

APPROVED: R. A. MOORE  
EXECUTIVE DIRECTOR, PHYSICAL  
ENVIRONMENT SERVICE UNIT  
1994 11 17

ELECTRICAL SERVICES  
Approved under the Electrical Regulations of the City of Durban. The electrical work shall be done in accordance with the requirements of the Electrical Regulations of the City of Durban.

ENGINEERS DETAILS REQUIRED  
DEVELOPMENT CONTROL DEPT.  
TOWN PLANNING AUTHORITY  
GRANTED

CITY OF DURBAN  
WATER INCORPORATE  
APPROVED  
APPROVAL OF WATER SUPPLY SYSTEM  
REQUIRED PRIOR TO OCCUPATION  
WATER AVAILABLE - FILING

APPROVED  
DATE 9/6/13  
CITY OF DURBAN  
WATER INCORPORATE  
APPROVED

Project Title:  
PROPOSED ALTERATIONS  
& ADDITIONS TO  
EXISTING DWELLING  
FOR  
MR & MRS CS SMITH  
AT  
6 REGENT PLACE  
DURBAN NORTH

Drawing Title:  
REFERENCE NOTES;  
SITE & FLOOR PLANS

Jean Stewart Architects

P O Box 1069, Durban, 4000 • Tel: 031-287819 • Fax: 031-2871260

Date: SEPT 1994 Drawn: JAS/CVL Drawing Number: 9408/WD1

NOTES

1. ALL BUILDING WORK TO BE DONE IN ACCORDANCE WITH NBR
2. ALL LEVELS & DIMENSIONS TO BE CHECKED ON SITE BEFORE COMMENCEMENT OF WORK. DO NOT SCALE OFF DRAWINGS. ASK THE ARCHITECT IF UNSURE OF ANYTHING.
3. BREAK OUT EXISTING WALL AS SHOWN
4. BREAK OUT EXISTING DOOR/WINDOW BRICK UP OPENING & PLASTER & PAINT TO MATCH EXISTING
5. BREAK OUT EXISTING DOOR/WINDOW, BUILD IN NEW DOOR/WINDOW TO MATCH EXISTING & PLASTER & PAINT TO MATCH EXISTING
6. BREAK OUT NEW OPENING, BUILD IN NEW DOOR/WINDOW TO MATCH EXISTING & PLASTER & PAINT TO MATCH EXISTING
7. BUILD NEW 230mm THICK EXTERNAL BRICK WALL UP OFF NEW 230x690 CONCRETE STRIP FOUNDATION & PLASTER & PAINT TO MATCH EXISTING. WATERPROOFING TO PLASTER AS PER NOTE 5
8. ALL NEW GLAZED DOORS/WINDOWS TO BE HARDWOOD TO MATCH EXISTING & TO BE GLAZED IN ACCORDANCE WITH NBR PART N. GLAZES TO MATCH EXISTING
9. FLOOR 1: 150mm THICK MESH RE-REINFORCED CONCRETE FLOOR SLAB ON SABS APPROVED DPM ON POISONED SOIL. SOIL TO BE RIPPED & COMPACTED TO 150mm BELOW FLOOR SLAB.
10. FLOOR 2: 170mm THICK PRECAST RE-INFORCED CONCRETE FLOORING SYSTEM (eg FLOCON) WITH ALTERNATE DOUBLE LINTELS TO STRUCTURAL ENGINEER'S DETAIL. SPANNING DIRECTION AS SHOWN. FLOORING TO BE TIGHTENED INTO EXISTING WALL ON WESTERN SIDE & TO BEAR ON NEW 250mm THICK BRICK WALL ON NEW 230x690 CONCRETE STRIP FOUNDATION. IN-SITU CONCRETE STEPS AS SHOWN ON EASTERN SIDE.
11. FLOOR 3: 170mm THICK IN-SITU RE-INFORCED CONCRETE FLOOR SLAB TO STRUCTURAL ENGINEER'S DETAIL.
