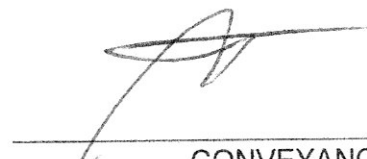


Garlicke & Bousfield
Attorneys, Notaries & Conveyancers
7 Torsvale Crescent
LA LUCIA RIDGE
4051

Prepared by me



CONVEYANCER
SIMPHIWE MARCUS MAPHUMULO

dm

F E E S	
Stamp Duty.....	
Reg. R1146-00	
Corp.....	
G/M Bond.....	

2020 -03- 16

T 000007356 / 2020

DEED OF TRANSFER

BE IT HEREBY MADE KNOWN THAT

NOSIPO NOMAHLUBI MGOJO

appeared before me, REGISTRAR OF DEEDS at PIETERMARITZBURG, the said appearer being duly authorised thereto by a Power of Attorney granted to him/her by

ZONYANE DOMESTIC SERVICES CC
Registration Number 2007/129033/23

which said Power of Attorney was signed at La Lucia on 18 November 2019

And the appearer declared that his/her said principal had, on 16 October 2019, truly and legally sold by Private Treaty, and that he/she, the said Appearer, in his/her capacity aforesaid, did, by virtue of these presents, cede and transfer to and on behalf of:

EZP PROPERTIES AND DEVELOPMENT PROPRIETARY LIMITED
Registration Number 2019/570114/07

or its Successors in Title or assigns, in full and free property

PORTION 12 (OF 2) OF ERF 2292 DURBAN, REGISTRATION DIVISION FU,
PROVINCE OF KWAZULU-NATAL

IN EXTENT 297 (TWO HUNDRED AND NINETY SEVEN) Square metres

FIRST TRANSFERRED by Deed of Transfer Number T 3328/1923 with
Diagram annexed thereto and held by Deed of Transfer T 27010/2012.

THIS PROPERTY IS TRANSFERRED:

- A. Subject to such of the terms and conditions of the original Government Grant No. 1737/1848 as are still in force and applicable.
- B. Subject to the special conditions regarding buildings as created in Deed of Transfer No. 40/1899 Clause 2 of which reads as follows:
- “In the event of the land being subdivided a plan must be submitted to the Town Council of the said Borough for approval and all new roadways must be at least nine comma one four metres wide with a back lane to each subdivision at least four comma five seven metres wide.”
- C. With the right however to the owners and occupiers of Subdivisions of the said Lot CDE Block B to use the Road, Lanes and Rights of Way as laid off on the
22
Diagram of the said Subdivision 2 and Lot A thereof in common with the said Thomas Smeaton, as created in Deed of Transfer No. 3328/1923.
- D. Subject to the Servitude of the existing Sewerage Pipe Line as shown on the Diagram the said Servitude being for the use in common of the owners and occupiers of said Lot A and the Remainder of said Subdivision 2, as created in Deed of Transfer No. 3328/1923.
- E. Subject to the following special conditions regarding the Party Wall as created in Deed of Transfer No. 3328/1923, namely:
1. That the north eastern wall of the buildings erected on the said Lot A and the remainder of said Subdivision 2 shall hereinafter be a Party Wall.
 2. That the said Wall extends along the north eastern boundary of the said Lot A as shown on the Diagram and marked E to K and N to C, the foundations of which are in accordance with the building Bye-Laws at present in force in the Borough of Durban.
 3. The said Wall shall be maintained in good order and repair and any expense shall be borne equally between the owners of the said Lot A and the Remainder of said Subdivision 2.
 4. Both the owners shall have the right to use their respective faces of the said Wall and to make any penetrations therein they may think fit, provided however that such penetrations shall not extend in any case beyond the centre line of said Wall.
 5. Either owner shall have the right to add to the said Wall provided such additions shall be in accordance with the Building Bye-Laws in force in the Borough of Durban and shall be erected in the same manner as the Wall herein referred to in so far as this may be possible. In the event of such additions being made, the Wall shall be finished in the same way as the

A

existing Wall and should any structural strengthening be requisite in consequence of such additions, the expense of any such structural strengthening shall be a Party Wall and be held in all respects as if the part of the Wall hereinmentioned and in all ways subject to the conditions hereof provided however that same shall be erected at the sole expense of the owner erecting the same, the amount of such cost to be endorsed on these presents and the other owner shall be entitled to make use of such additional Wall on paying to the owner so erecting the same one half of the prime cost thereof or a part thereof proportionate to the extent he may use the same excluding all expense of structural strengthening. The owner erecting such additional Wall shall in the first instance bear and pay all expense of upkeep, insurance reinstatement and rates as is hereinafter provided in regard to the present Wall and upon the use of the additional Wall or any portion thereof by the other owner, he shall be bound to pay a share of such upkeep, insurance reinstatement and rates proportionate to the extent to which the same may be used.

