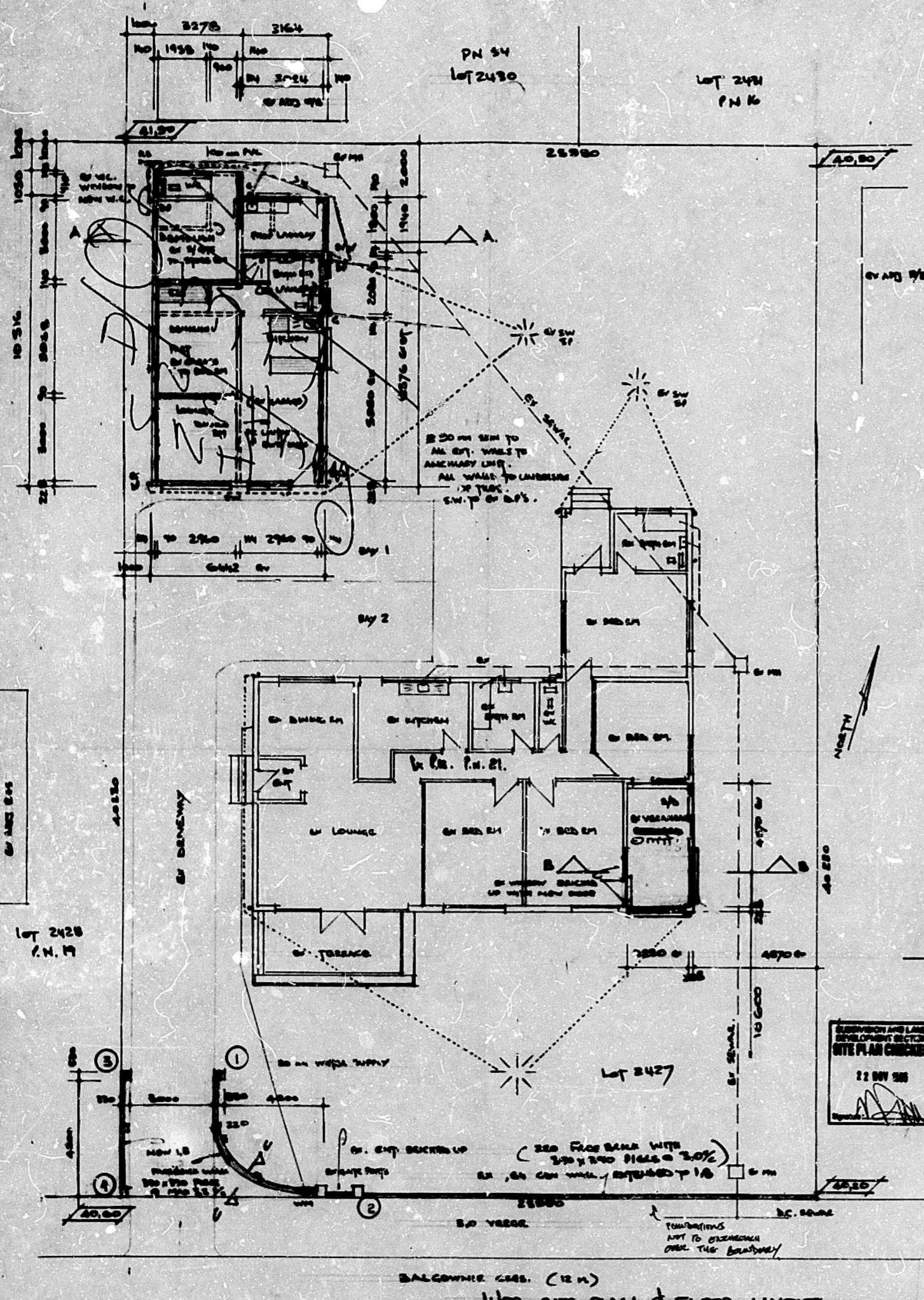
IMPORTANT
 APPLICATION FOR REFUND OF PORTION OF BUILDING FEES ON ABANDONED PLANS MUST BE RECEIVED BY THE CITY ENGINEER'S DEPARTMENT NOT LATER THAN TWENTY (20) DAYS AFTER THE EXPIRY DATE OF APPROVAL OF THIS PLAN.