12. ROOF 1: PITCH 9° TO MATCH EXISTING CONCRETE ROOF TILES TO MATCH EXISTING ON 38x38 GRADE 6 SA PINE BATTENS ON SABS APPROVED TILE UNDERLAY ON PREFABRICATED GRADE 6 SA PINE TRUSSES WITH 15x238 RAFTERS, STRUTS & TIEBEAMS AT MAXIMUM 700mm CCS OR 114x38 GRADE 6 SA PINE WALLPLATES FIXED INTO BRICKWORK IN ACCORDANCE WITH NBR PLASTERBOARD CEILING WITH COVERSTIPS TO MATCH EXISTING FIXED TO 38x38 CEILING BATTENS FIXED TO UNDERSIDE OF TRUSSES. ASBESTOS FACIAS TO MATCH EXISTING.
13. ROOF 2: PITCH 9° TO MATCH EXISTING CONCRETE ROOF TILES TO MATCH EXISTING ON 38x38 GRADE 6 SA PINE BATTENS ON SABS APPROVED TILE UNDERLAY ON 228x38 RAFTERS AT MAXIMUM 450mm CCS FIXED TO 400x75 LAMINATED HARDWOOD EDGE BEAM ON EASTERN SIDE. 70x20 GRADE 6 SA PINE T&G CEILING BOARDS FIXED TO UNDERSIDE OF RAFTERS. ASBESTOS FACIAS & BARGEBOARDS TO MATCH EXISTING.
14. BUILD NEW STEPS AS SHOWN. TREADS TO BE MINIMUM 300mm WIDE & RISERS TO BE MAXIMUM 185mm HIGH.
15. NEW 1.0m HIGH HARDWOOD BALUSTRADE TO CLIENT'S SPECIFICATION.
16. BUILD NEW 230mm THICK BRICK RETAINING WALL ON NEW 230x690 CONCRETE STRIP FOUNDATION. RETAINING SIDE OF WALL TO BE PAINTED WITH SABS APPROVED BITUMINOUS WATERPROOFING & PROTECTED BY 'BIDIM' GEOTECHNICAL FABRIC. EXPOSED EXTERNAL SIDE OF WALL TO BE PLASTERED & PAINTED TO MATCH EXISTING.
17. PERGOLA FORMED FROM 228x38 GRADE 6 SA PINE BOARDS BRACKETED TOGETHER & EPOXY PAINTED.
18. ALL NEW RAINWATER GOODS TO BE ASBESTOS TO MATCH EXISTING & TO DRAIN INTO SUMPS WHICH DRAIN INTO EXISTING STORMWATER SOAKPITS.
19. ALL NEW SEWER PIPES TO BE 100mm PVC DRAINING INTO EXISTING SEWER SYSTEM AS SHOWN IN ACCORDANCE WITH NBR. MINIMUM GRADIENT TO BE 1:40. IE'S AT ALL NEW JUNCTIONS. RE'S & VENTPIPES AS SHOWN.

"It should be noted that this plan has been approved on the basis of information thereon."

AS BUILT

Stephens 14/9/13

- 1) Steps at Covered Verandah Has Been changed
- 2) Sky-Lights omitted from Plan
- 3) Paving Not Extended
- 4) Bathroom Door to remain as existing
- 5) Study, Laundry, Bed Room & Staff Bed omitted from Plan
- 6) East Elevation changed.

AMENDMENT APPROVED  
(-6) DATE 9/6/13  
EXECUTIVE DIRECTOR  
PHYSICAL ENVIRONMENT PER

AREA SCHEDULE:

SITE AREA	= 1 018,277m <sup>2</sup>	ACTUAL COVERAGE	= 31,7%
EXISTING DWELLING	= 194,086m <sup>2</sup>	ALLOWABLE COVERAGE	= 4,0%
EXISTING OUTBUILDING	= 57,750m <sup>2</sup>		
PROPOSED ADDITIONS			
- STUDY	16,392m <sup>2</sup>		
- KITCHEN	11,084		
- COVERED VERANDAH	36,137		
- BAY WINDOW	14,28		
TOTAL ADDITIONAL FLOOR AREA	67,741m <sup>2</sup>		
TOTAL NEW FLOOR AREA	329,077m <sup>2</sup>		