6. That the Corporation Rates levied in connection with the said Party Wall shall be borne equally by the said owners and all expenses for upkeep, insurance reinstatement or any other expense shall also be borne equally by the owners.
7. The said party wall shall be insured to its full value against damage or destruction by fire and shall always be kept so insured and the premium be paid by the owners in equal shares.
8. In the event of the Wall being damaged or destroyed by the action of time or the elements, except as hereinbefore stated or from any other cause, then the cost of such rebuilding or repair as the case may be shall be borne by the owners equally.
9. In the event of any question arising in connection with the future structure or structural use of the said Party Wall which is not expressly provided for herein, the same shall be regulated by the Bye-Laws of the Borough of Durban, then in force in so far as applicable to such questions.
10. That any damage of whatsoever nature done or caused to the property or premises of the owners of said Lot A through any further buildings by the owner of Remainder of Subdivision 2, shall at once be made good by the latter at her own expense and upon completion of said building the property of the owner of the said Lot A shall be left in as satisfactory a state and condition as found at the commencement of the building operations by the owner of the said Remainder of Subdivision 2.
11. The special conditions hereof referred to the Party Wall should be for ever binding on and enjoyed by the successors-in-title to the said property and all Mortgages thereof.

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WHEREFORE the said Appearer, renouncing all rights and title which the said

ZONYANE DOMESTIC SERVICES CC
Registration Number 2007/129033/23

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heretofore had to the premises, did in consequence also acknowledge it to be entirely dispossessed of, and disentitled to the same, and that by virtue of these presents, the said

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EZP PROPERTIES AND DEVELOPMENT PROPRIETARY LIMITED
Registration Number 2019/570114/07

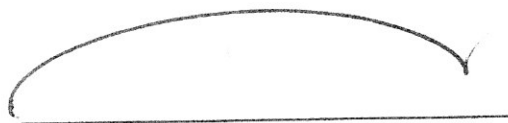
or its Successors in Title or assigns, now is and henceforth shall be entitled thereto, conformably to local custom, the State, however reserving its rights, and finally acknowledging the purchase price to be the sum of R1 300 000,00 (ONE MILLION THREE HUNDRED THOUSAND RAND).

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IN WITNESS WHEREOF, I the said Registrar, together with the Appearer, have subscribed to these presents, and have caused the Seal of Office to be affixed thereto.

THUS DONE and EXECUTED at the Office of the REGISTRAR OF DEEDS at PIETERMARITZBURG on


2020 -03- 16



q.q.

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In my presence


REGISTRAR OF DEEDS

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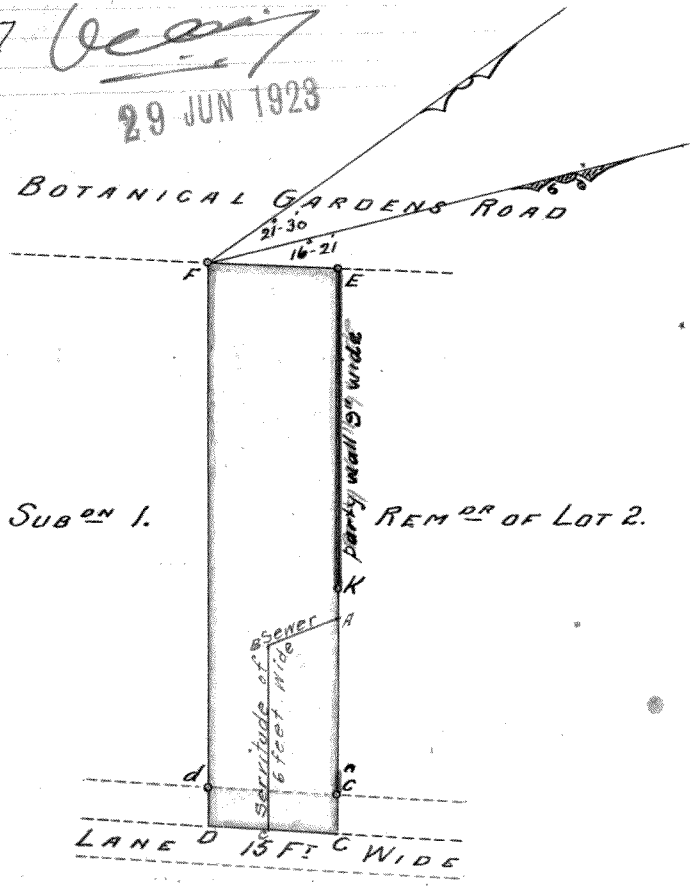
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Stamped & = 10s = d.
 Examiner of Diagrams.

S.G.O.
 Sub. Vol. 488 Fol. 86
 Ex. of D.
 27 OCT 1922

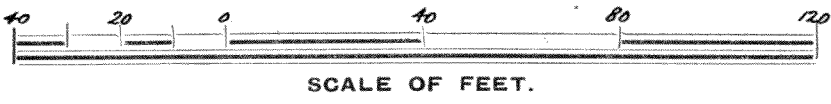
The 9" party wall from "K to E" and the 4 1/2" party wall from "n to c" have been laid down.