CITY HEALTH DEPT., DURBAN
 PLANS SECTION
 RECEIVED
 1983 AUG 10
 Report No.:
 Approved: 10.8.83

PROPOSED ALTERATION AND ADDITION FOR MR. P. SAUNDERS ON LOT 1863 OF 15 VICTORIA COUNTY
 21 BALGOWNIE CRES.

DRAWN: J.A. DUVENAGE B. ARCH
 DATE: 15.7.83
 SCALE: 1:100, 1:500



CITY OF DURBAN
 PLAN NUMBER
 0702-11-95-5
 APPROVED: R.A. MOORE
 EXECUTIVE DIRECTOR - PHYSICAL
 ENVIRONMENT SERVICE UNIT
 12/12/12
**THIS APPROVAL WILL
 EXPIRE ON ITS FIRST
 ANNIVERSARY DATE.**

GRANTED
 15 DEC 1995
 [Signature]

SOAKPITS TO BE 1m² FOR
 EVERY 40m² OF ROOFED
 AND HARDENED AREA
 "It should be noted that this plan
 has been approved on the basis
 of information thereon."

ALL GLAZING TO COMPLY
 WITH PART N12 AND N13
 OF SABS 0400

ROOF STRUCTURE TO BE TO
 EMPIRICAL RULES OR DESIGNED
 BY ENGINEER

**CITY OF DURBAN
 WATER INSPECTORATE**
 APPROVED
 APPROVAL OF WATER SUPPLY SYSTEM
 REQUIRED PRIOR TO OCCUPATION
 WATER AVAILABLE - YES/NO
 AVAILABILITY DATE: - YES/NO
 P.T.U. CLEARED - YES/NO
 SIGN: [Signature] DATE: 8/12/95

OWNERS SIGNATURE [Signature]
 Proprietor: [Signature]
 ADDITIONS & ALTERATIONS BY
 P. SAUNDERS
 P.N. Lot 2427 DURBAN NORTH
 21 BALGONNIE CRES.

RATE NO
BRUCE FERREIRA
 ARCHITECTURAL DESIGNER
 Tel: 84 3873
 11 Regent M., Durban North, 4051
 DATE: 18-04-95
 DRAWN: [Signature]
 SCALE: 1:100
 DWG NO: 95/101

GENERAL NOTES
 ALL LEVELS AND DIMENSIONS TO BE CHECKED ON SITE
 BEFORE ANY WORK COMMENCES
 NO DIMENSIONS TO BE CLOSER THAN 1m TO BLDG. & BOUNDARY.
 CONCRETE TO BE CURED FOR 28 DAYS
 ALL WORK TO COMPLY TO N.B.R.
 ROOF: PITCH TO BE 12% TO 15%
 BATTERS ON WATERPROOF UNDERLAY ON 38-38
 AIRBRICKS: 2 ABOVE ALL INT. DOORS
 BACKSTOP: BEHIND DWG. WITH SOLID UNITS IN CEMENT
 PORTLAND TO BE PROVIDED IN ALL WALLS AT BOTH WINDOW
 SILL & WALLPLATE LEVEL
 EXT. WALLS: 200mm x 200mm x 200mm
 INT. WALLS: 100mm x 100mm x 200mm

WINDOWS: STD. 1200mm WINDOWS GLAZING TO COMPLY
 WITH PART N2 OF N.B.R.
 PIPING & DRAINAGE: PVC, RW. GOODS. 100mm PIPES
 TO REC. & 50mm O.V.P. 38mm PIPES TO BATH, BASH,
 SINKS & SHOWER. PROVIDE 12/15 TO ALL BENDS &
 JUNCTIONS. P.M.'S AS SHOWN
 AIRBRICKS: 2 ABOVE EACH EXT. WALL OF ALL ROOMS
 1 ABOVE ALL INT. DOORS
 GROUND FLOOR SLAB: 100mm CONC. SLAB REINF. WITH
 B.R.C. REIN. ON CONSOLIDATED POISONED FILL
 FIRST FLOOR: 200mm