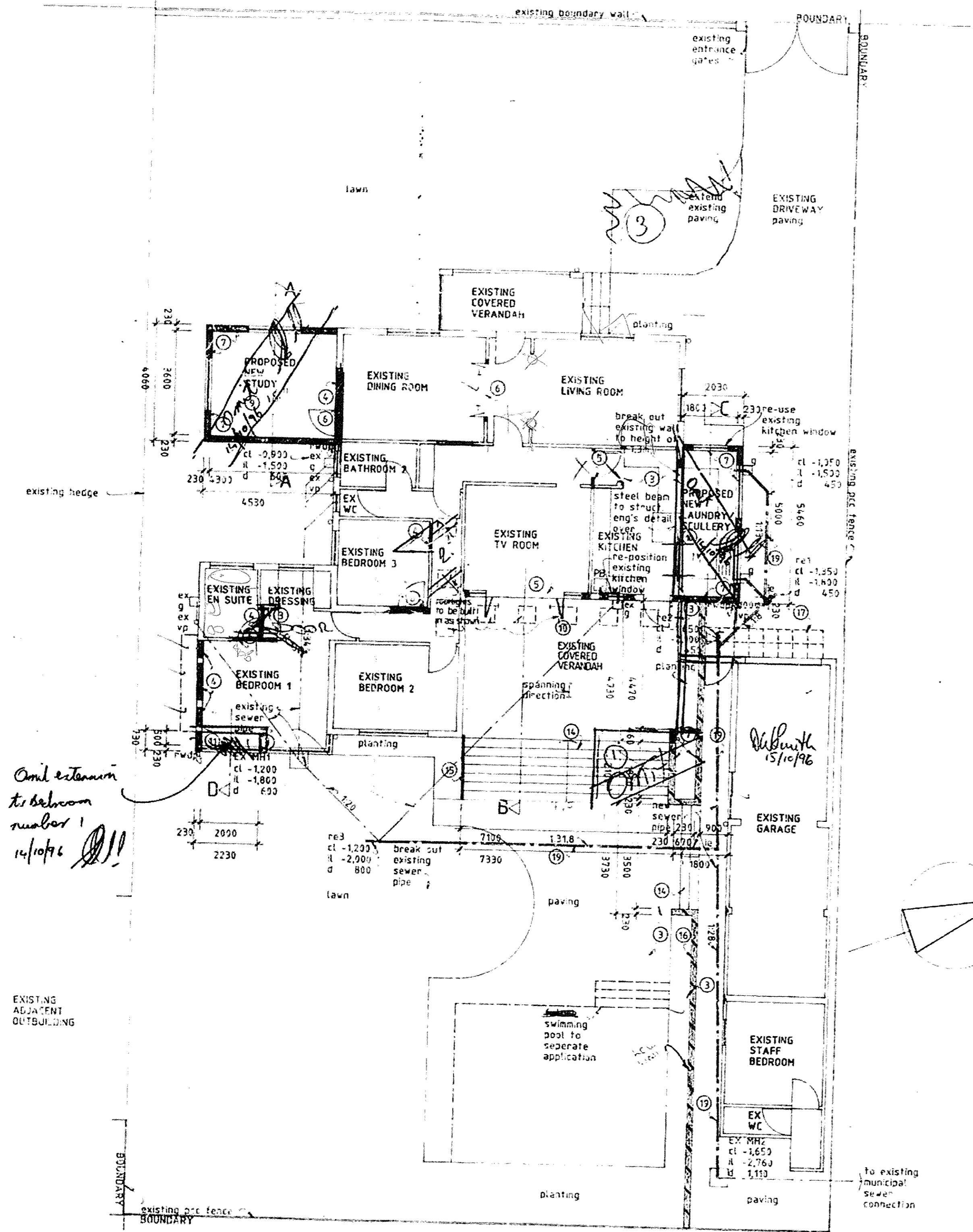
SOAKPITS TO BE 1m<sup>3</sup> FOR EVERY 40m<sup>2</sup> OF ROOFED AND HARDENED AREA

BALUSTRADES, HANDRAILS, HEIGHTS AND OPENINGS TO COMPLY WITH NMS AND ODLA OF SABS 0400.