S.G.O.
 Sub. Vol. 557
 fol. 26
 29 JUN 1923



SIDES.		ANGLES.	
FE	27.05	F	86° 58' 00"
EK	67.16	E	93° 23' 00"
KG	50.35	K	179° 13' 00"
CD	27.04	C	87° 24' 00"
DF	117.51	D	93° 02' 00"
Kc	42.84		
Fd	110° 00'		

Now SUB 12 (of 2) of LOT 2292 DURBAN



The above Diagram lettered F. E. K. C. D. represents ~ Acres ~ Roods 11.74 Perches of land known as LOT A. OF LOT 2. OF LOT $\frac{G.D.E}{22}$ BLOCK B. situated in the Town Lands of the Borough of Durban, Province of Natal. Bounded as indicated above.

Reg. Div. FU

Surveyed by me, T 3328 / 1923

G. L. Hugman
 Government Land Surveyor,

September 1920

Abn 04

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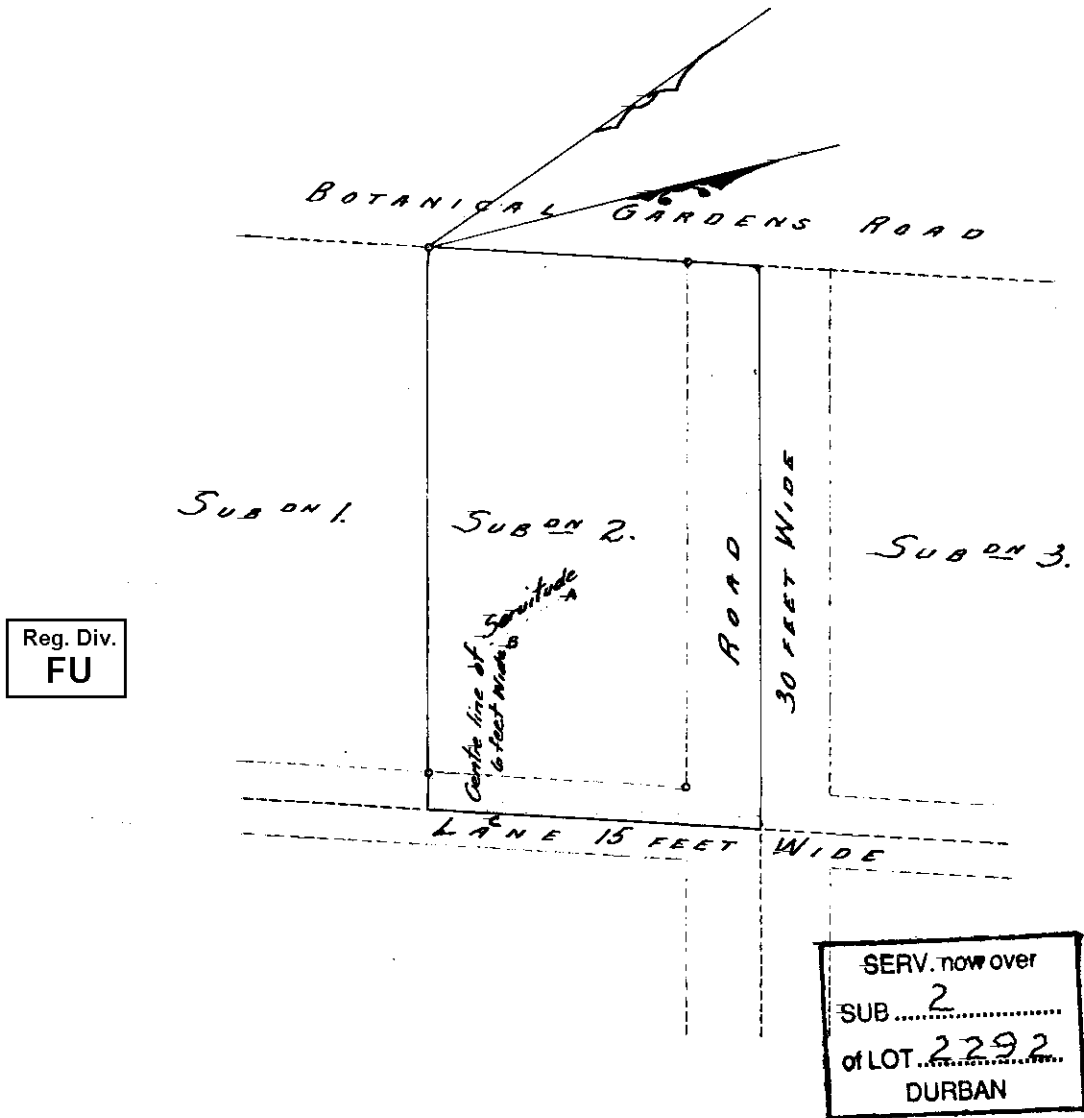
9 =
[Handwritten signature]

S.G.O.

Sub Vol 488 fol 87

Ex of D

27 OCT 1922



The above Diagram represents

SUB ON 2. OF LOT $\frac{CDE}{22}$ BLOCK B. TOWN LANDS DURBAN

Province of Natal, and the relative position of proposed

Sewer Servitude 6 feet Wide from A. to B. to C.

Surveyed by me

G. L. Hugman

Sworn Land Surveyor.

September 1920

Alm 94

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