FOUNDATIONS: STRIP CONC. FNDGS. 600 x 220 BELOW ALL
 WALLS
 D.P.C. ALL D.P.C. TO BE 350 MICRON BLACK PVC SHEETS
 AN. S.W. TO EXTERIOR TOP

AREAS
 PROP. ENCLOSED VERANDAH
 EXTERIOR: 61,488 m²
 VERANDAH: 2,222 m²

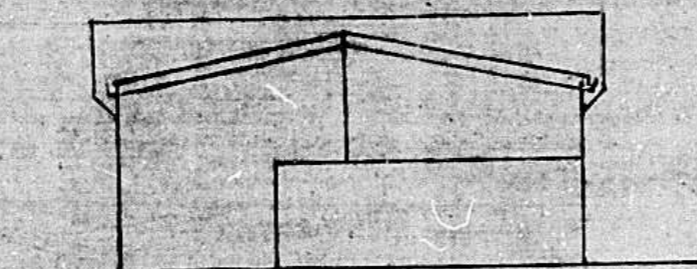
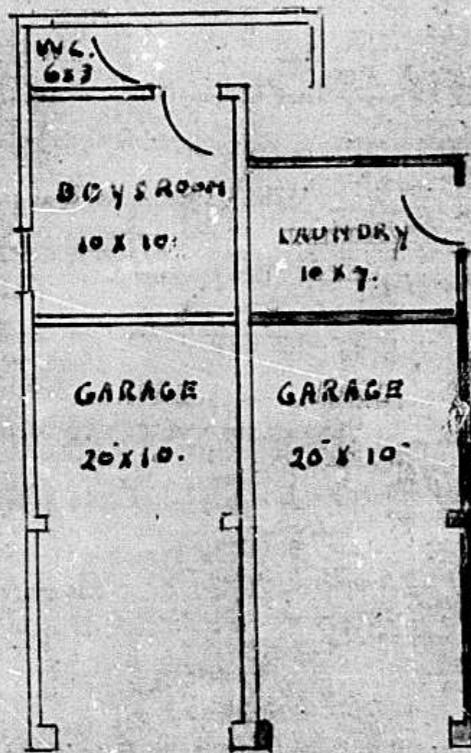
ELECTRICITY SERVICES
 Any person undertaking building operations
 in accordance with this plan is required
 to ascertain from the Executive Director,
 Electricity Department
 1) The location of any electrical services
 and services in the vicinity of the
 proposed works.
 2) Departmental requirements regarding
 electrical services and cable ducts.

PROPOSED ADDITION 21 BALGONIE CRESENT

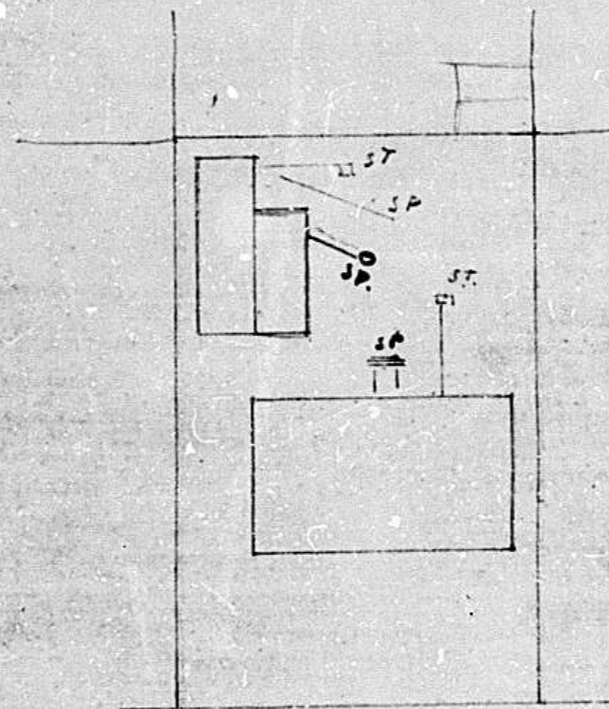
ON LOT 1863 OF LOT 15 CV D/N

FOR MR. PHELP. ESQ.