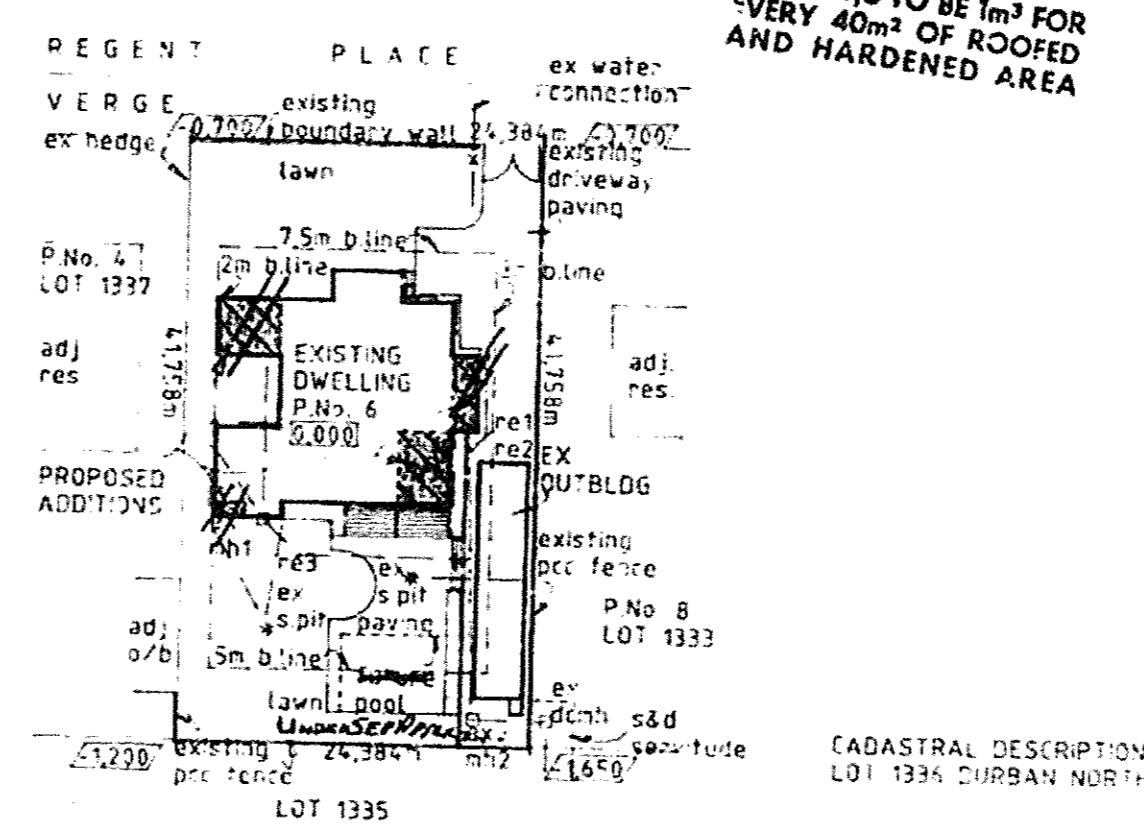
ALL GLAZING TO COMPLY WITH PART NN2 AND NN3 OF SABS 0400.

ROOF STRUCTURE TO BE TO FRIBRICAL BUILD OR OTHER BY 286-1975.

- A. The author of the plan is responsible for:
- (1) showing on the application drawings, in the correct level of entry into DC sewers, drains and/or channels all discharge points;
  - (2) the tops of foundations of any frangible walls at a minimum depth of 0.250 metres below frangible level.
- B. Frangible levels are:
- (1) the surface for the back of the residential sidewalk;
  - (2) the surface for the back of the residential kerbside;
  - (3) the surface for the back of the residential verge.
- C. A concrete base at the correct frangible level is to be provided at each entrance/exit of the same grade as the back of road.
- D. No change in level over DC sewerline or DC underground services is permitted without the prior written approval of the Executive Director (Physical Environment).



SITE & FLOOR PLAN  
1:100



SITE PLAN  
1:500

omit extension to bedroom number 1 14/10/16

Delbank 15/10/96