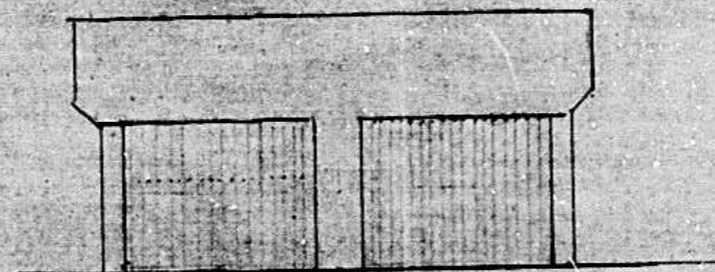
SCALE 1/8" = 1'-0"
SCALE BLOCK PLAN 1/8" = 1'-0"
BRICK WALLS 4 1/2"
ROOF RAFTERS 4 X 12"
CONCRETE FLOOR 4 1/2"
FOUNDATION 18 X 6



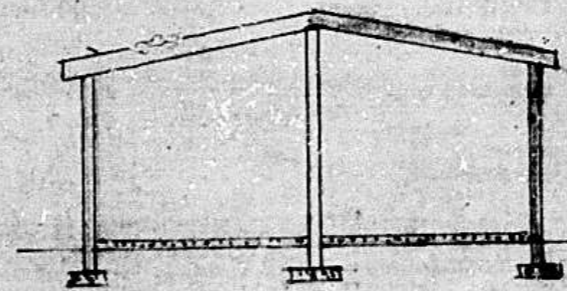
BACK ELEVATION.



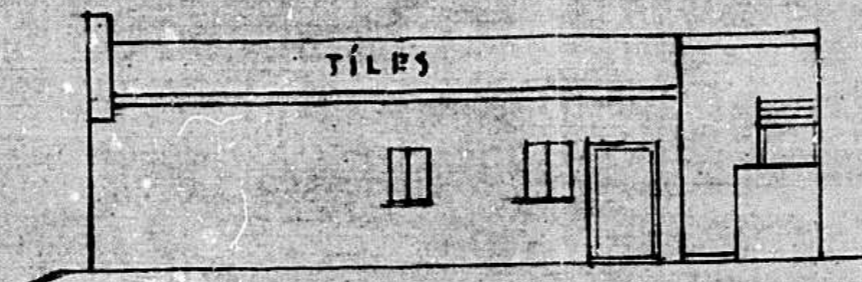
BALGONIE CRES.



FRONT ELEVATION



SECTION.



SIDE ELEVATION.

ROADS & DRAINAGE SECTION
Subject to all floor and foundation levels being in conformity with abutting road works and/or as stated hereunder.
Level of vehicular and pedestrian entrances abutting road to be _____ inches above the existing highest level of the road.
DATE 11.0.51

N.B. Attention is drawn to Section 41 (3) of the Building By-laws, which requires any wall, fence, other structure or gate abutting on a street, or in close proximity thereto, to conform to the "Sun" level of such street.

* NOTE
ON FURTHER INSPECTION
ON SITE M.H. 1 DOES
NOT NEED TO BE
REPOSITIONED.

SHEET 1 COPY 2
ETHEKWINI MUNICIPALITY
CENTRAL
Plan No: 2005/05
APPROVED in terms of The National Building
Regulations and Building Standards Act
Number 103 of 1977
17 MAR 2005
This Plan is approved on the basis of the
information shown hereon. Attention is
drawn to attached documentation

SITE INSPECTION IN ORDER
D. B. I. [Signature]
S. B. I. [Signature]
DATE 2005/12/29

A. FRONTAGE LEVELS ARE:
(1) TO CONFORM TO THE BACK OF THE
CONSTRUCTED SIDEWALK OR
(2) TO BE CALCULATED BY THE USE OF THE
FOLLOWING FORMULA: $F = 0.25 \times D$
(where F = proposed level, D = horizontal
road and driveway frontage, 200mm
falling and measured vertically)
B. A CONCRETE SLAB SHALL BE PROVIDED UNDER ALL
IS TO BE PROVIDED AT A MINIMUM DEPTH OF 100mm
SAME GRADE AS THE KERIC SURFACE.
C. THE TOPS OF FOUNDATIONS OF ANY FRONTAGE
WORKS AT A MINIMUM DEPTH OF 0.250 METRES
BELOW FRONTAGE LEVEL.

SOAKPITS TO BE 1m³ FOR
EVERY 40m² OF ROOFED
AND HARDENED AREA

ROOF STRUCTURE TO BE TO
"EMPIRICAL RULES" OR TO RATIONAL
DESIGN COMPLYING WITH
"DEEMED TO SATISFY RULE 8B.4"

WORK SHOULD NOT HAVE
COMMENCED THIS APPROVAL
WILL EXPIRE ON ITS FIRST
ANNIVERSARY DATE.

ELECTRICITY SERVICES
A person undertaking building operations in
accordance with this plan is required to ascertain
from the Executive Director, Durban Metro Electricity
1) The location of any electrical services and
servitudes in the vicinity of the proposed works.
2) DME requirements regarding Substation
Meter rooms, and Cable ducts

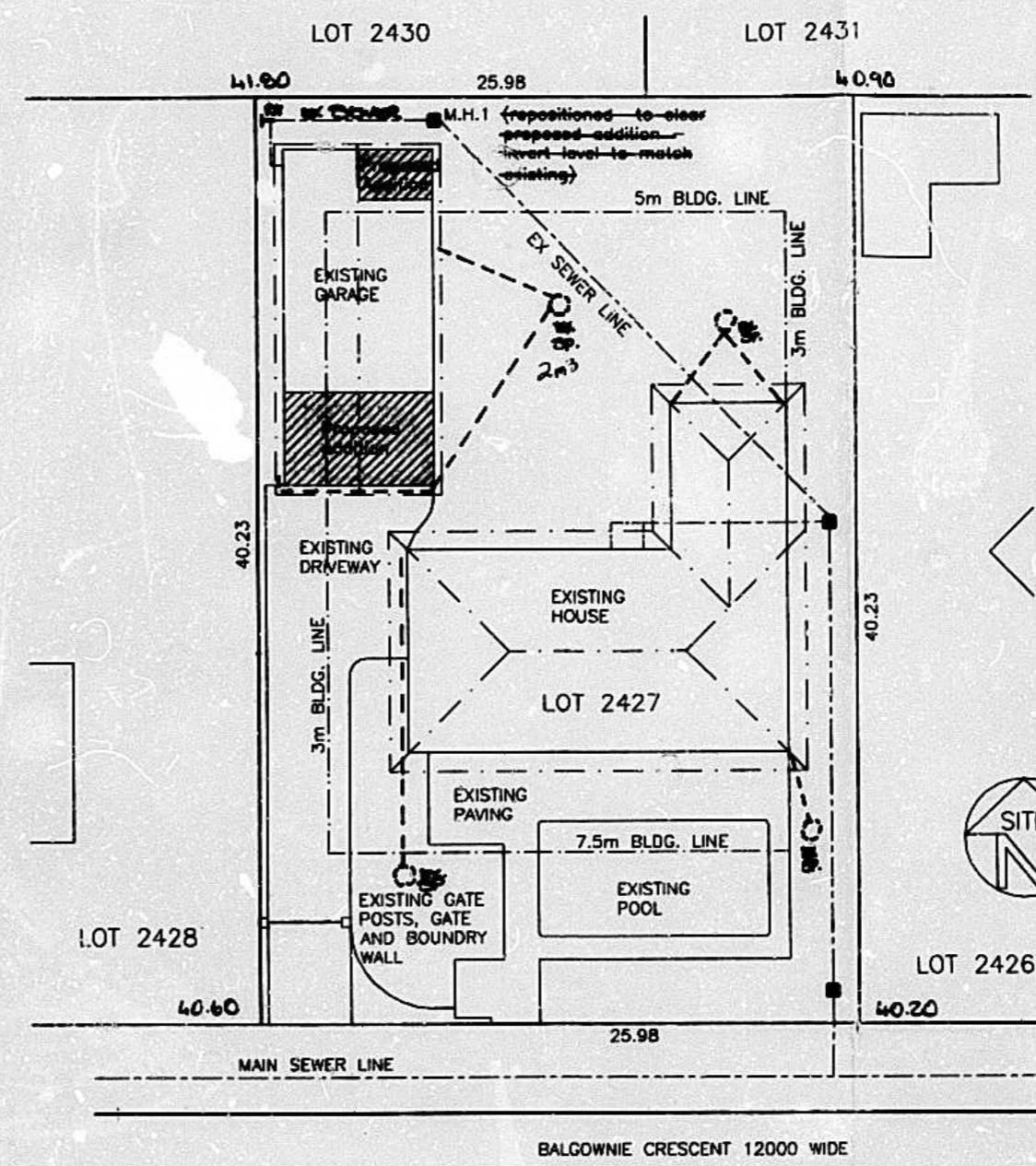
ELECTRICITY SERVICES
Any person undertaking a project of a structure/sign
in accordance with this plan is required to ascertain that:
1) The proposed structure/sign complies with the Code of
Practice for the fixing of Structures SABS 0142:1987
as amended, and the Occupational Health and
Safety Act 85/1995
2) A certificate of fitness for use is issued for
Permission to fix the structure/sign prior to DME prior to
electrical equipment being installed
2) Adequate training in the installation of the Director
Transmission, DME is provided.

SUBMISSIONS
SITEPLAN CHECKED
22 DEC 2005
Signature: [Signature]

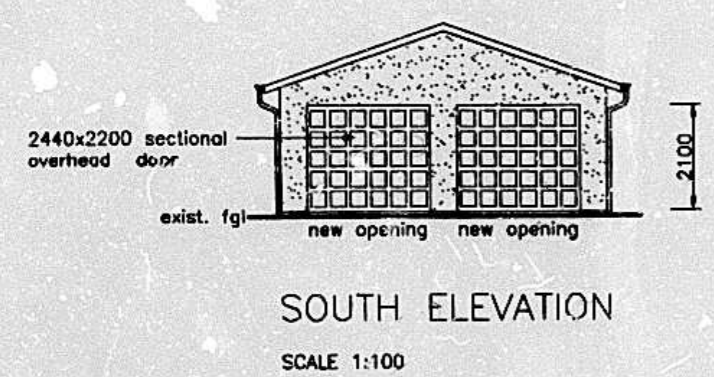
the drawing room

14 beachway, durban north - 031 563 2661

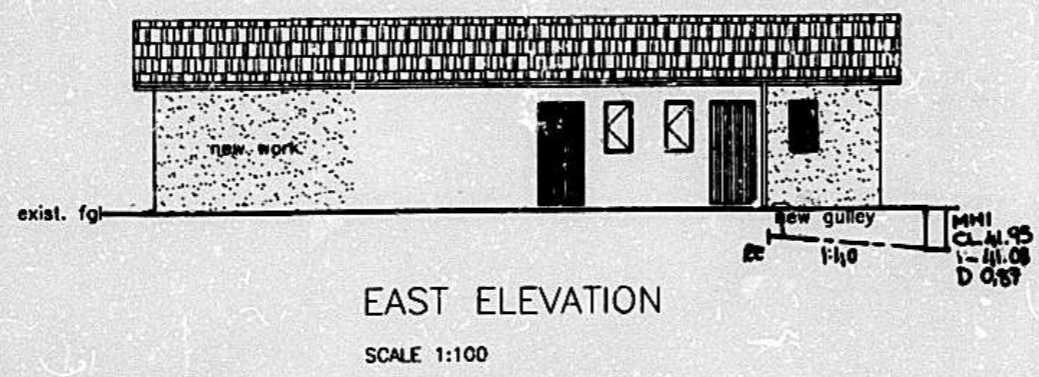
PROJECT	House Leroux		
DRAWING TITLE	Alterations & Additions		
ADDRESS	Lot 2427 of Durban North 21 Balgownie Crescent		
SCALE	AS SHOWN	RATE No.	83210681634
DRAWN	J.J. GREYLING	DWG. No.	LRX P1-001
DATE	November 2005	REV.	0
OWNERS APP.	COLLETTE LEROUX [Signature]		



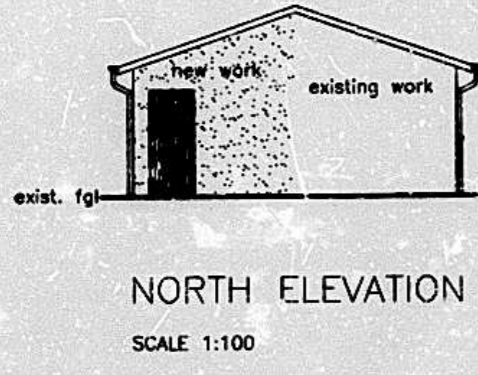
SITE PLAN
SCALE 1:200



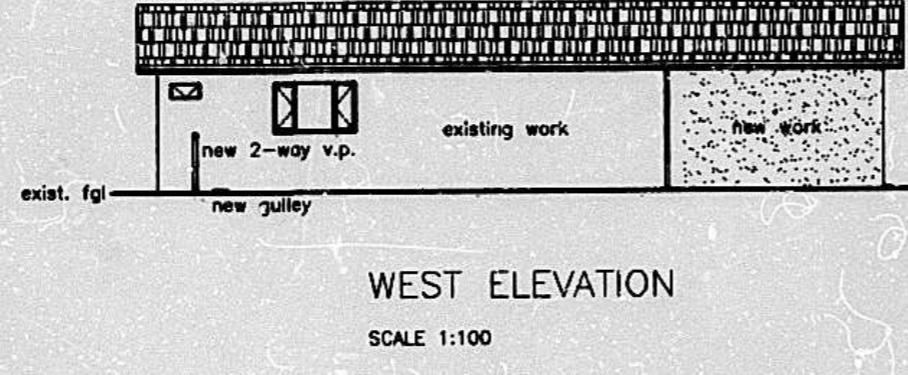
SOUTH ELEVATION
SCALE 1:100



EAST ELEVATION
SCALE 1:100

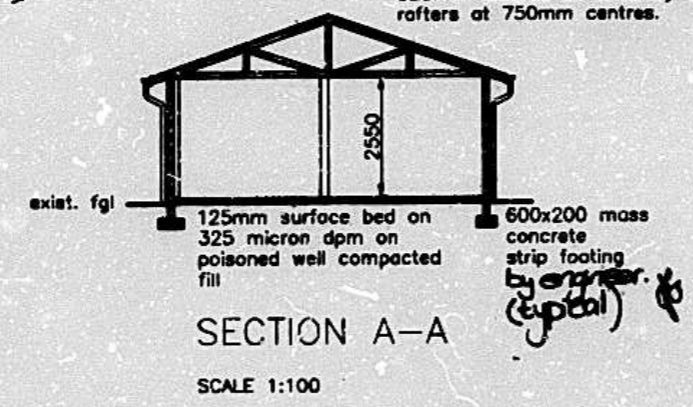


NORTH ELEVATION
SCALE 1:100

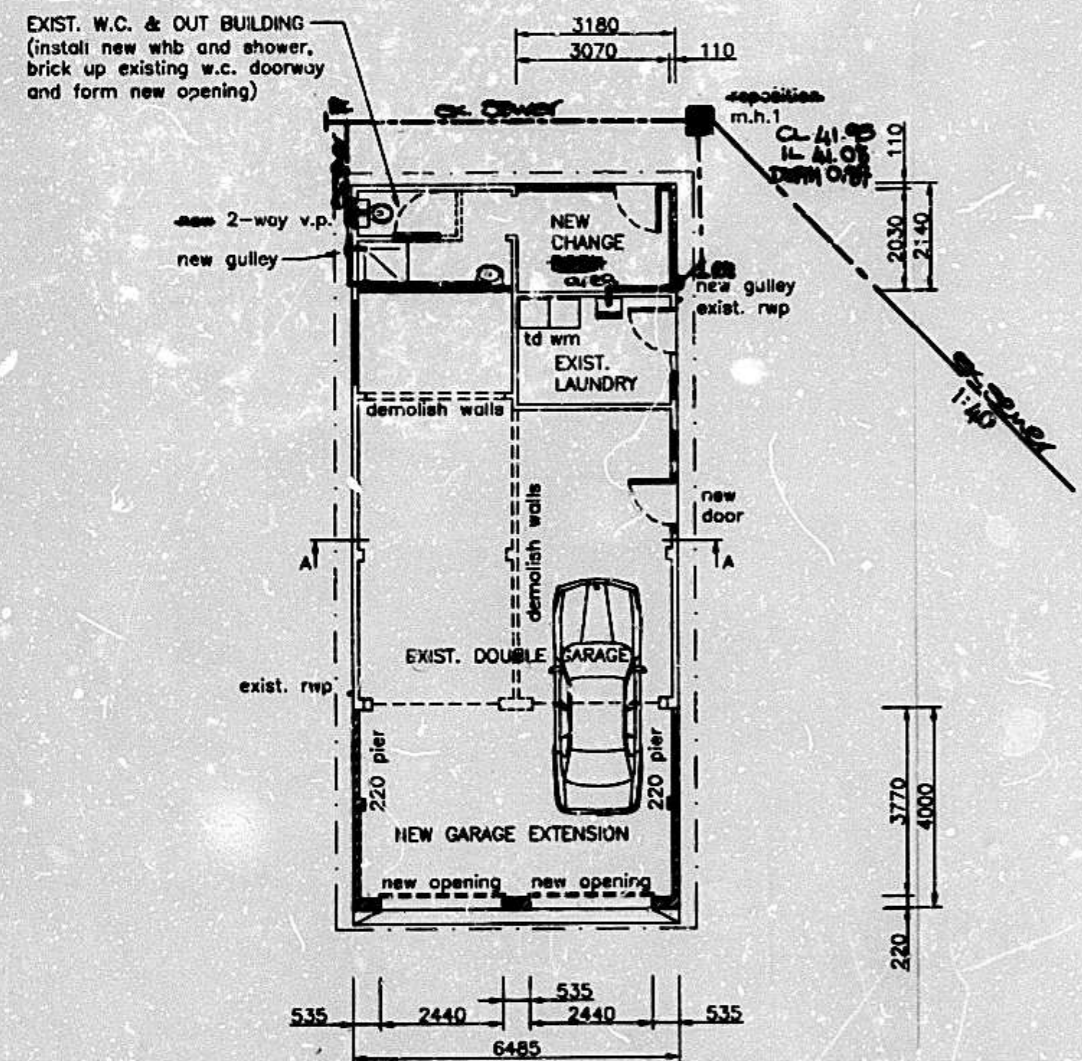


WEST ELEVATION
SCALE 1:100

Existing roof to be removed and replaced
in full at 19° pitch. New roof tiles to
match existing on 38x38 battens at
320mm centres on underlay on 100x38
rafters at 750mm centres.



SECTION A-A
SCALE 1:100



FLOOR PLAN
SCALE 1:100

SCHEDULE OF AREAS

SITE	1045m ²
EXISTING FAR	183m ²
EXISTING COVERAGE	238m ²
PROPOSED FAR	6m ²
PROPOSED COVERAGE	33m ²
NEW TOTAL FAR	189m ²
NEW TOTAL COVERAGE	271m ²

- NOTES
- DO NOT SCALE THIS DRAWING.
 - ALL NEW WORKS TO COMPLY WITH SABS 0400 & N.B.R.
 - ALL SERVICE PIPES TO BE ENCASED IN CONCRETE UNDER HARDENED SURFACES AND BRIDGED OVER UNDER FOUNDATIONS.
 - ROOF TILES TO MATCH EXISTING ON 38x38 BATTENS ON APPROVED WATERPROOF MEMBRANE ON GANGNAIL ROOF TRUSSES (DESIGN AND SUPPLY).
 - BARGEBOARDS, FACIAS AND RAINWATER GOODS TO BE REPAIRED/REPLACED IF REQUIRED AND TO MATCH EXISTING.
 - ALL NEW FINISHES TO MATCH EXISTING.
 - TWO COURSES BRICKFORCE TO BE PROVIDED AT WINDOW CILL, HEAD AND WALL PLATE LEVELS.
 - ALL TRENCH DEPTHS TO BE DETERMINED ON SITE AND TO BE APPROVED BY ENGINEER.
 - NEW BRICKWORK TO BE ADEQUATELY KEYED IN TO EXISTING WALLS.
 - ALL LIGHTING TO SPECIALIST DETAIL.

REV.	DESCRIPTION	DRAWN	CHECKED	APPROVED	OWNERS APP.

